



LA ESTANCIA PLANNED AREA DEVELOPMENT
MAR. 2020



Adopted: October 11, 1999 by Ordinance No. 9298

Minor Amendment: March 9, 2020

City of Tucson

Planned Area Development were originally adopted as “Specific Plans” pursuant to the Tucson *Zoning Code* and, subsequently, the Tucson *Land Use Code*. The terms “Specific Plan (SP)” and “Specific Planned (SP) Districts” were changed to “Planned Area Development (PAD) Districts” by Ordinance No. 9374 which was adopted by Mayor and Council on April 10, 2000. This change in title does not affect the substantive provisions for the districts as adopted.

LA ESTANCIA

Planned Area Development

Tucson, Arizona

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March 9, 2020



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La Estancia

A. Anticipated Benefits to the Community

La Estancia Planned Area Development establishes comprehensive guidance and regulations for the development of homes and associated support services on approximately 565 acres along the north side of Interstate 10 between Kolb Road and Wilmot Road. The Planned Area Development implements the City of Tucson General Plan by specifying policies and site development standards, which, when adopted, will replace the current zoning on the property. The plan is a regulatory guide for the future development of a sustainable, balanced community of residential, office, commercial, industrial and recreational uses that promote an aesthetically pleasing living environment by ensuring high standards of development quality. Where appropriate, the Planned Area Development allows for alternative uses for any given development area, which provides market-responsive development without burdening the City of Tucson with continual rezoning applications.

The proposed La Estancia development provides a complementary mix of uses, while filling the need for planned development in the Tucson area. The proposed development plan includes open space, recreational, residential, commercial, public facilities, and light industrial uses. As Recreation areas are a key component of the Plan, a series of community and/or neighborhood parks are provided throughout the project area. The Julian Wash is has been relocated to the northern portion of the project and will be developed as a linear park. Linkages to and between the parks will be provided through sidewalks and bike lanes along roadways, and if developer and El Paso Natural Gas Company (EPNG) can come to agreement on the sale of the EPNG property to developer, a greenbelt along the gas line.

This mix of residential, commercial, service and industrial opportunities will also support the current 4,000 employees as well as the projected additional 20,000 employees of the University of Arizona Science and Technology Park and 1,500 employees of the Amazon Distribution Center situated next to the project site. This location of residences near employment opportunities will help achieve air quality goals by reducing vehicle trips.

La Estancia Planned Area Development seeks to create a livable community, providing open space and recreational opportunities, people-oriented neighborhoods, local services within walking distance of homes, and increased opportunities for social interaction and communication.

La Estancia Planned Area Development is a regulatory plan which will serve as the zoning for the subject property. Proposed development plans, or agreements, tentative/final plats or parcel maps, and any other development approval must be consistent with the Planned Area Development.



1. Relationship to City and Subregional Plans

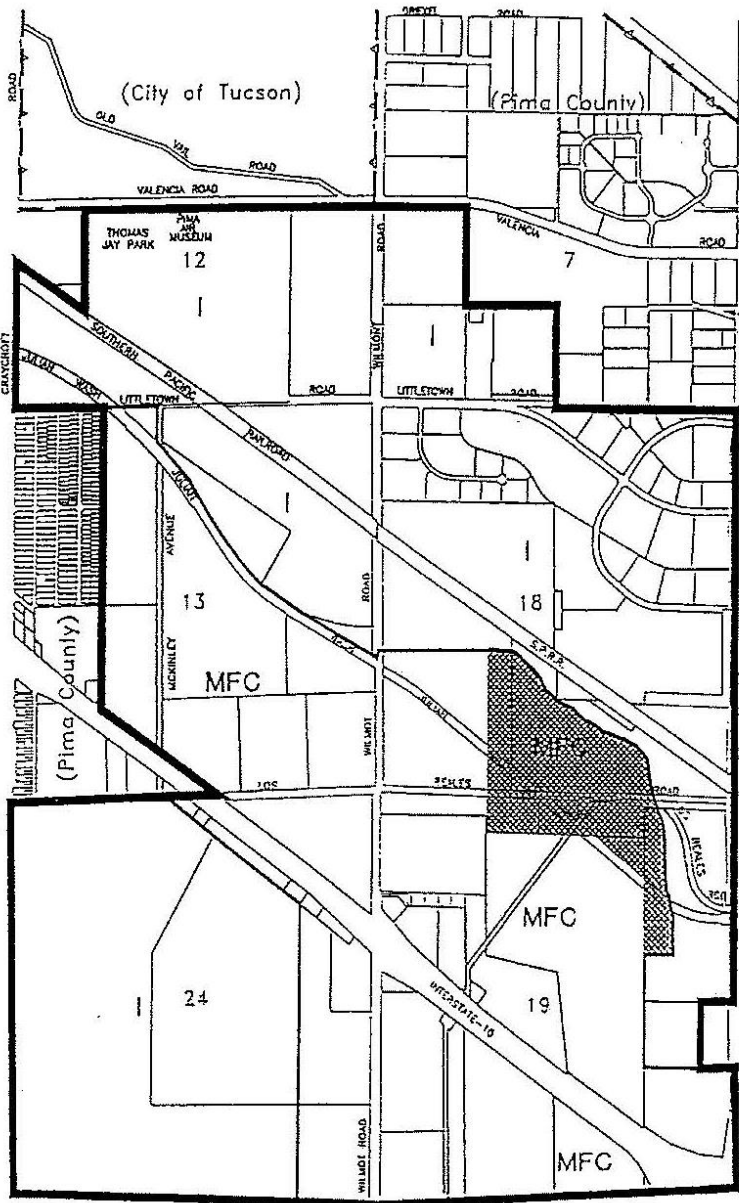
The primary objective of La Estancia Planned Area Development is to implement the City's general plan *Plan Tucson* through the translation of the City's broader development policies into design concepts and development controls tailored to the plan area. All City policies, standards, criteria and procedures will be adhered to by this Planned Area Development, except where deviations are warranted to improve design quality, flexibility or harmony as specified herein.

This Planned Area Development/rezoning request is consistent with the goals and policies of the *Plan Tucson* and *Rincon Southeast Subregional Plan*. Specifically, *Plan Tucson* supports the development of master planned communities that reflect sensitivity to environmental resources and adjacent uses and that are phased and/or financed to meet infrastructure needs while integrating open space, recreation areas, and promoting and enhancing overall connectivity. Additionally, *Plan Tucson and Rincon Southeast Subregional Plan* promote the integrated development of complementary nonresidential and residential land uses along major transportation corridors.



On July 6, 1999 the City Council approved an amendment to the Rincon Southeast Subregional Plan, changing the designation for a portion of the Planned Area Development from Urban Industrial to Multifunctional Corridor provided the Julian Wash and Camino Boleadoras (formerly known as Los Reales Road) are moved to the north boundary of the amendment site. This change is reflected in Exhibit I.A: Rincon Southeast Subregional Plan.





Exhibit I.A: Rincon Southeast Subregional Plan

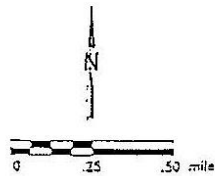


Planned Land Use Categories

-  Urban Industrial
-  Multifunctional Corridor

 Annexation Area Boundary

 Map Amended Site to MFC Plan Designation, provided the Julian Wash and Los Reales Rd. are moved to the north boundary of the Amendment Site.



Map Detail #9RSSP
 T.15 S./R.14 E. Sections
 12, 13, 24
 T.15 S./R.15 E. Sections
 7, 18, 19



2. Project Objectives

Objectives of La Estancia Planned Area Development are to:

1. Create a sustainable integrated mixed-use community that encourages environmentally sensitive site design and provides recreation/open space amenities in conjunction with new development.
2. Foster current principles of planning and subdivision design that reflect a sense of community and neighborhood.
3. Set an example for future growth in this part of the Tucson community.
4. Utilize state of the art building techniques and design to conserve energy, water and non-renewable resources.
5. Develop land uses logically on the property (considering clustering, massing and intensity of scale), to achieve continuity of design and establish a sense of identity.
6. Encourage innovative and imaginative design that creates a unique community character, encourages interaction among neighbors and diminishes the dominance of the automobile.
7. Establish a distinct urban character by employing New Urbanism and Neo-traditional concepts and promoting ideals as set forth by the Livable Tucson Vision Program.
8. Assure compatibility of new development with the existing environment by using compatible land uses, density transitions, setbacks, and variations in building height and by providing visual and pedestrian linkages.
9. Provide for pedestrian and bikeway networks throughout the Project in conjunction with the roadways to interconnect land uses and reduce the need for auto-related trips.
10. Ensure coordinated, responsible planning through the use of cohesive procedures, regulations, standards and guidelines.
11. Provide a backbone infrastructure system and public facilities to support development in an efficient and timely manner.
12. Encourage connectivity with the regional transit system by providing opportunities for bus stops and other multimodal transit options along major corridors.
13. Provide for spine infrastructure to create a state of the art wired community and enable homes and businesses to take advantage of any new, enhanced communication opportunities.



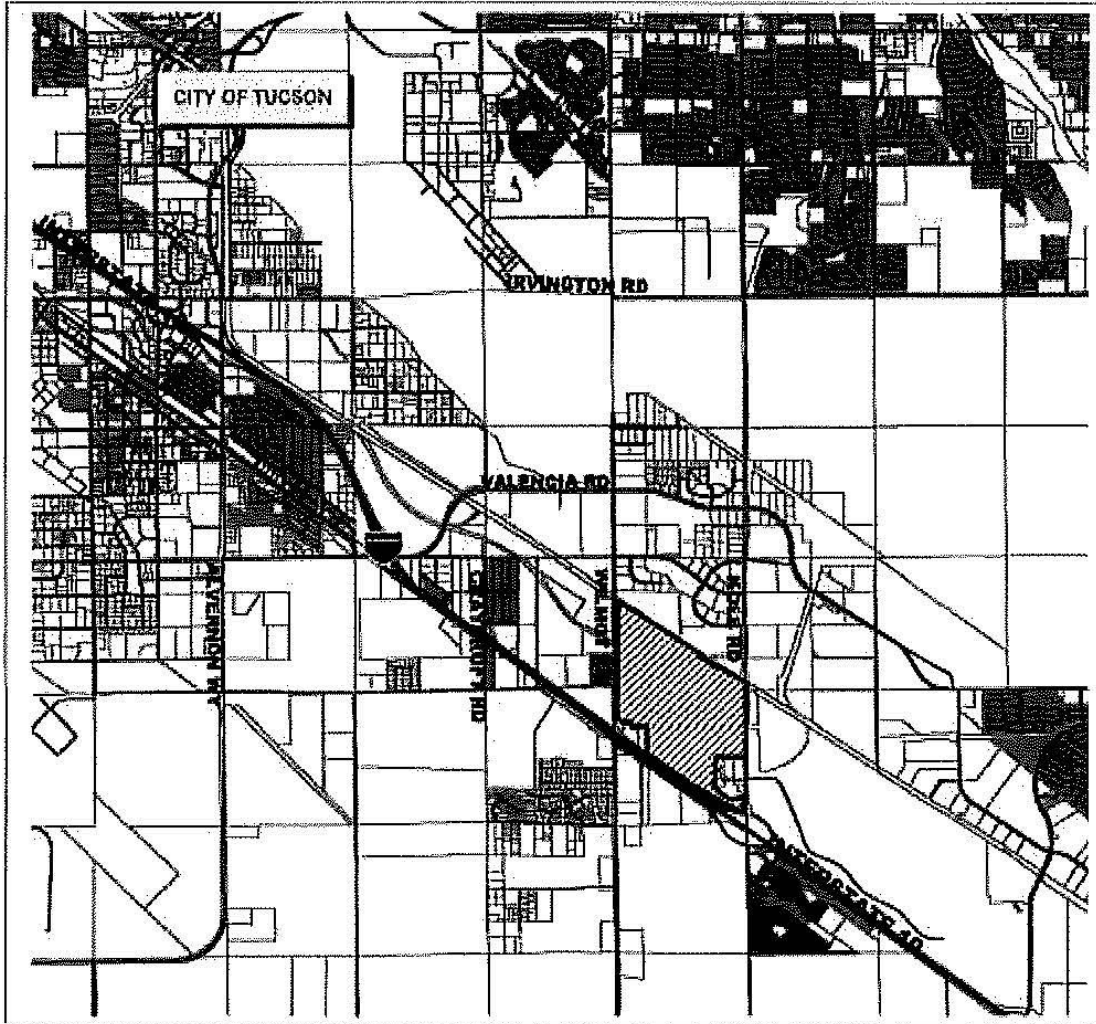
B. Area Description and Location

La Estancia consists of approximately 565 acres of land located on the north side of Interstate 10, between Kolb Road and Wilmot Road, south of the Union Pacific Railroad. The Project area is shown on the Location Map (Exhibit I.B).

The site is surrounded by a variety of land uses. Surrounding developments include the University of Arizona Tech Park to the east and industrial uses to the east and north. To the south is Interstate 10; across the interstate is a proposed manufactured home community, the Voyager RV Resort and residential community. To the west is a single family residential, a manufactured home community, vacant land, and a gas station/convenience store.



Exhibit I.B: Regional Vicinity Map



T15S, R15E, SEC. 18&19

LEGEND

-  Project Site
-  Street Network
-  Parcels



0 3000 Feet



C. Definitions

The terms and definitions used in this Plan shall mean those defined in the City of Tucson Unified Development Code (UDC), with the following exceptions or clarifications.

Average Area per Dwelling Unit: Calculated by dividing the gross acreage of the Development Area (including proposed rights-of-way and open space) by the number of proposed units.

Design Review Committee: A three or more member committee whose function is to review all proposals for construction to assure that the Project is developed in accordance with the Project Design Guidelines. The members of this Committee shall be appointed by the Board of Directors of the Land Owners Association.

Developer: An individual, entity or owner who acquires or leases Development Areas in La Estancia Planned Area Development Area for the purpose of developing said Development Areas in accordance with the Plan.

Development Areas: Parcels “1 through 19” as described on the Land Use Plan (Exhibit II.A).

Land Owners Association: Shall be composed of all the owners of property in La Estancia, except owners of public facilities. If school and community park/center Development Areas are used for other uses than those mentioned then they will be subject to the Project Design Guidelines and their owners will be included in the Land Owners Association.

Neighborhood Commercial: Includes a mix of commercial/retail uses and is intended to provide goods and services for the immediate daily needs of the community’s work force and residential population. The development of these commercial areas will emphasize a small-scale, pedestrian-oriented “town and country” atmosphere with landscaped plazas and decentralized parking areas.

Park/Open Space: Any public area which is open (not including enclosed structures) such as washes, buffers, retention/detention areas, setbacks, non- paved portion of roadways, right-of-ways, recreation areas and similar uses. Uses may include recreational activities, (i.e. hiking, walking, day picnicking).

Plan: The Planned Area Development for La Estancia Project.

Project: The La Estancia Project.

Public Facilities: Any facility (whether publicly or privately owned) which is to be used and/or allocated for the general good of the public. These uses would include but are, not limited to, parks, government services, utilities, treatment facilities and drainage features. Privately owned facilities will be subject to applicable land use regulations.

Regional/Freeway Commercial: Retail uses and services attractive to the freeway commuter. Other permitted uses include automotive and recreational vehicle related service and sales.



Residential: Any land designated for the establishment of dwellings.





II. DEVELOPMENT PLAN

A. Land Use Plan

The La Estancia Land Use Plan (Exhibit II.A) encompasses 565 acres and is divided into several Development Areas. The acreage of the Development Areas includes land devoted to internal circulation and local streets. All land uses are integrated with regard to circulation, infrastructure, aesthetic and visual character through a unique set of development standards and design guidelines.

Residential development within the Plan Area is intended to accommodate a variety of housing types including single-family homes, patio homes and apartments. Residential subdivisions are encouraged to reflect neo-traditional principles and should be designed to be pedestrian friendly and to maximize opportunities for community interaction. Accessibility to public open space areas is ensured by providing pedestrian walkways and bicycle lanes along the arterial and collector streets.

The Planned Area Development also provides a series of community and neighborhood parks throughout the Project and a linear park along the Julian Wash. (See Section II.C: Open Space and Recreation Plan). If developer and El Paso Natural Gas Company (EPNG) can come to agreement on the sale of the EPNG property to developer, a north-south connection will be provided to the linear park via a large greenbelt that follows the EPNG gas line. Greenbelt design will be based on criteria provided by EPNG and will likely be designed to have a natural area and a meandering trail through the middle with landscaping along the perimeter excluding trees, saguaro cacti, and shrubs with a mature height of over five feet.

The La Estancia Planned Area Development's commercial and light industrial opportunities include a variety of non-residential land uses supporting the La Estancia PAD community and providing employment opportunities.

The Freeway Commercial areas at the Kolb and Wilmot Road freeway interchanges will offer retail services attractive to the freeway commuter. Other permitted uses include automotive and recreational vehicle related service and sales and recreation.

The Kolb Road Project entry Commercial area will include a mix of limited neighborhood commercial/retail uses and is intended to provide goods and services for the immediate daily needs of the community's work force and residential population.

The Wilmot Road Commercial portion of the Project will provide for additional commercial retail and service opportunities as the Project develops. This area is envisioned to be developed in a similar manner as the Kolb Road Commercial. However, as the Project develops over time, adequate flexibility has been written into the plan to allow this area to respond to market demands.

The Light Industrial area has been planned for uses that are either compatible with or will be minimally affected by noise generated by the railroad.



Noise and Overflight Hazard District

La Estancia is located within proximity to Davis-Monthan Air Force Base (DMAFB). The project has been designed to locate residential uses outside the 65LDN noise levels and the air operations approach/departure (Airport Hazard District) zone. Noise impacts are regulated in accordance with Section III.10 Sound Mitigation Overlay Zone of this Plan. Proposed development in Development Areas 1, 2 and 3 will be reviewed for conformance with guidelines adopted by DMAFB regarding the approach/departure zone. Residential development which may be affected by DMAFB will not be permitted without approval of DMAFB. In addition, individual homebuyers in La Estancia will be notified that the property is located within Territory in the vicinity of a military airport in accordance with State law.

La Estancia also is adjacent to the Union Pacific Railroad. The project has been designed to address noise generated by train traffic by using the following mitigation techniques:

Industrial and Open Space/Park Uses are located adjacent to the railroad to serve as a buffer between the railroad and residential areas; The Julian Wash was relocated to the north to further buffer the residential areas. Adjacent to the Julian Wash is a linear park. A series of berms will be placed along the north side of the Julian Wash to assist in blocking noise. No direct access is proposed between the residential areas and the railroad track.



Exhibit II.A: Land Use Plan



SCALE: 1"=600'-0"
 PROJECT: AGS-06 DATE: 02/07/10
 FILE NAME: AGS-06_LA ESTANCIA LAND USE PLAN_ATWELL_BUBBLES_020710.DWG



Table II.A: Land Use

Block	Category	Description	Acres	Density Range*
1	LDR	Low Density Residential	47.0	2 to 6
2	LDR	Low Density Residential	16.9	2 TO 6
3	LDR	Low Density Residential	288.9.9	2 to 6
4	MDR	Medium Density Residential	20.1	5 to 10
5	MDR	Medium Density Residential	23.22	5 to 10
6	MDR	Medium Density Residential	24.2	5 to 10
7	MDR	Medium Density Residential	12.3	5 to 10
8	MDR	Medium Density Residential	6.6	5 to 10
9	MDR	Medium Density Residential	20	6 to 22
10	MDR	Medium Density Residential	17.6	8 to 22
11	MDR	Medium Density Residential	15.7	8 to 22
12	MHDR	Medium High Density Residential	30	8 to 22
13	MHDR	Medium High Density Residential	42.3	
14	MHDR	Medium High Density Residential	14.9	
15	HDR	High Density Residential	11.1	
16	C	Commercial	9.2	
17	C	Commercial	8.3	
18	C	Commercial	25	
19	RFC	Regional / Freeway Commercial	20.3	
20	RFC	Regional / Freeway Commercial	15.2	
21	RFC	Regional / Freeway Commercial	17.6	
22	LI	Light Industrial	8.2	
	OS	Open Space / Common Area/Recreation	80.375.9	
		Julian Wash	27.0	
		Right-Of-Way	30.3	
TOTAL ACREAGE			554.6	

UNIT CAP: 2750

* These ranges are shown for planning purposes only, and do not preclude development at a lower density.



Exhibit II.A.1: Conceptual Community Theme Illustrative



B. Access and Circulation Plan

La Estancia Circulation Plan establishes the configuration, capacity and design standards for roadways within the Plan area (see Exhibit II.B: Circulation Plan). It responds to and meets future traffic needs by providing efficient and controlled access for all land uses to three arterials: Kolb Road, Wilmot Road and Interstate 10 Frontage Road. Project-generated traffic entering from these arterials eventually accesses an internal grid road system, which services individual development sites. The Circulation Plan for the site is depicted on the Land Use Plan, Exhibit II.A. A complete report on vehicular traffic impacts has been submitted under separate cover by PFS Traffic Engineering.

As a part of this Project, Camino Boleadoras, (formerly known as Los Reales Road) has been realigned to better serve the entire Project Site and to make it more aesthetically appealing. The realigned road bisects the property generally from the east to the west from the primary entryway on Kolb (which aligns with the existing median opening) to Wilmot, approximately 1/3 mile north of the Interstate 10 interchange. The western portion of the road was completed in conjunction with phase one of the project. The eastern portion of Camino Boleadoras will be developed in conjunction with phase two or as development of the eastern portion of the project area progresses to 50%. (See Utilities/Phasing Plan Exhibit II.E.) The relocation of Camino Boleadoras and the Julian Wash will be completed prior to approval of phase one.

The owner/developer shall dedicate all necessary right-of-way per the Major Streets and Routes Plan for Camino Boleadoras, Wilmot Road, Kolb Road and all public interior streets.

To accommodate pedestrian circulation, sidewalks and bike lanes will be provided within the rights-of-way of the main Project roads. The sidewalks and bike lanes will be separate. The Project's pedestrian network will connect residential Development Areas with open space areas and recreational facilities and will tie into the Julian Wash trail system. Bike and/or pedestrian paths will also be provided within the open space greenbelt buffers. Bike and pedestrian trail road crossings will be at road intersections where possible.

All streets shall be designed to meet City of Tucson standards, except as modified by the Planned Area Development. Modified street sections can be found in Exhibit II.B.1.

Techniques to reduce dependence on the auto and specific methods to reduce speeds and traffic volumes are encouraged. Subdivision design and development plans will be reviewed by all appropriate approval entities to ensure techniques identified in this La Estancia Design Guidelines are used to achieve these goals.

In accordance with the City of Tucson Major Streets and Routes Plan, the following right-of-way dedications and improvements will be provided by the developer:

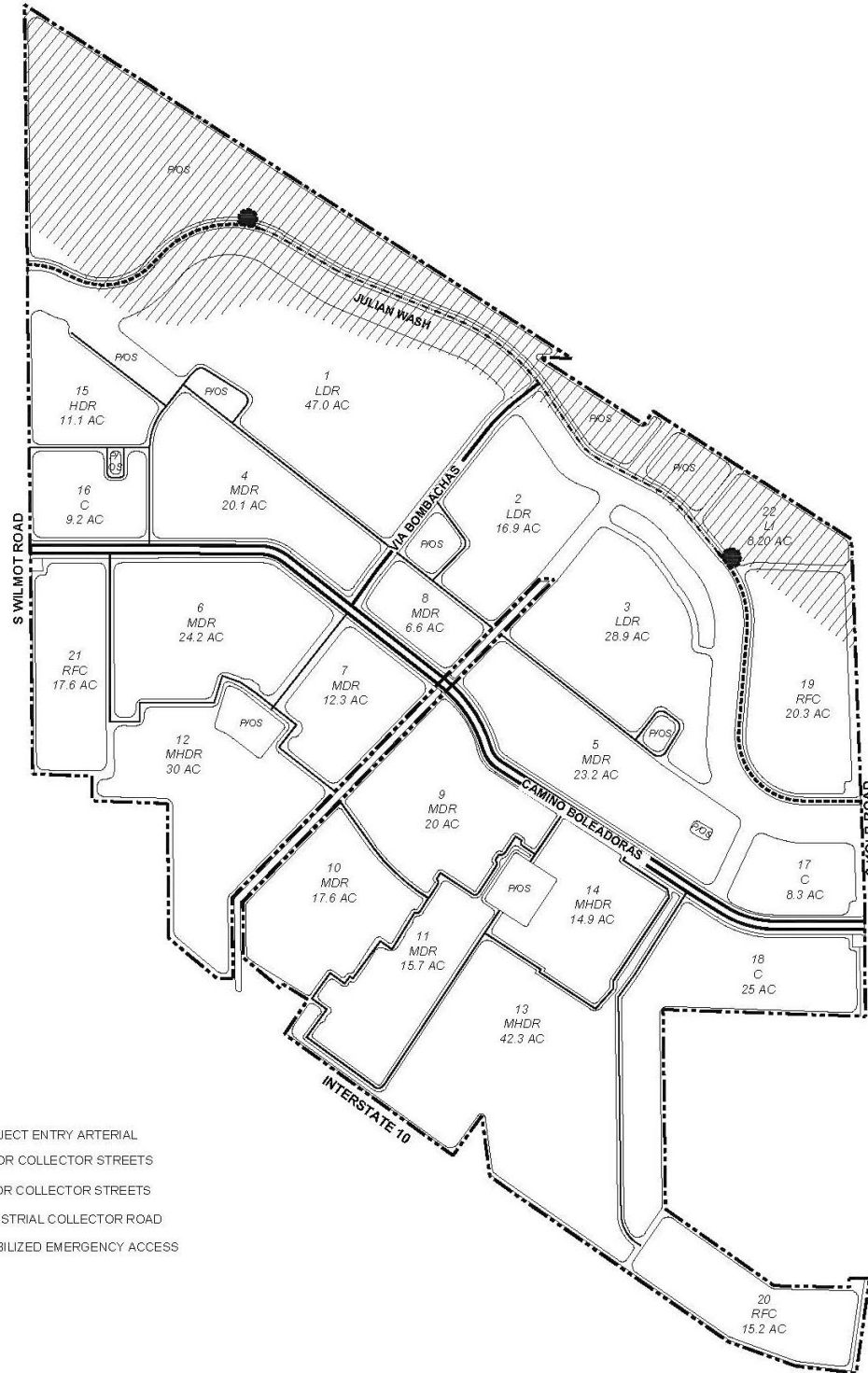
- a) No less than the east half of the Wilmot Road and the west half of Kolb Road arterial cross-sections called for in the MS & R Plan including new pavement, curbs, 6 foot wide sidewalks and necessary traffic signals.
- b) Access points and median openings along Kolb Road will be coordinated with properties on the east side of Kolb Road as may be required by the City of Tucson.



- c) Per the Concept Plan approved in 2012, the industrial collector shall include a stabilized emergency access drive between the two cul-de-sac termini.
- d) A signalized traffic light will be installed at the intersection of Wilmot Road and Camino Boleadoras upon complete build out of development areas 12 and 13.



Exhibit II.B: Circulation Plan



LEGEND

- PROJECT ENTRY ARTERIAL
- MAJOR COLLECTOR STREETS
- MINOR COLLECTOR STREETS
- INDUSTRIAL COLLECTOR ROAD
- STABILIZED EMERGENCY ACCESS

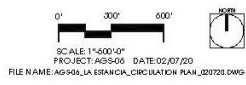


Exhibit II.B.1: Street Cross-Sections

PROJECT ENTRY ARTERIAL ROAD
(WESTERN PORTION OF BOLEADORAS)

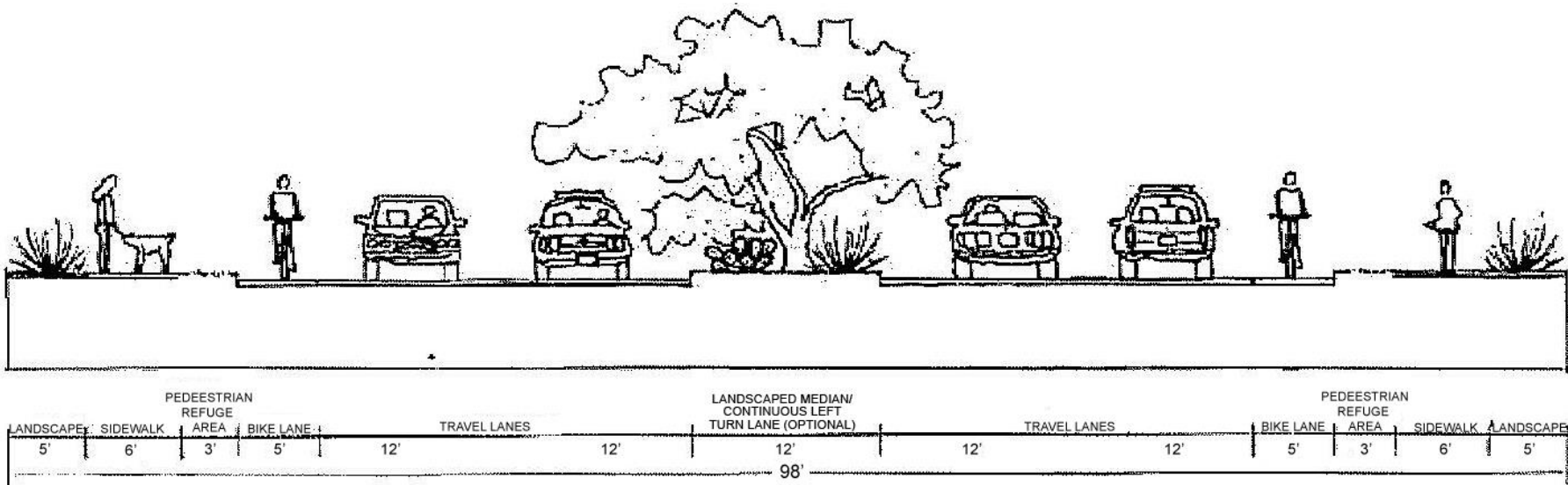


Exhibit II.B.1: Street Cross-Sections (Cont.)

PROJECT ENTRY ARTERIAL ROAD
(EASTERN PORTION OF BOLEADORAS)

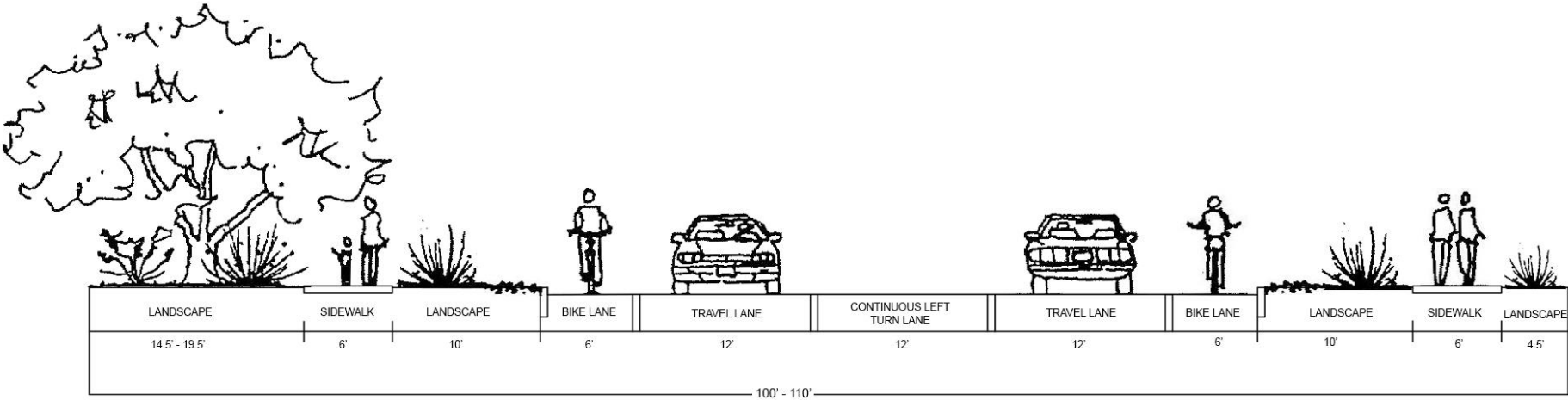


Exhibit II.B.1: Street Cross-Sections (Cont.)

MAJOR COLLECTOR

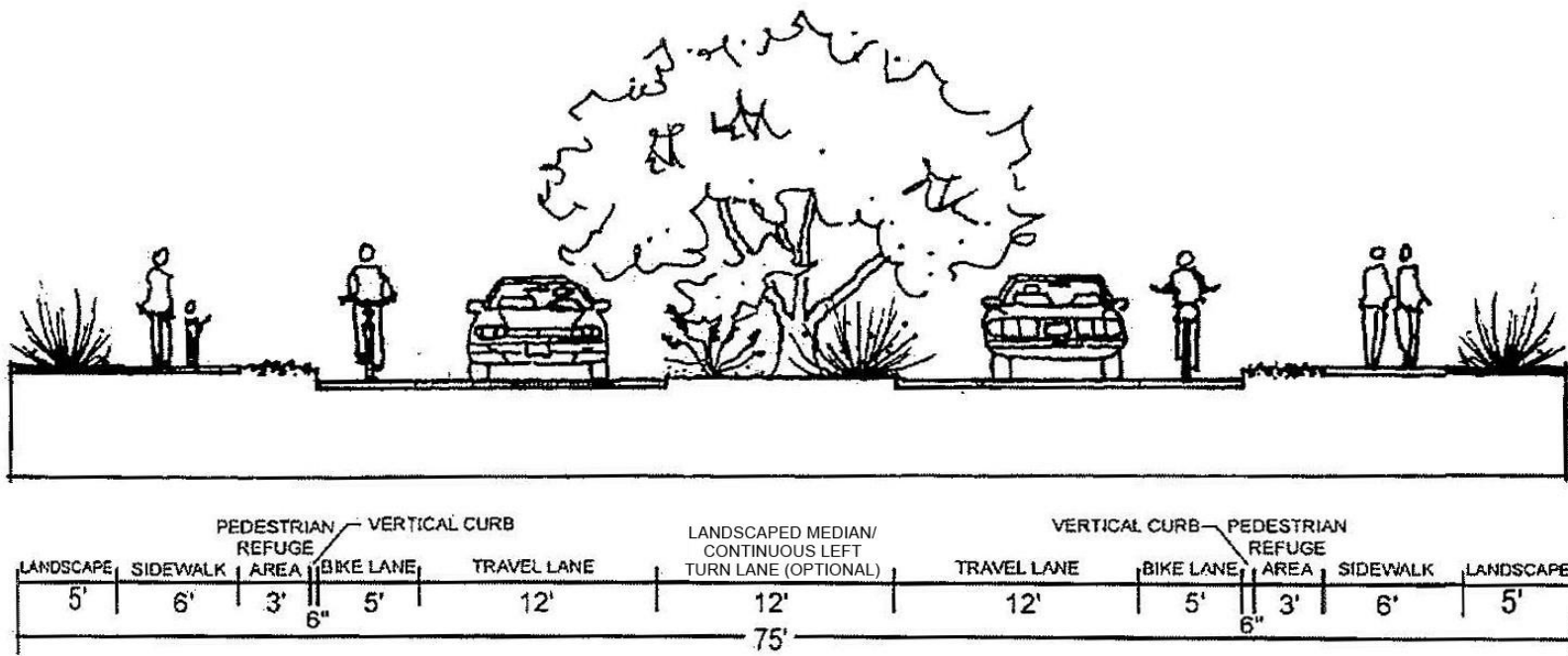


Exhibit II.B.1: Street Cross-Sections (Cont.)

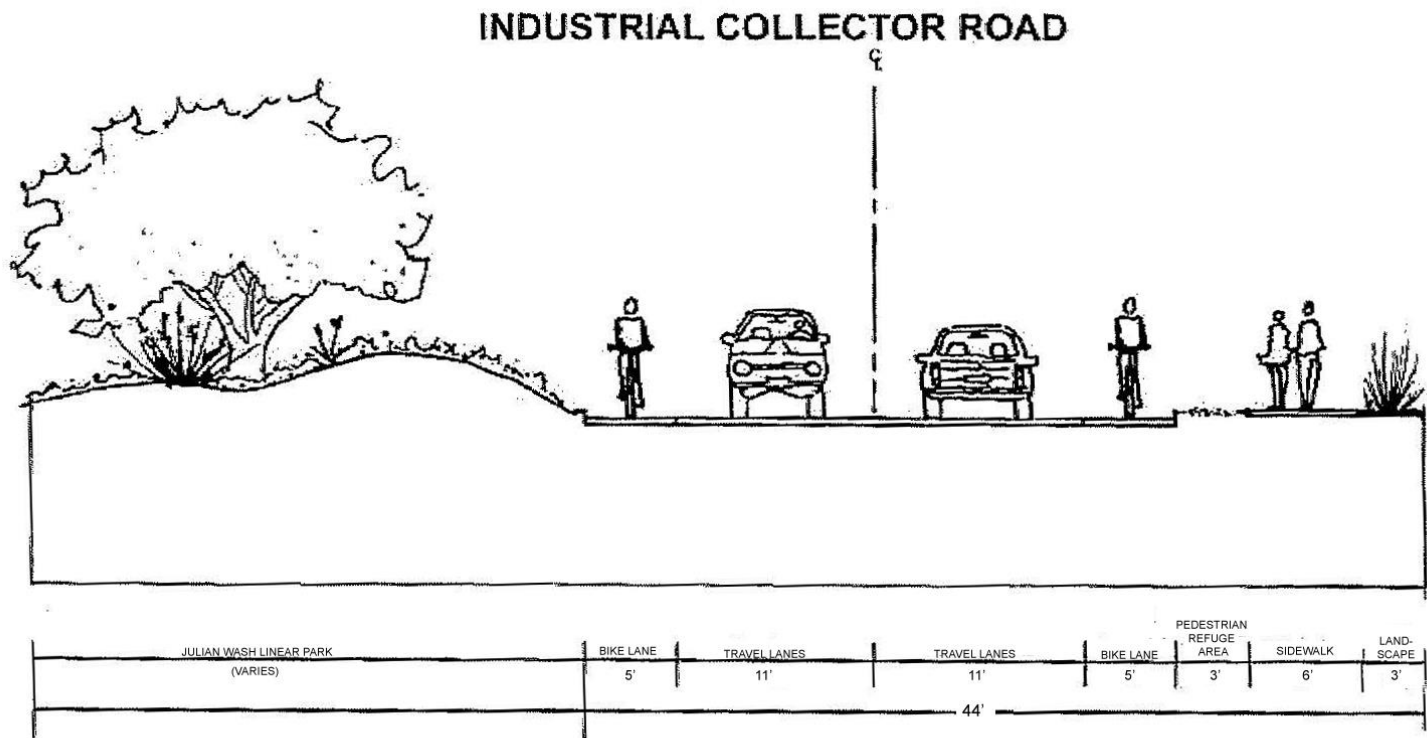
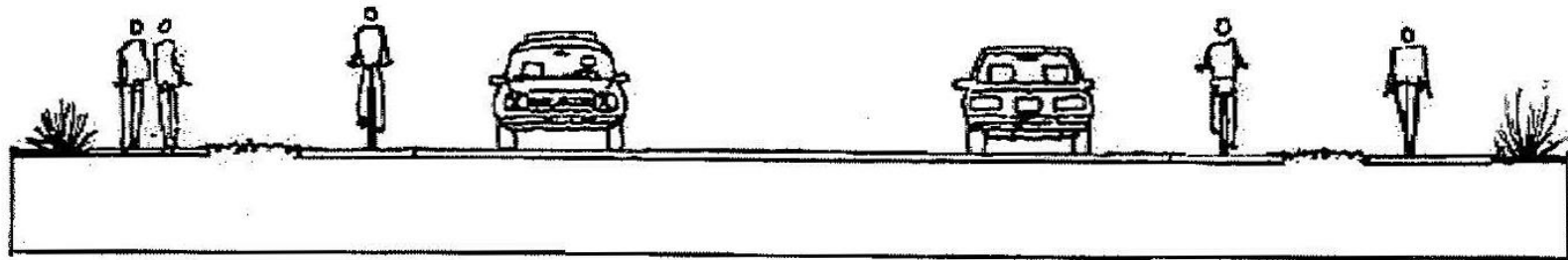


Exhibit II.B.1: Street Cross-Sections (Cont.)

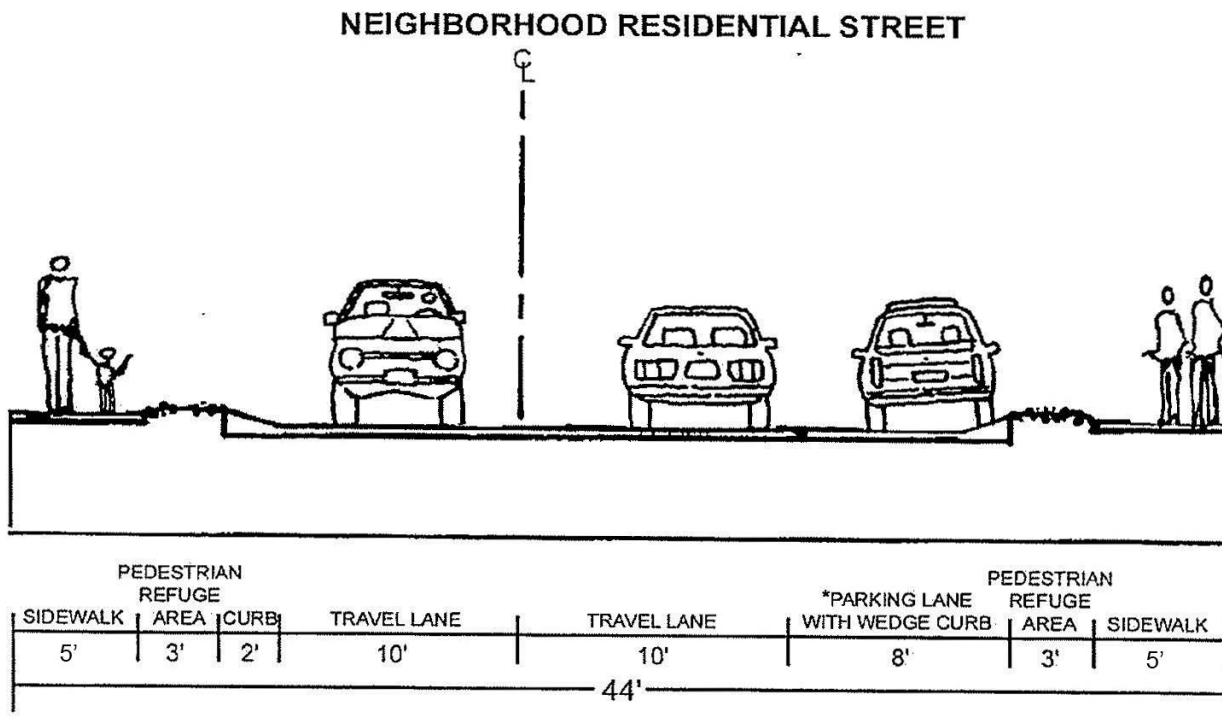
MINOR COLLECTOR



LAND-SCAPE	PEDESTRIAN REFUGE			TRAVEL LANE	CONTINUOUS LEFT TURN LANE		TRAVEL LANE	PEDESTRIAN REFUGE			LAND-SCAPE
	SIDEWALK	AREA	BIKE LANE					BIKE LANE	AREA	SIDEWALK	
3'	6'	3'	5'	12'	10'		12'	5'	3'	6'	3'
68'											



Exhibit II.B.1: Street Cross-Sections (Cont.)



*OPTIONAL IF ALTERNATIVE PARKING IS MADE AVAILABLE

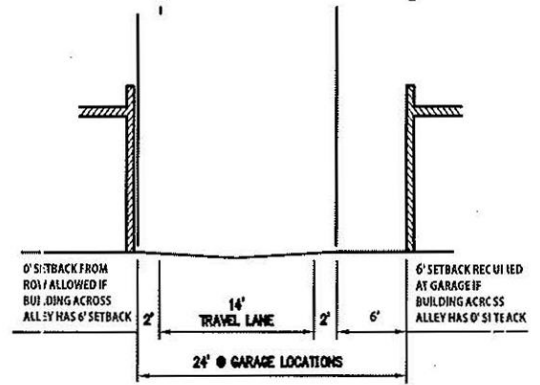
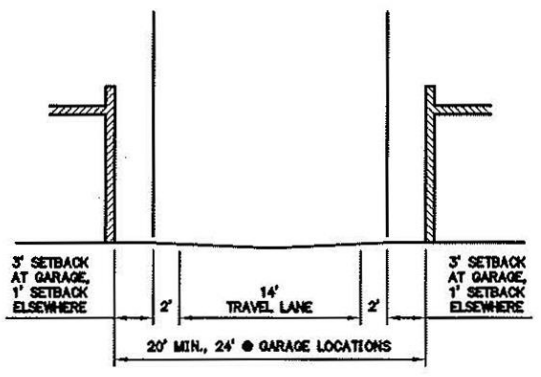
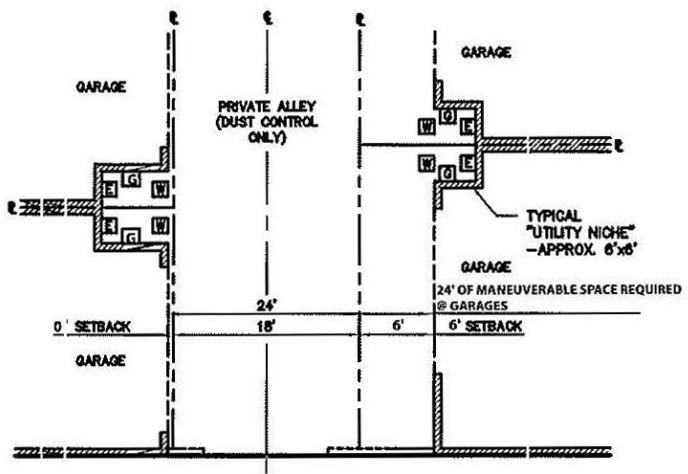
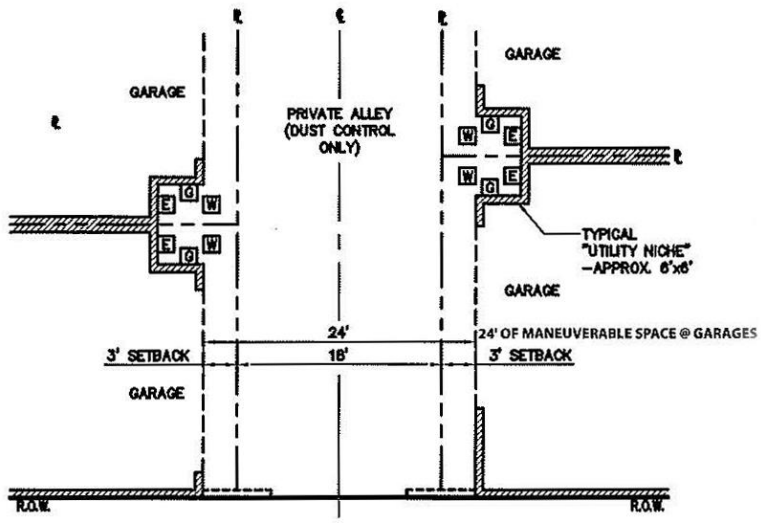


Exhibit II.B.1: Street Cross-Sections (Cont.)

PRIVATE ALLEYS

Option A - when both garages are setback from the property line by 3'

Option B - when one garage is not set back the other must be setback 6' -



C. Open Space and Recreation Plan

The Open Space and Recreation Concept Plan (Exhibit II.C) is oriented toward the recreational enjoyment of the community's population. The sidewalk trail system and La Estancia Linear Park will interconnect neighborhoods and commercial areas with the Julian Wash Riverpark and the variety of community and neighborhood parks throughout the PAD.

The northwest portion of the site north of the Julian Wash will be the largest of the parks. Approximately 18.8 acres along Wilmot Road has already been dedicated to the City of Tucson as the Robert A. Price Sr. City Park. This will be a public park, intended to serve the surrounding neighborhoods as well as La Estancia residents. The intent of this park is to provide an area to develop much-needed ball fields to serve the recreation needs of the regional area. Additional land shown as Open Space to the east will be dedicated to the City of Tucson when requested. Design of this park and ongoing maintenance will be the responsibility of Tucson Parks and Recreation Department with approval of the controlling property owner.

Within the interior of the community, Community Parks are planned. These will be developed by the controlling property owner and will be owned and maintained by La Estancia's master homeowners association.

The first of the Community Parks has been developed, and includes a community pool, splash pad, community room, playground and turf area. Either one larger or two smaller Community Parks with similar features are planned south of Camino Boleadoras.

Additional smaller neighborhood parks will be provided within neighborhoods, and will be developed by the neighborhood's homebuilder. These areas may include features such as picnic/BBQ areas, turf, play structure, drinking fountains, sports courts and community gardens.

- Construction of the community parks will be the responsibility of the property owner and shall be completed prior to commencing Phase 3 of the project.
- Design of the Julian Wash park system will be the responsibility of the property owner with approval by City of Tucson Parks and Recreation Department and Pima County Flood Control District.
- Construction of the Julian Wash park will be the responsibility of the property owner and shall be completed during Phase I of the project.
- Design of the "La Estancia Linear Park" will be completed in coordination with EPNG. Maintenance of the La Estancia Linear Park will be the responsibility of the established Homeowners Association.
- Construction of the park will be the responsibility of the property owner and shall be completed during Phase I of the project.



- Ownership of the Julian Wash park will be transferred to the City of Tucson upon completion of improvements. Maintenance of the Robert A. Price Sr. Park and Julian Wash Park will be the responsibility of the City of Tucson upon acceptance of the improvements.



Exhibit II.C: Open Space/Recreation Plan



D. Landscape Plan

The Landscape Plan for La Estancia (Exhibit II.D) responds to the following objectives:

- Unify and enhance the overall image and character of the planned community.
- Enhance view corridors to and across the site by sensitive placement of buildings and landscaping.
- Utilize the City of Tucson Unified Development Code (UDC) Plant List to ensure that all landscape is drought tolerant.

The principal design elements proposed to convey the image of the planned community are:

1. Project Entry Statements: create a sense of arrival that hints at the internal character of the community. Provides a backdrop for the Project name and serves as a gateway into the development.
 - a) Landscape design will be formal extending the theme established by the primary entry.
 - b) Trees will be minimum of 24" box size selected from City of Tucson approved drought-tolerant list
 - c) Design will include massing of trees, shrubs and colorful ground cover
2. Secondary Entry Statements will be similar to Project Entry statements but smaller in scale.
3. Primary Streetscapes: define community character while emphasizing a sense of intimacy which allows safe passage of automobiles, bicycles, service and emergency vehicles.
 - a) Landscape design will be formal
 - b) Trees will be a minimum of 15 gallon in size spaced no less than 25 feet on center
 - c) Landscape areas adjacent to street will be no less than 5 feet in width and shall include a mix of low shrubs and colorful groundcover.
 - d) Camino Boleadoras will utilize the 3-foot space between the curb and sidewalk for landscape and irrigation. Planting of trees and shrubs will be in accordance with the approved landscape and irrigation plans.
4. Secondary Streetscapes: continue community character along minor collector streets and the industrial collector road on a smaller scale than the primary streetscapes.
 - a) Landscape design may be formal or desert informal
 - b) Trees will be a minimum of 15 gallon in size, spaced no less than 50 feet on center.
 - c) Landscape areas adjacent to street will be no less than 3 feet in width and shall include a mix of low shrubs and colorful groundcover.



- d) Via Bombachas will utilize the 4-foot space between the curb and sidewalk. Planting of trees and shrubs will be in accordance with the approved landscape and irrigation plans.
 - e) The north, east and south perimeter of the park located at the northeast corner of Via Bombachas and Via Pampas Morenas will consist of a 6-foot separation between curb and sidewalk per the approved landscape and irrigation plans.
5. Neighborhood Residential Streets: define neighborhoods through the use of different themes. Unique tree and plant palettes will be developed for each individual neighborhood.
- a) Landscape design may be formal or desert informal
 - b) A minimum of one tree in the front yard of each residential lot will be required
 - c) Trees will be a minimum of 15 gallon in size
6. An extensive system of open space and recreational amenities is envisioned that provide an interconnected network of linear parks, pedestrian trails, bike paths, traditional parks, on-site drainage control and buffering between land uses. This system contributes strongly to an overall sense of cohesiveness that blends the various project elements together.

The main components of the interconnected open space and recreational system are the Julian Wash Linear Park, La Estancia Linear Park, the City Park and the Community Parks.

An integrated landscape concept has been developed utilizing upper Sonoran Desert plants. This concept will provide drought tolerant native plants specifically selected for each of the three components as follows:

- a) The Julian Wash design will incorporate native trees, shrubs and groundcover reflective of the Sonoran Desert in accordance with a master design that will be approved by the appropriate public agencies at the time of development.
- b) La Estancia Linear Park shall be designed in accordance with EPNG standards and reflect a Sonoran Desert landscape theme that connects and transitions from the formal Community Park to the Julian Wash.
- c) The Community Parks will be designed and constructed by the Project Owners, with ongoing maintenance by the Property Owners Association.
- d) The first dedication of approximately 18 acres along Wilmot north of the Julian Wash for the Robert A. Price Sr. City Park has already occurred. The City of Tucson is responsible for the development and ongoing maintenance of this park.

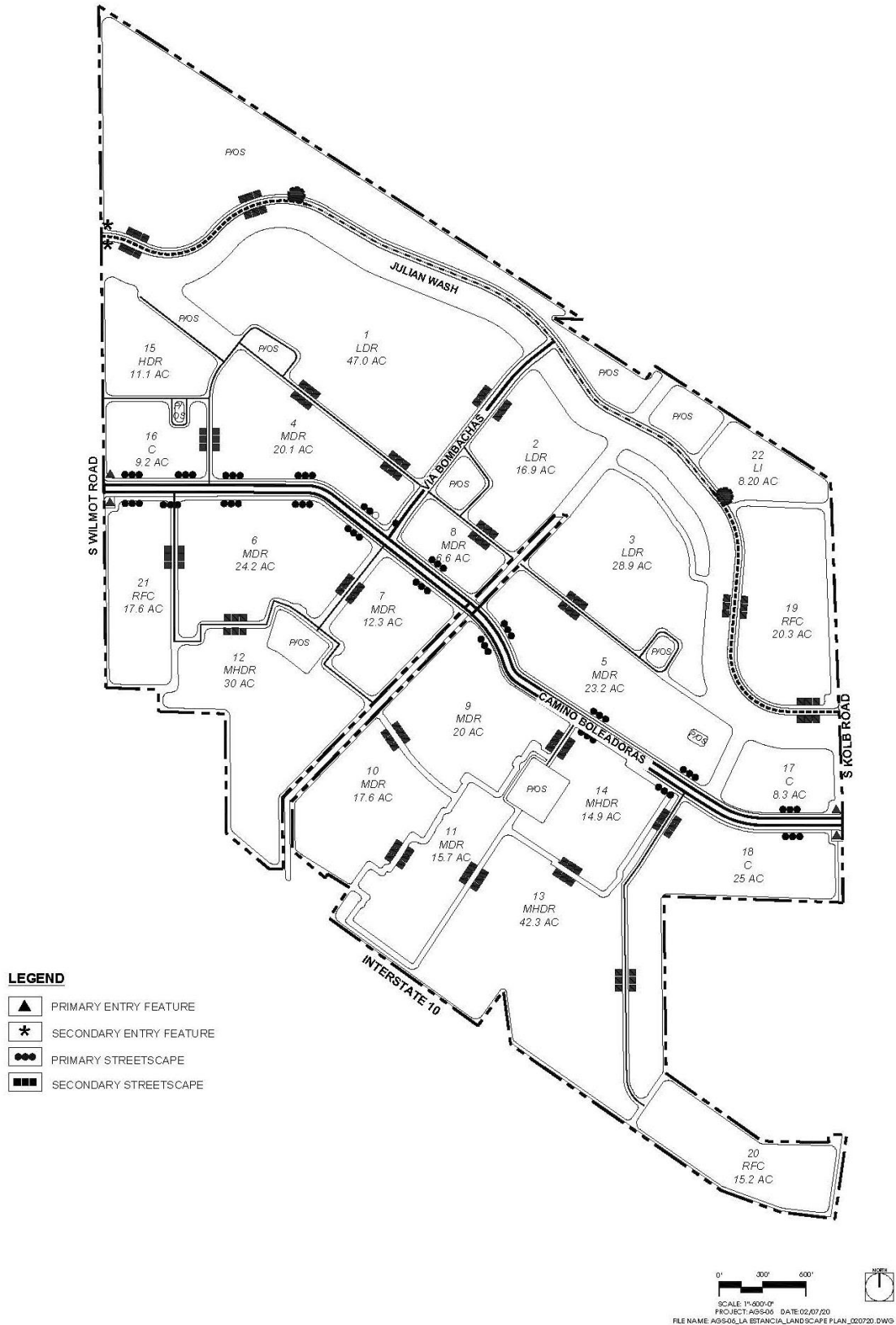
All of the landscaping in the Project Entries outside of public road rights-of-way within the Project shall be installed and maintained by the Project Owners and/or the Property Owners Association. Landscape areas proposed within public rights-of-way will require an agreement between the Department of Transportation and the developer to allow



this installation. Maintenance of the areas will be the responsibility of the City of Tucson. The Property Owner's Association (also referred to as the Homeowner's Association) is responsible for maintaining all landscape, irrigation and improvements behind the curb along all City of Tucson right-of-way as well as repairing any damage to pavement, curb, sidewalk and walls caused by the landscape and/or irrigation planted inside of outside of the City of Tucson public rights-of-way within the La Estancia Specific Plan boundaries. A Hold Harmless agreement shall be entered into at the time of subdivision platting. La Estancia CC&Rs shall also include language regarding the landscape and irrigation maintenance and repair responsibilities of the Homeowner's Association.



Exhibit II.D: Landscape Plan



E. Infrastructure Plan

The public infrastructure facility components, which will serve the Plan area, include sewer, water, drainage, electricity, natural gas and telecommunications:

- Sewer

Service will be provided by accessing PCWWM sewer lines within the area, including an 18" line within the Wilmot Road ROW, a 10" line within the Kolb Road ROW, an existing 30" interceptor line along the north side of the current Julian Wash, and an existing 30" line within the Via Pampas Morenas ROW.

- Water

All water service will be provided by the Tucson Water Department, which maintains 12" waterlines within the Wilmot and Los Reales Road ROW's. This E-Zone water system carries single-family residential supply capacity to elevations up to 2805 feet. Two new production well sites are required to be conveyed to the City of Tucson. Additionally, any registered, existing wells are required to be abandoned or conveyed to the City for monitoring purposes. Production well sites shall be sized at 100' X 100', or the minimum UDC lot size, whichever is greater.

- Drainage Improvements

The Julian Wash has been realigned north of its former location. Entry and exit points to the project site remain the same. The new alignment provides a meandering channel with associated linear park improvements. Required detention and/or retention facilities has been designed as part of the overall drainage concept plans. Additional stormwater facilities has been provided within individual development parcels on a case by case basis as required by the City of Tucson.

A Master Drainage Report has been submitted for review and approval, which includes and addresses detention and retention calculations and requirements for the overall site. Since it appears that the site is within a critical drainage basin a 15% reduction in the 2, 10 and 100 year peak discharges shall be provided.

- Gas, Electricity and Telephone

The service providers for each of these utilities, Southwest Gas Company, Tucson Electric Power and CenturyLink/ Cox., currently maintain facilities within the vicinity that can be accessed to provide service to this Project.

All proposed development infrastructure facilities will be constructed to City and utility company standards and other appropriate building, health and safety standards and be placed underground to promote aesthetic appearance.

Any relocation and modification, etc., of existing utilities and/or public improvements necessitated by the proposed development will be at no expense to the public.



F. Phasing Plan

Refer to Exhibit II.F: Phasing Plan for the proposed phasing of the PAD. Phasing of development at La Estancia shall reflect:

- Current and future trends in residential and commercial market demand and absorption rates.
- Development timing of infrastructure and other improvements and available financing opportunities.

Development began on the north side of Camino Boleadoras with the initial main entry to the project off Wilmot Road to the west.

At the time of platting, it shall be demonstrated that all phasing of street and drainage improvements include appropriate “permanent” termination points so that each phase can function as if it is the final phase.

The proposed park elements as noted in Section II.D: Open Space and Recreation of the PAD shall be installed in accordance with the phasing schedule outlined in the following table.



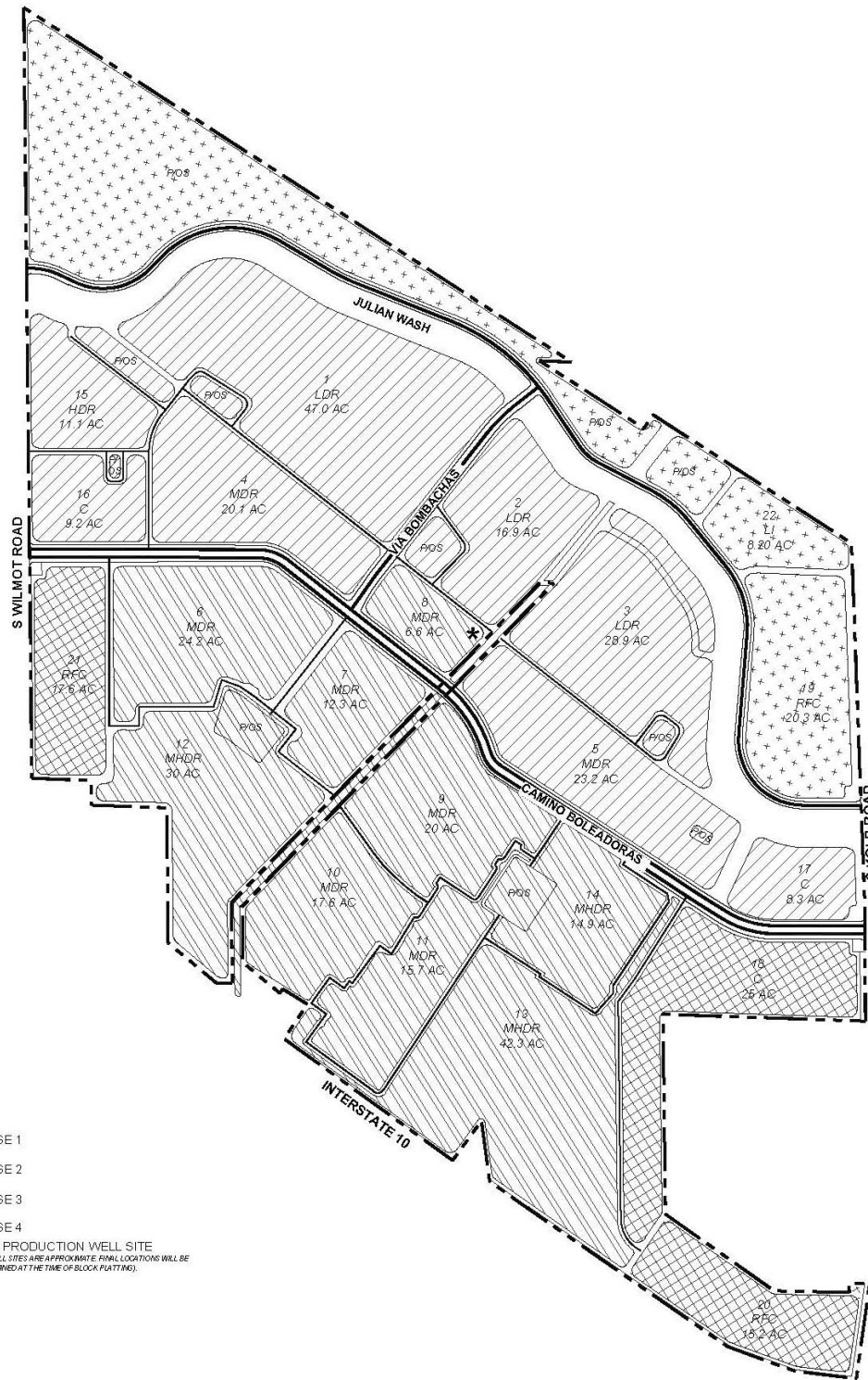
Table II.F: Parks Phasing Schedule

Park	Responsible Entity	When Parks Need to Be Completed and Accepted	Owner / Developer to Notify City (two notifications)	Amount of Park Space to be Provided
Julian Wash Linear Park and La Estancia Linear Park – Phase 1	Construction – owner/developer Ownership – City of Tucson (internal Community Park only) Maintenance – City of Tucson	Prior to the issuance of Certificate of Occupancy (C of O)* for first dwelling unit above and beyond a) 75% of the total to be built in Phase 1, or b) 500 units, whichever comes first or Prior to issuance of C of O for first dwelling unit or commercial structure in a phase other than Phase 1	When submitting application for C of O that is 75% of trigger; and When submitting application for trigger C of O.	N/A
Internal Community Park and La Estancia Linear Park – Phase 2	Construction – owner/developer Ownership – City of Tucson (internal Community Park only) Maintenance – City of Tucson	Prior to issuance of C or O for first dwelling unit above and beyond a) 20% of the total units to be built in Phase 2, or b) 250 units, whichever comes first.	When submitting application for C of O that is 75% of trigger; and When submitting application for trigger C of O.	N/A
Neighborhood Pocket Parks Single Family Residential Multi-Family Residential	Construction – all pocket parks by owner/developer Ownership and maintenance – subdivision Ownership and maintenance - developer	Prior to issuance of C or O for first dwelling unit above and beyond 50% of the total units to be built in the subdivision or development.	When submitting application for C of O that is 75% of trigger; and When submitting application for trigger C of O.	200 square feet of pocket park per each residential dwelling unit; applies to single-family and multi-family residential units.






* The issuance of a C of O for a single-family residence (SFR) is not a standard practice of the City of Tucson Planning and Development Services Department. Rather a new SFR is deemed complete and occupiable once the building's final inspection has been approved and the permit has been placed in "Final Status."



Exhibit II.F: Phasing Plan



LEGEND

-  PHASE 1
-  PHASE 2
-  PHASE 3
-  PHASE 4
-  NEW PRODUCTION WELL SITE
(ALL WELL SITES ARE APPROXIMATE. FINAL LOCATIONS WILL BE DETERMINED AT THE TIME OF BLOCK PLATTING).

0' 300' 600'

SCALE 1"=600'-0"

PROJECT: AGS-06 DATE: 02/07/20

FILE NAME: AGS05_LA ESTANCIA_F HAGNG PLAN_020720.DWG





III. DEVELOPMENT REGULATIONS

Land Use Designations

La Estancia Planned Area Development Standards establish the intensity and character of Project development by prescribing site specific use and performance standards that are tailored to the unique qualities of the Project. Development within each Development Area shall be further reviewed in accordance with the La Estancia Design Guidelines. Specific attention shall be given to transition techniques between adjacent/non-similar uses (I.5).

1. Low Density Residential (LDR): Development Areas 1-3

a) Primary Uses Permitted:

1. Residential

b) Alternate Uses Permitted:

1. Educational Facilities
2. Parks/Recreation
3. Golf Course and Related Facilities
4. Public Facilities

c) Residential Development Standards:

1. Average Area per Dwelling Unit: 9,000 square feet
2. Perimeter Yard Requirements:
 - a. Front: At least 50 percent of the building frontage must be set back a minimum of 12 feet. Twelve feet is the minimum setback for the second floor.
 - b. Rear: Minimum setback to the main structure may be 0 feet, but at least 50% of the building along this rear property line must be set back a minimum of 12 feet. Minimum setback of 18 feet to garage door except 0 feet if garage door is perpendicular to the street. 12 feet minimum to second floor.
 - c. Side: If a sideyard is not 0 feet, it requires a minimum of 4 feet. Side yards fronting on a street can be 0 feet but at least 50 percent of building wall must be set back a minimum of 6 feet.

d) Non-residential Development Standards:

1. Maximum Floor Area Ratio: 0.5



2. Building setback from Residential Areas: A distance equal to the building height but not less than 20 feet
3. Maximum Building Height: 40 feet
4. Minimum landscape coverage: 20 percent of gross site area.
5. Maximum Building Height: 24 feet

2. Medium Density Residential (MDR): Development Areas 4-8

a) Primary Uses Permitted:

1. Residential

b) Primary Uses Permitted: Alternate Uses Permitted:

1. Educational Facilities
2. Parks/Recreation
3. Golf Course and Related Facilities
4. Public Facilities

c) Residential Development Standards:

1. Average Area per Dwelling Unit: 5,000 square feet
2. Perimeter Yard Requirements:
 - a. Front: At least 50 percent of the building frontage must be set back a minimum of 12 feet. Twelve feet is the minimum setback for the second floor.
 - b. Rear: Minimum setback to the main structure maybe 0 feet, but at least 50% of the building along this rear property line must be set back a minimum of 12 feet. Minimum setback of 18 feet to garage door except 0 feet if garage door is perpendicular to the street. 12 feet minimum to second floor. If alley loaded, minimum setback may be 1 foot to dwelling wall and 3 feet to garage door.
 - c. Side: If a sideyard is not 0 feet, it requires a minimum of 4 feet. Side yards fronting on a street can be 0 feet but at least 50 percent of building wall must be set back a minimum of 6 feet.
3. Maximum Building Height: 32 feet, however, no more than 50 percent of footprint may exceed 24 feet



d) Non-residential Development Standards:

1. Maximum Floor Area Ratio: 0.5
2. Building setback from Residential Areas: A distance equal to the building height but not less than 20 feet
3. Maximum Building Height: 40 feet
4. Minimum landscape coverage: 20 percent of gross site area.

3. Medium High Density Residential (MHDR): Development Area 9

a) Primary Uses Permitted:

1. Residential

b) Alternative Uses Permitted:

1. Educational Facilities
2. Parks/Recreation
3. Golf Course and Related Facilities
4. Public Facilities
5. Freeway Related Commercial
6. Recreational Vehicle Park

c) Residential Development Standards:

1. Average Area per dwelling Unit: 3,000 square feet
2. Perimeter Yard Requirements:
 - a. Front: At least 50 percent of the building frontage must be set back a minimum of 12 feet. Twelve feet is the minimum setback for the second floor.
 - b. Rear: Minimum setback to the main structure may be 0 feet, but at least 50% of the building along this rear property line must be set back a minimum of 12 feet. Minimum setback of 18 feet to garage door except 0 feet if garage door is perpendicular to the street. 12 feet minimum to second floor. If alley loaded, minimum setback may be 1 foot to dwelling wall and 3 feet to garage door.
 - c. Side: If a sideyard is not 0 feet, it requires a minimum of 4 feet. Side yards fronting on a street can be 0 feet but at least 50 percent of building wall must be set back a minimum of 6 feet.
3. Maximum Building Height: 40 feet



d) Primary Ingress/Egress for Residential uses must be directed toward the center of the Project site and may not access the Interstate Frontage Road.

1. In Development Area 6:

- a. No residential development will be permitted within 280 feet of any adjacent I-2 zone or use.
- b. Purchasers residential property within 500' of any adjacent I-2 zone or use will be notified at time of purchase and will be given a disclosure statement at closing notifying them of those industrial uses.

e) Non-residential Development Standards

1. Primary access for the Freeway-style commercial uses must be from the Interstate Frontage Road; however, secondary access may be provided to allow community residents direct access to these services. Maximum Floor Area Ratio: 0.8
2. Building Setback from Residential Areas: A distance equal to the building height but not less than 20 feet
3. Maximum Building Height: 60 feet
4. Minimum landscape coverage: 10 percent of gross site area.
5. A 6-foot screen wall and a 5-foot landscape buffer shall be installed where the proposed Project abuts residential land uses.

Buildings within the Noise Mitigation Overlay Zone must be least 24 feet tall to provide noise attenuation. All uses except commercial, open space and parking shall have a minimum setback of 100' from any adjacent I-2 zone or use.

4. High Density Residential (HDR): Development Areas 10-12

a) Primary Uses Permitted:

1. Residential

b) Alternate Uses Permitted:

1. Office
2. Educational Facilities
3. Parks/Recreation
4. Golf Course and related facilities
5. Public Facilities
6. Commercial

c) Residential Development Standards:

1. Maximum Density: 36 RAC



2. Building Setback from Public Streets: a distance equal to 60 percent of building height, but not less than 20 feet. If alley loaded, minimum setback may be 1 foot to dwelling wall and 3 feet to garage door.
3. Maximum Building Height: 48 feet
4. No residential development will be permitted within 280 feet of any adjacent I-2 zone or use.
5. Purchasers of residential property within 500' of any adjacent I-2 zone or use will be notified at time of purchase and will be given a disclosure statement at closing notifying them of those industrial uses.

d) Non-residential Development Standards:

1. Maximum Floor Area Ratio: 0.8
2. Building Setback from Residential Areas: A distance equal to 1-1/2 times the building height but not less than 20 feet.
3. Minimum landscape coverage: 10 percent of gross site area.
4. A 6-foot screen wall and a 5-foot landscape buffer shall be installed where the proposed Project abuts residential land uses.
5. Provide transitions to adjacent residential uses by demonstrating compliance with Section I.5.a Mixed Use Opportunities and Use Transitions, in the Design Guidelines Manual
6. In Development Area 10, all uses except commercial, open space and parking shall have a minimum setback of 100' from any adjacent I-2 zone or use.

5. Commercial (C): Development Area 13-15

a) Uses Permitted:

1. Uses as permitted by the C-1 zone of the City of Tucson Unified Development Code.
2. Residential Uses as permitted in HDR (Development Areas 9-11).
3. Educational Facilities

b) Non-residential Development Standards:

1. Uses Maximum Floor Area Ratio: 0.8



2. Maximum Total Building Coverage: 80 percent
3. Building Setback from Public Streets: a distance equal to 60 percent of building height, but not less than 20 feet. If alley loaded, minimum setback may be 1 foot to dwelling wall and 3 feet to garage door.
4. Maximum Building Height: 48 feet
5. Provide transitions to adjacent residential uses by demonstrating compliance with Section 1.5.a Mixed Use Opportunities and Use Transitions, in the Design Guidelines Manual.

c) Residential Development Standards:

1. In accordance with those standards in HDR (Development Areas 10-12).

d) Building Setbacks:

Building setback requirements may be reduced by 50% when any of the following conditions are met:

- Landscape requirements are increased by 50%.
- Parking is located in the rear of the building(s).
- Customer and pedestrian seating areas are provided.

e) Parking:

Required parking may be reduced up to 15% of the number of spaces required by the Unified Development Code (UDC) if the applicant demonstrates substantial compliance with the La Estancia Design Guidelines, or through an Individual Parking Plan.

6. Regional/Freeway Related Commercial (RFC): Development Area 7 (7a, 7b, 7c, 7d)

a) Uses Permitted:

1. Uses as permitted by the C-2 zone of the City of Tucson Unified Development Code (UDC).
2. Residential (Development Areas 17 and 18) as permitted in HDR (Development Areas 9-11).
3. Recreational Vehicle Park

b) Non-residential Development Standards



1. Maximum Floor Area Ratio: 1.0
2. Building Setback from Public Streets: if not alley loaded, a distance equal to 60 percent of building height, but not less than 20 feet. If alley loaded, minimum setback may be 1 foot to dwelling wall and 3 feet to garage door
3. Maximum Building Height: 60 feet
4. Provide transitions to adjacent residential uses by demonstrating compliance with Section I.5.a Mixed Use Opportunities and Use Transitions, in the Design Guidelines Manual.

c) Residential Development Standards

1. In accordance with those standards in HDR (Development Areas 9-11).

7. Light Industrial (LI): Development Area 19

a) Uses Permitted:

1. Uses as permitted by the I-1 zone of the City of Tucson Unified Development Code (UDC).

b) Alternate Uses Permitted:

1. Where it can be demonstrated that interior sound levels have been reduced to 65 db or below, non-residential uses as permitted in RFC (Development Areas 16-18) shall be permitted.
2. Regional Transit Center
3. Light Rail Station
4. Plant Nursery/Community Garden
5. Parks/Playgrounds
6. Trails
7. Active /Passive Recreation

c) Development Standards:

1. All standards are as required for the I-1 Zone of the City of Tucson Unified Development Code (UDC).

8. Open Space (P/OS)

a) Uses Permitted:

1. Parks, Playgrounds
-



2. Trails
3. Active/Passive Recreation

9. Sound Mitigation Overlay Zone

a) Special Development Standards:

1. Each development within the sound mitigation overlay must demonstrate that noise impacts are mitigated uses any of the following methods:
 - Masonry walls
 - Earthen berms
 - Strategic siting of buildings
 - Other innovative site design or measures to mitigate noise.
2. Within this overlay zone, office, residential and educational facilities must be provided with insulation or otherwise designed to reduce the interior noise level Ldn 45 or less or as required by building codes.
3. A site plan and other supporting materials demonstrating these mitigation measures must be submitted to the Design Review Committee. Mitigation must also be demonstrated as part of the development plan or subdivision platting approval.

10. Signage

- a) All signage will be designed in accordance with the City of Tucson Sign Code. A signage theme will be prepared and approved by the La Estancia Design Review Committee prior to the construction of any on-site signage. All proposed signage will be approved by the Committee prior to submittal to the City Signs Department for approval.

b) Prohibited Signs:

- Billboards





IV. IMPLEMENTATION & ADMINISTRATION

A. Proposed Changes to Zoning Ordinances

The Project will not result directly in the modification or change of any existing building codes or other ordinances except portions of the applicable Zoning Map of the City of Tucson.

B. Site Plan and Architectural Review Procedures

The Planned Area Development shall be implemented through the review process of development plans and/or plats through the City of Tucson. A plan shall be required for all development within the Planned Area Development area requiring a building permit or where landscaping is to be installed. All development plans and subdivision plats shall be designed in accordance with the 2016 Residential Design Guidelines (see Appendix A) and the 2019 Residential Landscape Guidelines (see Appendix B).

All proposed development plans and subdivision plats within the Planned Area Development area shall have been submitted to the La Estancia Design Review Committee prior to the Development Plan or Subdivision review by the City of Tucson. It is not the responsibility of the City of Tucson to verify that each developer has conformed with any required La Estancia Design Review Committee review.

Development plans and/or plats for non-residential projects or for residential projects requesting a variance from the standards of this plan shall be submitted to the City staff for review and approval only after the written approval of the La Estancia Design Review Committee is obtained. Applicants are encouraged to submit preliminary plans for review and comment by City Planning Department prior to the final preparation of a Development Plan or plat. Comment from other City departments and service agencies shall be sought by the applicant prior to preparing a recommendation on the finalized plans.

C. General Administration and Amendment Procedures

1. Adoption

The Planned Area Development shall be processed in accordance with the City of Tucson Unified Development Code (UDC) and may be amended from time to time in accordance with such provisions. Whenever a conflict exists between the Planned Area Development and the Unified Development Code (UDC) the Planned Area Development shall apply. Once the Planned Area Development ordinance is adopted, it becomes operative.

2. Administration and Enforcement

The Planned Area Development shall be administered and enforced by the City Planning Director.



Minor Changes

The Planning Director may allow minor changes to the criteria set forth in the Planned Area Development, providing said changes are not in conflict with the overall intent as expressed in the Plan. Any changes must conform to the goals and objectives of the Plan.

The following items shall be considered to be minor changes:

- The addition of new information to the Planned Area Development maps or text that does not change the effect of any regulations or guidelines.
- Changes to the community infrastructure, such as drainage, water, and sewer systems which do not have the effect of increasing or decreasing development capacity in the Planned Area Development area, nor change the concepts of the Plan.
- The determination that a use be allowed which is not specifically listed as permitted but which may be determined to be similar in nature to those uses explicitly listed as permitted.
- Changes in residential densities not to exceed an increase of 15% of the maximum allowable in each Development area provided the increase does not cause an increase to the overall unit cap of 4,067 for the project.
- Adjustments to development standards that are in the interest of the community and do not affect health or safety issues.

3. Amendment Procedures

The approved Plan may be amended through the process outlined in the City of Tucson Unified Development Code (UDC).





La Estancia

A. 2016 Residential Design Guidelines





La Estancia Community Association
Residential Design Guidelines
June 2016

**La Estancia Community Association
Residential Design Guidelines
(Revised June 2016)**

I. INTRODUCTION

ALL PROPOSED CHANGES MUST BE SUBMITTED TO THE DESIGN REVIEW COMMITTEE FOR APPROVAL AND NO WORK MAY BEGIN WITHOUT THE APPROVAL OF THE DESIGN REVIEW COMMITTEE.

THE DESIGN REVIEW COMMITTEE MAKES NO WARRANTY, EXPRESSED OR IMPLIED, THAT ANY PLAN SUBMITTED AND APPROVED IS IN ACCORDANCE WITH ALL STATE, COUNTY, OR LOCAL BUILDING CODES. EACH HOMEOWNER IS REQUIRED TO CHECK AND RECEIVE, AS APPROPRIATE, ALL REGULATORY APPROVALS FOR ANY AND ALL CHANGES MADE TO ANY HOME OR LOT.

To the extent that any local government ordinance, building code or regulation requires a more restrictive standard than the standards set forth in the La Estancia Community Association Rules or the Declaration, the government standards shall prevail. To the extent that any local government standard is less restrictive than the Rules or the Declaration, the Declaration and Rules (in that order) shall prevail.

II. DESIGN REVIEW COMMITTEE

The Design Review Committee is appointed by the Board of Directors of the Association, which serves as the final authority on all Architectural and Landscape Design issues as set forth in Article Six (6) of the Declaration. The Committee is responsible for reviewing all proposed changes, modifications or alterations to the exterior structure of each home and the landscaping. All proposed changes must be submitted to the Committee for approval and no work may begin without the approval of the Committee. Procedures for submitting proposed changes to the committee are spelled out in Appendix A.

III. RESIDENTIAL DESIGN GUIDELINES

A. Architectural Character: Modifications to, Additions to and Maintenance of Existing Homes.

1. The architectural design of any and all additions, alterations or renovations to the exterior of an existing home shall strictly conform to the design of the original home in style, detailing, materials and color.
2. The height of any addition to an existing home shall be no higher than the original roofline.

3. All additions to an existing home shall be built within the setback lines originally established for La Estancia Community Association, regardless of more lenient requirements of any governmental authority.
4. All materials used in the maintenance, repair, addition to and alterations of an existing home shall be consistent with those materials used in the original construction of the home as to color, composition, type and method of attachment. The Design Review Committee may allow substitute materials if such materials are deemed by such committee to be compatible with the theme of the community.
5. When additions, alterations or renovations are performed to an existing home, the established lot drainage shall not be altered. All new or altered roofs shall drain to the ground solely within the deeded lot area. No roof may drain directly or indirectly onto a neighboring property.
6. Mirrored or reflective surfaces and all treatments, which change ordinary glass into a mirrored or reflective surface, are prohibited. Non-mirrored window tinting is permitted, subject to submittal and approval.
7. Bright untarnished copper and metallic surfaces shall be treated to reduce reflections.

All maintenance and repairs of existing homes shall be consistent with the requirements set forth in the Governing Documents for La Estancia Community Association.

B. Site Contouring/Drainage

Contour front yards to create visual interest in the landscape and produce soft, gentle transitions between the existing grade of the home and the adjacent street. Utilize contours to create microclimates for planting. Use depressed areas to collect natural run-off for plants that benefit from additional water and mounded areas for drought tolerant plants. Contouring should transition into grades on both sides of the lot to create a flowing, continuous streetscape. All front yard landscape improvements must include contouring plans.

1. Contouring yards may not result in major changes to drainage patterns on the lot.
2. Water may not be directed toward the building foundation or toward any neighboring property.
3. Drainage may not be altered to create any condition that could lead to offsite soil erosion on open spaces.
4. If necessary, the drainage area must be appropriately covered with 3"-5" angular riprap.

Prohibited and Restricted Structures

For Ramadas, Gazebos, and Pergolas see the sections in this document that pertain to these structures.

The following structures shall be **prohibited** in La Estancia:

- Clothes lines or clothes poles
- Detached garages (other than those constructed by Homebuilder which have previously been approved by the Design Review Committee)
- Detached structures enclosed on all sides
- Detached living quarter structures
- Tents of a permanent nature

The following structures shall be restricted in La Estancia

- Storage buildings sheds, or accessory buildings may not exceed the height of any party wall or side return wall. All storage sheds or accessory buildings must be screened from view from the common area and must be placed at least five feet (5') from any party or return wall, unless the structure is one foot (1') lower than the wall and must not exceed 100 sq. ft.

IV. MODIFICATION: SPECIFICATIONS AND RESTRICTIONS

The following items must be submitted for approval prior to beginning any modifications:

Ancillary Equipment.

1. All ground-mounted equipment for a pool, spa and water feature shall be adequately screened from street view and from the view of neighboring property, including lots, common area and any arroyo corridor, by a wall at least one foot (1') higher than the equipment to be screened and at least one foot (1') below any party wall. Such screening structures shall be considered an integral part of the architecture and shall match as closely as possible the design, color and exterior texture of the home. Screening structures shall be set back from the equipment according to manufacturer's recommendations or, if no recommendations are available, allow for adequate air circulation around the equipment, but may not trespass on a neighboring lot. If the setback requirements for a lot would prohibit the construction of a screening structure as provided herein, the Design Review Committee may approve a landscape buffer as an alternative.
2. All air-conditioning units must be ground mounted. The top of any unit may not exceed thirty-six inches (36") from finished floor grade.

All plans must be submitted to the Design Review Committee for approval.

Antennas and Satellite Dishes

The Federal Communication Committee Rule prohibits Associations from restricting the use of antennas intended to receive direct broadcast satellite service that are eighteen inches (18”) or less in diameter. However, the Association may impose reasonable restrictions on the safety and other specific parameters allowed by the FCC Rule.

1. The Association must be notified of the installation of a satellite dish, antenna and Internet access equipment.
2. Antenna or satellite dishes must be properly installed per industry standards.
3. Antenna or satellite should be located to reduce its visibility.

Antennas:

1. Antennas may not be located on a freestanding tower or platform so as to be visible from common areas or any neighbor’s yard.
2. Roof mounted antenna should be mounted so as not to be seen from the street.

These location, installation and screening requirements are based on aesthetics, non-interference with reception by neighbors, preservation of property values and safety, including avoidance of injury or property damage from improperly installed or otherwise dangerous antennas or dishes.

If it becomes necessary to mount the satellite dish or antenna to the home, the association may require the wires or pole to be painted to match the home.

Balconies/Patios/Front Door Areas

These areas may not be used for storage of any items and must be maintained in good condition at all times. Items permitted are outdoor furniture pieces and plants.

Barbecues/ Fire Pits and Fireplaces

Built-in barbecue units, fire pits and/or fireplaces must be contained within the rear yard patio or courtyard and must be designed to match the color and texture of the exterior finish of the home. No wood burning fireplaces or fire pits are allowed. Site chimney elements may not exceed a height of seven feet. The chimney element on fireplaces must be setback a minimum of ten feet (10’) from any view fence panel and five feet (5’) from any other wall.

All plans must be submitted to the Design Review Committee for approval.

Basketball Goals/Hoops

Basketball goals located in front of homes shall be permanently installed on the inside edge of owner's driveway, and may not be located closer than ten feet (10') from the inner edge of the sidewalk or from any property walls. The pole/post shall be black or dark green. Basketball goals or backboards may not be mounted to the garage. Portable basketball goals are not permitted in front of owner's home. Basketball goals may not be lighted and must be clear or neutral in color. The logo on the backboard may not exceed 15% of the backboard. Basketball goals/hoops are not allowed on any driveway that is shared by more than one (1) residential unit. Basketball hoops in swimming pools are allowed provided they are no taller than five feet (5') measured from the pool deck to the top of the backboard. Backboard colors and logos must conform to the description above.

All plans must be submitted to the Design Review Committee for approval.

Concrete/Paver Walkways

A single walkway from the side of the driveway to the side yard gate will be permitted provided that the walkway is no wider than 42". Walkway must be tied into the 50% of the driveway closest to the home.

All plans must be submitted to the Design Review Committee for approval.

Flag Display

Only one free standing flagpole shall be permitted per lot. The height of the flagpole from grade level of the lot shall not exceed the height of the rooftop of the home. Flagpoles may only display the following flags; the American flag, U.S. Military flags, the POW/MIA flag, the Arizona State flag, Gadsden flag or an Arizona Indian Nations flag. No more than two flags may be displayed at once. The size of the flag shall not exceed four (4) feet by six (6) feet in dimension. Lines, lanyards and metal clips are not permitted to disturb the peace of the neighborhood and shall be fixed in a manner to eliminate noise caused by being windblown. Plans for lighting the flag and flag pole must be submitted for approval (which can be done at the same time). When lighting is installed, all due care must be taken to use a fixture and bulb wattage that will not cause a nuisance to neighboring lots.

All flags and flagpoles shall be maintained in good condition in accordance with community standards and the American, Arizona State or Military flag must be flown in accordance with the Federal Flag Code.

In addition, residents may use brackets mounted on the house or garage for the display of the American flag and one of the above additional flags. Flags displayed from such mounts shall be no larger than three (3) feet by five (5) feet in dimension.

Flags do not include a depiction or emblem of the flag that is made of balloons, flora, lights, paint, paving materials, roofing, siding or any other similar building, decorative or landscaping component or materials.

All plans must be submitted to the Design Review Committee for approval.

Decorative or Seasonal Flags

Two seasonal flags which are house mounted below the roofline do not require approval. Seasonal flags may be displayed 30 days before the holiday and must be removed within 15 days after the date of the holiday to which the flag pertains. Flags must be maintained in good condition at all times. Flags that are torn, ripped, faded, etc. constitute grounds for removal. Flags shall not be offensive to the Association.

Gates

No access gates to the common areas shall be permitted. Side yard access gates must be designed, constructed and finished in a manner consistent with gates on lots within the Neighborhood in which the lot is located. Consideration should be given to heavy-duty steel jambs and gate frames. If yard contains a pool, the gate must conform to all pool codes.

All plans must be submitted to the Design Review Committee for approval.

Holiday Decorations

Given the wide range of ethnic and religious backgrounds of the membership of La Estancia, the Association will not regulate the types of decorations to be displayed. However, the Committee has determined to regulate the period of time decorations can be displayed. Therefore, seasonal decorations may be put up after November 15 and must be removed by January 15. For other seasonal holidays, decorations may be put up one week before the holiday and must be removed within one week after the holiday.

Lighting

1. The City of Tucson and Pima County have an Outdoor Lighting Ordinance. Any outdoor lighting must conform to the current ordinance. All lighting should be low level and recessed to shield the source of light.

2. The maximum height of any outdoor lighting source shall be twelve feet (12') above finished grade.
3. Spotlights and floodlights are prohibited in front yards. If spotlights and floodlights are installed in the backyard, it may not be directed at or shine on a neighbor's yard or on the common area and should be integrated into the architecture of the home.
4. Design light fixture enclosures to conceal the fixture and direct the light downward.
5. No post lights will be permitted.
6. Colored lamps/bulbs are not allowed
7. All lighting fixtures must not exceed 65 lumens in intensity.

Landscape Lighting

Landscape lighting can be highly effective as an accent statement accenting landscape features, sidewalks, or driveways. Where accent or access lighting is desired; low voltage lighting is preferred because of its ability to produce dramatic lighting effects using extremely low wattage lamps.

1. Shrubs shall be used to conceal landscape lighting fixtures. Junction boxes must be placed below grade to minimize daytime visibility of the hardware.
2. All lighting fixtures must not exceed 65 lumens in intensity.
3. Colored lamps/bulbs are not allowed.
4. Lighting design should consider the impact to the nighttime sky. Use lighting in moderation as needed to produce reasonable and safe visibility for access or accent.

All plans must be submitted to the Design Review Committee for approval.

Pools/Water Features

1. All swimming pools and pool/spas shall be of the in-ground type, except that above ground spas may be permitted if the spa will be screened from street view and from the common area.

2. Pool, spa and water feature equipment shall be screened from street view and the view from neighboring property, including lots and common areas (Also see requirements under Ancillary Equipment.)
3. All swimming pools and pool/spas shall be enclosed as required by applicable law.
4. Pools and spas should be drained per City of Tucson Code of Ordinances. No pools may be drained or backwashed onto streets, open space, common area or onto any other property.
5. Pool construction equipment may not be placed on the common area or be brought to the site across the common area. No access site will be granted through common area tracts.
6. Any water features incorporated into the pool area shall:
 - a. Not exceed the height of any party wall.
 - b. Have all sides of the water feature finished.
 - c. Be no closer than five feet (5') to any party wall.

All plans must be submitted to the Design Review Committee for approval.

Rain Gutters

Rain gutters may be added to residences to prevent erosion of landscaped areas. All gutter installations must have appropriate configuration for proper drainage. In addition, they must be painted to match the home. Faux copper patina is also permitted.

All plans must be submitted to the Design Review Committee for approval.

Ramadas, Gazebos, and Pergolas

The cumulative size of all structures (including ramadas, gazebos, pergolas and sun sails) shall not exceed 10% of the total back yard square footage. (Note – this does not include the side yards. Irregular shaped yards will be considered on a case by case basis)

Ramadas:

1. All ramadas must be detached from the existing home.
2. The height of any ramada shall not exceed ten feet (10') above the floor level of the existing home unless otherwise approved by the Design Review Committee.

3. All structures must be set back ten feet (10') from all walls or five feet (5') with approval from all adjacent neighbors.
4. To ensure an open, airy appearance, no side of any ramada, may exceed 25% residential construction materials. In other words, at least 75% of each side must be open.
5. All ramadas must be designed to match the color, design and elevation of the home including the pitch of the roof and shall be constructed of stable, non-deteriorating materials.

Arbors, Gazebos and Pergolas:

1. Pergolas may be attached to the back of the home.
2. The height of any gazebo or pergola shall not exceed ten feet (10') above the floor level of the existing home unless otherwise approved by the Design Review Committee.
3. All structures must be set back ten feet (10') from all walls or five feet (5') with approval from all adjacent neighbors.
4. To ensure an open, airy appearance, no side of any gazebo or pergola may exceed 25% residential construction materials. In other words, at least 75% of each side must be open.
5. All arbors, gazebos and pergolas shall be constructed of stable, non-deteriorating materials and shall be compatible with the design, color and materials of the existing home.

All plans must be submitted to the Design Review Committee for approval.

Screening Shade Devices/Awnings

Man-made screens and shade devices must appear as an integral part of the building elevation even though they may be installed after the building is completed or occupied. Materials must complement the architecture of the home and the Neighborhood in which the home is located. Window screening is permitted; however, screen fabric must be dark brown, black or a neutral color with the frame painted to match color of the home. Sheets, paper, foil or other reflective material are not permitted. Window decals of any sort are not permitted, excluding small security decal. Non-reflective window tint is permitted. Sensor controlled (to minimize wind damage) retractable awnings are permitted as long as they are made of sun resistant fabric to match the home body color or trim. Outdoor draperies are

allowed in muted earth tones and the curtain rods must be mounted out of sight from neighbors or common areas.

All plans must be submitted to the Design Review Committee for approval.

Storage Sheds or Accessory Buildings

Storage buildings sheds, or accessory buildings may not exceed the height of any party wall or side return wall. All buildings must be screened from view from the common area and must be placed at least five feet (5') from any party or return wall, unless the structure is one foot (1') lower than the wall and must not exceed 100 sq. ft.

All plans must be submitted to the Design Review Committee for approval.

Sun Sails

1. To ensure an open airy appearance, the height of any sun sail shall not exceed ten feet (10'), and must have a minimum height of six feet (6') above the floor level of the existing home unless otherwise approved by the Design Review Committee.
2. The cumulative size of all structures (including ramadas, gazebos, pergolas and sun sails) shall not exceed 10% of the total back yard square footage. Note – this does not include the side yards. Irregular shaped yards will be considered on a case by case basis.
3. All structures must be set back ten feet (10') from all walls or five feet (5') with approval from all adjacent neighbors.
4. All sun sails must be made of sun resistant fabric to reduce fading.

All plans must be submitted to the Design Review Committee for approval.

Security and Screen Doors

Security and screen doorframes must be painted to be consistent with the architecture of the home. Screen fabric must be dark brown, black or a neutral color. "Invisible" roll screen doors with black or dark brown screens are approvable for doors visible from street elevations. Metal roll down security shades are permitted as long as the color matches the color of the home.

All plans must be submitted to the Design Review Committee for approval.

Signage

“For Sale”, “For Lease”, “For Rent”, “Open House” and “Political” signs may be allowed on residential lots so long as they meet the La Estancia Community Association Rules and Regulations Policy and/or state statutes.

Advertising signage is not permitted.

Identification signs (Street numbers) shall not exceed seventy-two (72) square inches.

One “security” sign may be installed in the front yard of a home. The sign must be no greater than one hundred (100) square inches, no higher than eighteen inches (18”) tall and placed no more than two feet (2’) from the foundation of the home.

Temporary signs such as “Garage Sale” signs can only be put out the day of the event and must be removed the same day immediately after.

Political Signs

Shall conform to state statute/city ordinance regarding size, type, number and time of display. The political sign must be displayed within the member’s property. No political signs shall be placed in the common areas or attached to the Association walls. Political signs cannot be placed at Community or Neighborhood entrances. A political sign is a sign that attempts to influence the election of a public officer or attempts to influence a public measure such as a ballot measure, a proposition or the recall of a public officer.

Signs that do not comply with the Declaration and rules may be removed by the Association and/or its agents without any prior notification. Should any cost be incurred by the Association for such removal, it shall be charged to the Owner, as a Special Assessment, of the Lot displaying the sign. Any such signs removed will be retained by the Association and/or its agents for a period of ten (10) days and then discarded. To recover signs removed, contact the Association office.

Solar Panels

All solar panels that will be visible from neighboring properties or common areas must be approved by the Design Review Committee prior to installation and shall be in compliance with current state guidelines. All wires and conduit leading from the panel down the side of the home must be painted to match the corresponding structure.

All plans must be submitted to the Design Review Committee for approval.

Swing Sets/Play Structures

All equipment shall be a minimum of ten feet (10') feet from the property wall. All equipment shall be well maintained and in good repair. No set or any portion of the set shall be approved that is greater than ten feet (10') in total height. The maximum platform height cannot exceed eight feet (8'). Any equipment that is greater than six feet (6') in height must be submitted for approval to the Design Review Committee. Any colored canopy, cover, or any other portion of the set that exceeds six feet (6') feet in height is subject to Design Review Committee approval.

The Committee will consider blue, green, or neutral colors for any portion that exceeds the six feet (6') limitation.

All plans must be submitted to the Design Review Committee for approval.

Trampolines

All trampoline equipment shall be a minimum of ten feet (10') from any party walls including Community shared or neighboring. All trampoline equipment shall be well maintained and in good repair. No trampoline or any portion of the trampoline (including safety nets or other such devices) shall be approved that is greater than ten feet (10') in height. Safety nets including the top and side railings, if any, must be brown, black, or a neutral color.

All plans must be submitted to the Design Review Committee for approval.

Trash and Recycle Containers

No garbage or trash shall be stored in a yard except in city issued trash and recycle containers. Trash and recycling containers may not be stored in the front yard of any home and shall be placed out no earlier than 6pm on the evening before trash pick-up and removed from the trash pick-up area by 6am the morning after service is provided. Containers must not be visible while stored.

Walls, Fences, Courtyards and Patios

1. Walls shall not be constructed within arroyo corridors or arroyo corridor easements.
2. No alterations, changes or additions shall be allowed to walls constructed by the Builder or Declarant for or adjacent to any lot without the prior written approval of the Design Review Committee.

3. No front courtyard walls (wall attached in the front yard to home) shall be greater than five feet (5') above finished garage floor elevation, and must remain within the building envelope.
4. Decorative wall (free-standing walls in the front yard) shall not exceed two feet, six inches (2'6") in height and must be setback a minimum of ten feet (10') from the edge of the sidewalk or if no sidewalk is located on the lot, a minimum of fifteen feet (15') from the back of the curb. Height is measured from the finish grade along the exterior side (street side) of the enclosure.
5. Rear yard, side yard and patio wall surfaces that exceed two feet, six inches (2'6") shall be masonry, stucco or wrought iron. Acceptable wall materials are described below. Wall materials shall be selected to reflect the character of the home and Neighborhood in which the lot is located.
 - 5.1 Masonry must match the existing masonry used by the Builder for constructing walls within the Neighborhood in which such lot is located or shall be stuccoed and/or painted to match the home on the interior sides and the common community wall on the exterior sides.
 - 5.2 Stucco shall be applied to exterior wall surfaces to completely cover all masonry joints and CMU block. A minimum of a two-coat application is required. Walls must be painted to match the house if they are visible from the common area.
 - 5.3 Wrought iron must match existing wrought iron both in style and color used by the Builder or Declarant. If no wrought iron exists, design of new wrought iron shall be consistent with existing architecture of surrounding structure.
6. If a wall is to be built on a common property line, letters from neighboring homeowners must be obtained stating their agreement to the construction or modification of the wall. Neighboring homes can include homes immediately adjacent to home requesting the modification, across the street or behind the home, depending on the circumstances. Such letters shall be obtained prior to and enclosed with the submittal of a Design Review Request to the committee for an owner-constructed wall or any addition or alteration to Declarant-constructed wall located on common property lines.
7. No chain link or similar material shall be used as fence material on lots in La Estancia. The Builder or Declarant may utilize any temporary fencing material it deems necessary to protect its construction sites and maintenance yards.

8. Unless otherwise specified, maximum height of walls shall be measured from the finished ground elevation on the highest side of the submitted wall.
9. Cut or fill slopes along the exterior of the wall shall be smooth and taper gradually to match existing grades.
10. Retaining walls, which are partially below the finished grade or walls used as planters, shall be properly moisture-proofed to avoid unsightly water staining.
11. Walls used to retain floodwaters shall be constructed to a minimum of one foot (1') above the water level of a 100-year storm.
12. Any request to extend yard fences must be approved by Design Review Committee prior to construction

All plans must be submitted to the Design Review Committee for approval.

V. NON-LIABILITY FOR APPROVAL OF PLANS

Article Six (6) of the Declaration contains a disclaimer of liability or responsibility for the approval of plans and specifications contained in any request by an owner. PRIOR TO SUBMITTING PLANS OR INFORMATION FOR REVIEW, YOU SHOULD READ AND UNDERSTAND THIS DISCLAIMER. IF YOU DO NOT UNDERSTAND IT, PLEASE ASK A REPRESENTATIVE OF THE DECLARANT OR DESIGN REVIEW COMMITTEE TO EXPLAIN IT TO YOU.

THE DESIGN REVIEW COMMITTEE MAKES NO WARRANTY, EXPRESSED OR IMPLIED THAT ANY PLAN SUBMITTED AND APPROVED IS IN ACCORDANCE WITH ALL STATE, COUNTY, OR LOCAL BUILDING CODES. EACH HOMEOWNER IS REQUIRED TO CHECK AND RECEIVE, AS APPROPRIATE, ALL REGULATORY APPROVALS FOR ANY AND ALL CHANGES MADE TO ANY HOME OR LOT.

VI. CHANGES AND AMENDMENTS TO THE DESIGN GUIDELINES

The Design Guidelines may be amended as follows:

The Design Review Committee or the Board of Directors of the Association may propose changes to these Design Guidelines. Additionally, any owner may submit to the Design Review Committee proposed changes to these Design Guidelines for review and consideration.

Such amendment shall be promptly posted in a prominent place within the Properties. All amendments shall become effective upon adoption by the Board of Directors. Such amendments shall not be retroactive to previous work or approved work in progress.

In no way shall any amendment to these Design Guidelines change, alter or modify any provisions of the Declaration, any supplemental Declaration or the Articles or By-Laws of the Association.

Capitalized terms that are not defined in these Design Guidelines shall have the same meaning as set forth in the Declaration.

These Design Guidelines have been prepared by the Design Review Committee for use at La Estancia Community Association.

The Board of Directors of La Estancia Community Association has adopted these Design Guidelines on this 10th day of June, 2016.

By: _____

Name: Robert A Bambauer

Title: President

The Design Review Committee of La Estancia Community Association has adopted these Design Guidelines on this 10th day of June, 2016.

By: _____

Name: Sean Walters

Title:



LA ESTANCIA COMMUNITY ASSOCIATION ARCHITECTURAL REVIEW FORM
FOR QUESTIONS, PLEASE CONTACT CCMC – 480-921-7500

This Application is to be submitted with drawings or plans for modification consideration.

OWNER: _____ ACCOUNT NUMBER: _____

PROPERTY ADDRESS: _____

MAILING ADDRESS (if different than property): _____

HOME: _____ CELL: _____ EMAIL: _____ + _____

1. Nature of Request:

_____ Initial request

_____ Re-submittal for previously conditionally approved or denied plans

2. Description of Proposed Construction or Modification (check one or more of the following):

- a) () Addition or alterations to existing home
- b) () Hardscape plans (hard, permanent materials, such as paving, brick, masonry, wood trim, concrete, rocks, flagstone, outdoor barbecue, fireplaces, or other features)
- c) () Walls, gates and/or fences
- d) () Pools and/or spas
- e) () Initial rear yard landscape installation
- f) () Landscape modifications
- g) () Other on-site improvements/additions. Please specify:

As required by the La Estancia Community Association Guidelines, attached hereto are our plans for the proposed construction or modification.

I anticipate that the proposed construction or modification described in the attached plans will be completed within _____ days/months from the date that I receive approval from the appropriate committee. I understand that, if the proposed construction or modification is approved, I will be responsible for scheduling all work in a timely manner, for completing the work within the time period specified in the committee's approval, and for complying with the approval issued.

I UNDERSTAND AND ACKNOWLEDGE THAT NO WORK MAY COMMENCE PRIOR TO THE APPROVAL OF THE APPROPRIATE COMMITTEE AND THAT I WILL BE LIABLE FOR ALL COSTS NECESSARY TO BRING ANY NONCONFORMING WORK INTO COMPLIANCE WITH THE DECLARATION AND THE COMMUNITY GUIDELINES AND FOR SUCH OTHER PENALTIES AS PROVIDED IN THE DECLARATION AND THE COMMUNITY GUIDELINES.

If you have any questions or need further information, you may contact me at the address and telephone number above or my subcontractor or representative below, (provide name, address, email and telephone number): _____

Date: _____

Owner's Signature:

ANY APPROVAL ISSUED DOES NOT RELIEVE THE OWNER FROM THE REQUIREMENTS OF THE DECLARATION, THE CITY OF TUCSON, AND THE COMMUNITY GUIDELINES.

ACTION TAKEN BY THE DESIGN REVIEW COMMITTEE:

- () Approved by the Design Review Committee
- () Approved by association consent
- () Conditionally Approved (the documents submitted are partially approved; only those items that have been approved may be started)
- () Not Approved (the entire document is not approved, and no work may commence. Owner must resubmit the application with more information or changes to obtain approval)

COMMENTS:

Authorized Signature

Date

Approval by a committee does not alleviate the responsibility of the owner to obtain any necessary governmental approval or permit.

B. 2019 Residential Landscape Design Guidelines





Residential Landscape Guidelines

La Estancia has been planned to offer residents a distinctive living environment in Tucson, close to the Coronado and Saguaro National Forests. Sunbelt Holdings (the master developer) has developed La Estancia front yard landscape standards to reflect an enhanced desert character with tree lined streets and regional plants selected for their attractiveness, hardiness, and low water use. The Landscape Design Standards are intended to establish continuity between neighbors, yet allow Homeowners the flexibility to develop an individual statement within each front yard. An approved plant list has been developed from which Homeowners shall select their front yard landscape palette. These guidelines are intended to establish an overall standard to the community.

In order to develop a consistent community landscape theme, front yard plants shall only be selected only from the restricted plant list. Each residence within La Estancia is required to participate in the Street Tree program that extends across the front of each lot. Front yard planting requirements and minimum standards are summarized to convey the expectations of design. The builders designated landscape designer/contractor or individually submitted lot will be required to submit front yard landscape design for review and approval prior to installation. Reviews are intended to ensure the landscape plan for each yard are designed in conformance with La Estancia and the City of Tucson standards.

A. Design Criteria

The following items are important for Homeowners (and their contractors) to consider for their front yard landscape development:

1. Based on the soils report for this neighborhood, planting should be placed back a minimum of 24" from house foundations. Irrigation trenching, underground lines and emitters should be located as far back as possible to prevent moisture from collecting along foundations. If the homebuilder has stricter requirements, the most restrictive shall apply
2. Each Homebuilder delivers at closing, lots certified for positive drainage. It is the Landscaper's responsibility to verify that all trades and contractors maintain proper drainage.
3. Planting design in front yards shall have an enhanced native desert character with plants massed in a clustered naturalized composition. Front yards shall have no more than six (6) different plant types. Refer to sample front yard landscape plan (Exhibit B).
4. Planting setback requirements near building foundations:
 - a. Grades should slope away from houses.
 - b. Shallow-rooted plants with a low moisture requirement should be planted no closer than 36" to building foundations.
 - c. Deep-rooted plants, including trees, with a low moisture requirement should be planted no closer than 6'-0" to building foundations.
 - d. Deep-rooted trees and plants which have a high moisture requirement should be planted no closer than 8'-0" to the building foundation.
 - e. Drains should be installed in enclosed courtyards and planters or pots to facilitate flow away from the house to designated outfall areas.
5. There is a Street Tree program that runs along all interior streets within La Estancia. The intent is to provide shady, tree-lined streets. Refer to Exhibit A for Parcel specific variety and size. Street Trees along each lot are to be installed with front yard landscape. Homeowners are required to irrigate and maintain Street Trees to help maintain a continuity and consistency along neighborhood streets.
6. Turf and/or artificial turf is not allowed in any front landscape areas. City of Tucson guidelines prohibits any turf, or water intensive landscape.
7. Builder installed rear and side yard enclosure walls may not be changed or altered, except for interior finish or color.
8. Pools are not allowed to drain beyond lots into streets or common areas.
9. Homeowners are required to always maintain landscape in a clean, well kept, native condition.



10. Homeowners may install landscape lighting in the front yard in accordance with Tucson's "Dark Sky" ordinance and the following criteria:
 - a. Provide a quality, metal, low voltage system (submit cut sheets).
 - b. Locate transformers in a location not visible from the street.
 - c. All light fixtures must be shielded so the light source is not visible.
 - d. Path lights may line front walkways, but not driveways.
 - e. Lamps are limited to 20 watt (max.) LED, incandescent, compact fluorescent or halogen bold types, however no colored lens are permitted.
11. Surface select boulders are allowed in front yards for aesthetic purposes or used to soften adjacent lot grading conditions. Boulders must be specified as 'surface select', buried 1/3 into finish grade, clustered in massings and sized between ½ to 2 tons. Sporadic placement throughout the entire front yard is specifically not allowed.
12. Front yard upgrades and embellishments are encouraged, but must be submitted for approval, to verify compliance. Upgrades may include low courtyard walls, columns, metal gates, pots, upgraded hardscape or trellis. Fountains are only allowed within courtyards or semi-enclosed areas. Submit detail drawings with dimensions, elevation and finishes for review on any proposed upgrade.
13. Front yard art or artifacts, such as but not limited to, wagon wheels, driftwood or statuary are prohibited unless specific item are reviewed and approved in writing by the Architectural Control Committee.
14. Refer to Section D for design review and submittal requirements.

B. Front Yard Landscape Requirements

Front yard landscapes should be crafted to address individual lot conditions and architectural style, yet maintain a consistent character throughout the community. The following criteria is necessary to include in each front yard landscape submittal.

1. Homeowners will be provided a plot plan from their specific builder that shall be used as a basis for design. Reference all information that will influence the landscape design. Submittals must be done to an actual scale of 1" = 10'-0" (minimum) on 11" x 17" sheets.
2. The installation of front yard landscape must be completed within 60 days of close of escrow.
3. Each lot in this community is an engineered pad, some having retaining walls. The landscape contractor shall review each lot's condition and fine grade for smooth transitions from lot to lot and to the street. No additional retaining walls, rip-rap or river rock channels are allowed. (Unless specifically approved in advance)



4. Decorative site walls integrated into slopes and naturalistic mounding is encouraged, provided it does not obstruct drainage through the lot.
5. Each front yard shall have the designated Street Trees, along the frontage of each lot. Refer to the Street Tree Master plan (Exhibit A) for the required location. Street Trees shall be generally setback 5' from back of sidewalk as shown. Street Trees are required to have a tall, upright structure.
6. A second tree is also required on all lots 50' wide and greater. The other shall be Homeowner / designer choice from the approved plant list.
7. Turf (natural or artificial) is not allowed in any front yards (except in enclosed areas) in accordance with the City of Tucson landscape guidelines.
8. A signature element of the landscape design guidelines is to create a seamless transition from one front yard to another. Lots on each side of property lines to solve and soften any grade differential. No headers may be used that define property limits.
9. Plant density in front yards shall be one (1) plant per 60 Sq. Ft. of landscape area. Front yards include all areas forward of the side yard walls to the street/sidewalk, minus driveway and front walk. Calculate all plant densities on the submittal worksheet (Exhibit E) which must be provided with each review. Plant material must be selected from the approved list (Exhibit D) found in the back of these guidelines.
10. Front yard planting shall have a minimum of (3) Base Plants (Red Yucca Hesperaloe parvifolia), that is intended to provide connectivity and blending between adjacent front yard designs. The Base Plant shall be included as part of the standard front yard density. Refer to graphic lot illustrations that clarify the typical layout and density of shrubs. (Exhibit B).
11. Planting design in front yards may have no more than six (6) different plant types, massed in a clustered naturalized composition. Refer to typical lot condition plan (Exhibit B) and approved plant list (Exhibit D). Generally front yards shall have planting close to the following ratios:

Large Shrub	25%
Foundation Shrub	20%
Base Plant (Red Yucca)	20% (3) Minimum
Cacti/Accents	15%
Flowering Groundcovers	20%

12. Twenty percent (20%) of total required front yard plant density shall be 5 gallon, or larger, in size. (Typically include accents, & slow growing shrubs.)

13. **All landscape areas must include 1-1/2” deep, 5/8” screened Apache Brown (Kalamazoo Materials), with a minimum of one application of pre-emergent herbicide for weed control. Note: If a Builder wants to universally apply a different granite in their parcel, a sample must be submitted and approved.**
14. Front yard landscape is to be watered by an underground, automatically controlled irrigation system. All above ground equipment is to be located behind the side yard walls or screened from public view. All irrigation lines under driveway and sidewalks are to be installed within sleeves. Emitters and drip lines must be located on outside of required plant setbacks. Contractors are also responsible to identify and eliminate any conflict that would affect the long-term durability of the system. Irrigation plans are not required for submittal.
15. Landscape installation of each front yard shall not negatively aggravate existing or future adjacent lot conditions. If so, it will be the Homeowner's responsibility to repair those conditions at no cost to the adjacent lot owner.
16. Each submittal must include a Landscape Submittal Form (Exhibit E).



C. Rear Yard Landscape Requirements

1. Backyards, courtyards and semi enclosed private areas are intended to be extensions of the house and complement Homeowner's lifestyle. These private areas do not need to be formally reviewed, but Homeowners shall follow all City of Tucson codes and not alter positive drainage away from house.
2. Homeowners are responsible to complete back yard landscape installation within 180 days of occupancy.
3. Any proposed backyard structures, storage sheds or personal items shall not be visible from the street of adjacent neighbor as measured 12" above top of perimeter wall.
4. Any proposed structures (8'-0" or greater above finish floor), or any modifications to the original house or significant grading shall be submitted for design review with a \$300 fee. Homeowners may be required to remove or alter if a conflict arises.
5. Rear yard design shall not negatively impact adjacent neighbors or open space.
6. Rear yard plant material varieties are unregulated unless specifically referenced as prohibited in Exhibit D, or grown above 25' in height.
7. Rear yard turf shall not exceed 75% of rear yard area as a maximum.

D. Landscape Submittals

1. Homebuilder may submit standard landscape plans for review and approval of each house type. This includes a corner lot and typical interior lot condition. Approved front yard packages may be applied to production homes without further review.
2. The installation of front yard landscape is required within 30 days of close of escrow.
3. There is a \$300 (non-refundable) design review fee for individual front yard plan submittals: Made payable to: **La Estancia HOA** and included with the first landscape review. Note: Plan check will not begin until review fees have been received.
4. Submit digital or hard copy front yard landscape plan and a completed Landscape Submittal Form (Exhibit E) with the first review.
Submit to:

Bob Bambauer
C/O La Estancia Homeowners Association
Address: 6720 North Scottsdale Rd. Suite 250
Scottsdale, Arizona 85253
Email: bbambauer@sunbeltholdings.com

5. Plans will be reviewed within fourteen (14) days and returned with written comments. A second review and submittal may be required.
6. Design review is only intended to verify compliance with the aforementioned guidelines, City of Tucson and appropriateness of proposed community character. Reviews do not confirm methods of construction, structural integrity or construed as building inspection.

Completion/Compliance:

An inspection of the entire yard may be performed by the La Estancia HOA to confirm that construction has been performed according to the approved plans. If construction is not completed in accordance with the approved submission, the Contractor will be required to modify installation to the satisfaction of the La Estancia HOA. It is the Contractor's responsibility to ensure that the construction is completed in accordance with the approved submission and quality of work. No delay or lapse of time by the La Estancia HOA to perform an inspection or identify an item of non-compliance will be considered a waiver of this provision or the Homeowner's responsibility to ensure compliance with the approved plans.

Failure to complete front yard landscaping within the required time frame specified above will subject the Homeowner to a daily fine, as set forth by the Board of Directors.

END

STREET TREE METHODOLOGY

THIS EXHIBIT ILLUSTRATES THE STREET TREE MASTERPLAN FOR LA ESTANCIA. THE COLOR SHADED TREES SHOWN ACROSS THE FRONT OF EACH LOT INDICATE LOCATION OF STREET TREE TO BE INSTALLED BY EACH HOMEOWNER W/ THE FRONT YARD LANDSCAPE. THE FOLLOWING CRITERIA OUTLINES THE STREET TREE PROGRAM:

1. DESIGNATED TREE - REFER TO SPECIFIC LIST
SIZE: 24" BOX W/ UPRIGHT STRUCTURE.
2. TREES ARE TYPICALLY PLANTED 5'-0" FROM EDGE OF SIDEWALK. BASED ON UTILITES, TREES ARE PLACED 2 TO 5' FROM SIDE PROPERTY LINES.
3. STREET TREES ALONG INDIVIDUAL LOTS TO BE IRRIGATED AND MAINTAINED BY HOMEOWNER.
4. LANDSCAPE INSTALLER SHALL CALL BLUESTAKE TO VERIFY UNDERGROUND UTILITIES PRIOR TO DIGGING.



LEGEND

- Thornless Hybrid Mesquite
Prosopis Hybrid 'Leslie Roy'
- Southern Live Oak
Quercus Virginiana
- Mulga
Acacia Aneura
- Chinese Pistache
Pistacia Chinensis
- Willow Acacia
Acacia Salicina
- Desert Museum P. Verde
Parkinsonia Species

NOTE:

Lots 45 feet wide & less only require (1) tree (Street Tree).

Lots 50 feet wide & greater require (1) Street Tree plus (1) additional tree.

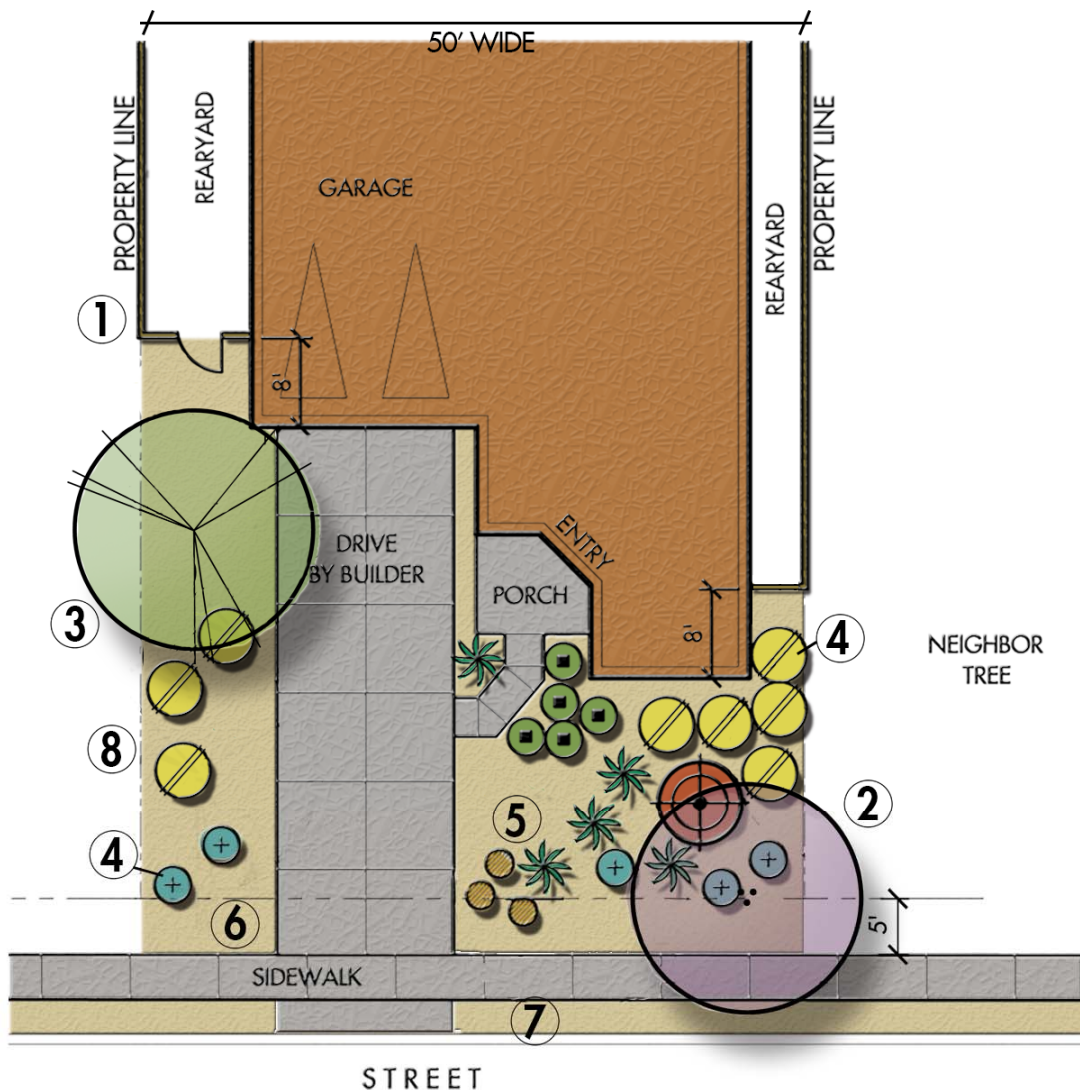
EXHIBIT A

KEY NOTES

- ①. SIDE AND REARYARD WALLS DEFINE LIMITS OF FRONTYARD LANDSCAPE
- ②. DESIGNATED STREET TREE (24" BOX). VERIFY SPECIES ASSIGNED TO EACH PARCEL ON STREET TREE PLAN.
- ③. ONE (1) ADDITIONAL FRONT YARD TREE. (50' WIDE LOTS & LARGER)
- ④. 1 PLANT PER 60 S.F. MIN.
- ⑤. THEME SHRUB (RED YUCCA) - (3) PLANTS MIN. OR 20% OF TOTAL PLANT DENSITY. LOCATE ALONG PROPERTY LINES & STREET TO BLEND WITH ADJACENT HOUSE LANDSCAPE.
- ⑥. DECOMPOSED GRANITE TOPDRESSING: (5/8" SCREENED) 'APACHE BROWN' (1-1/2" DEEP MIN.)
- ⑦. DECOMPOSED GRANITE IN PARKWAY TO BE INCLUDED WITH FRONT YARD LANDSCAPE.
- ⑧. PROVIDE SMOOTH TRANSITION TO ADJACENT FRONT YARD LANDSCAPE.

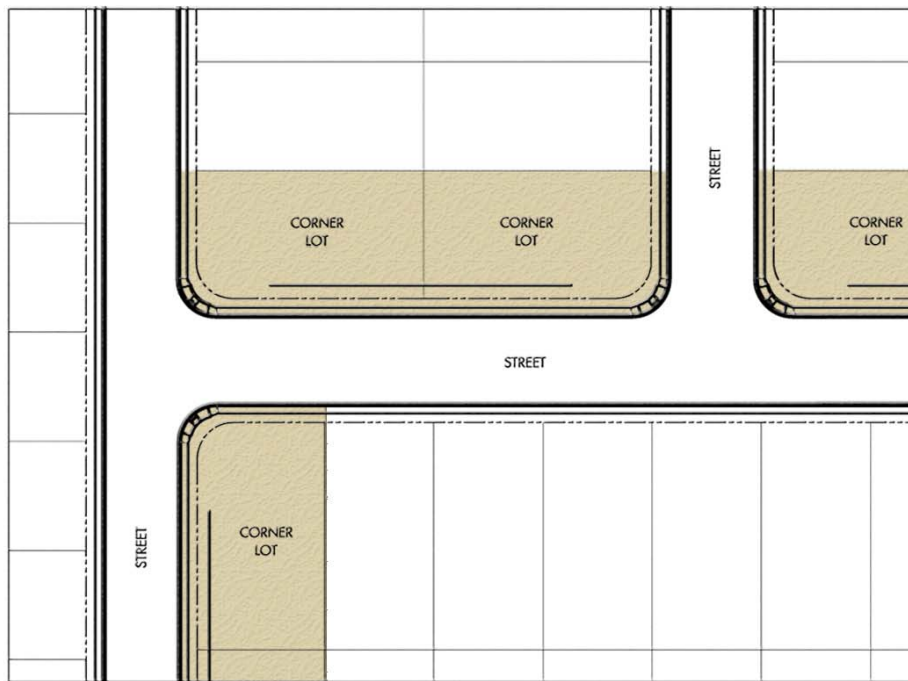
LANDSCAPE AREA CALCULATIONS

TOTAL LANDSCAPE AREA	1550 sq.ft.
PLANT DENSITY (1550/60 SQ. FT.)	26 plants
20% THEME SHRUB	5 plants

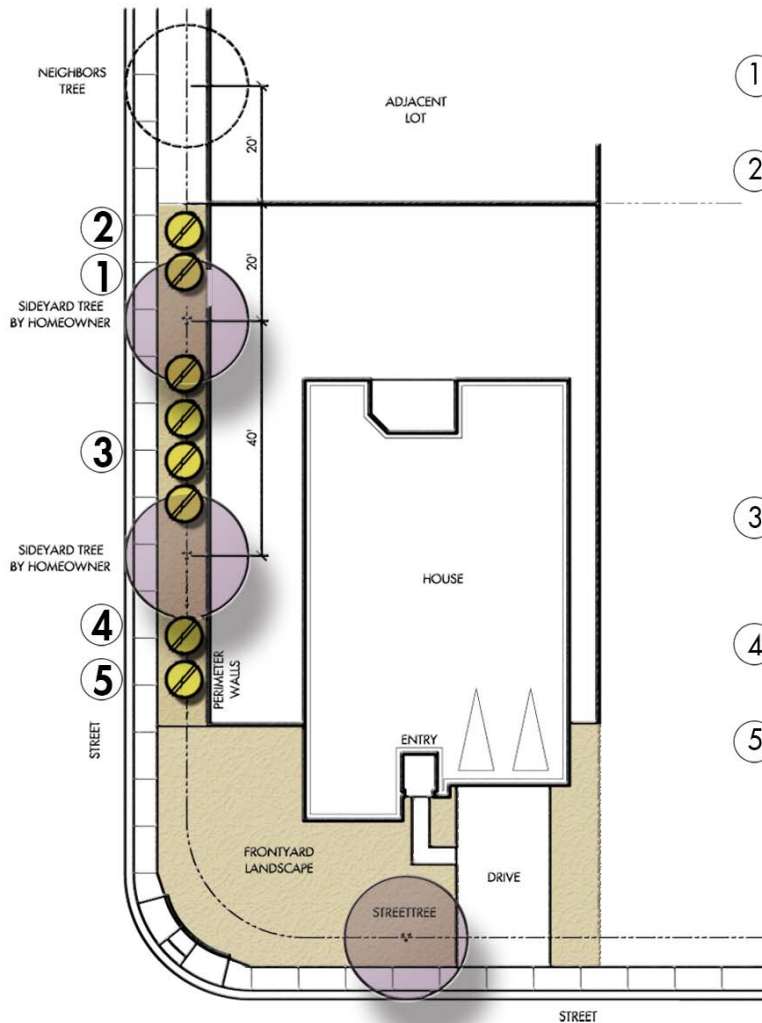


TYPICAL LOT CONDITION FRONTYARD LANDSCAPE PLAN

EXHIBIT B



TYPICAL CORNER LOT LOCATION (SHADED)



KEY NOTES

- ①. TWO (2) ADDITIONAL TREES ALONG SIDEYARD THAT MATCH STREET TREE (15 GALLON).
- ②. EIGHT (8) 1 GALLON SHRUBS SPACED AT APPROX. 6' O.C. SELECT ONE VARIETY FROM THE LIST BELOW:
 - GREEN CLOUD TEXAS SAGE
 - DESERT RUELLIA
 - VALENTINE BUSH
 - OUTBACK CASSIA
 - YELLOW BELLS
 - RED YUCCA
 - DESERT SPOON
- ③. DECOMPOSED GRANITE TOPDRESSING TO MATCH FRONT YARD (5/8" SCREENED APACHE BROWN.)
- ④. TREE AND SHRUB DRIP IRRIGATION CONNECTED TO FRONTYARD
- ⑤. CORNER LOT HOMEOWNER REQUIRED TO MAINTAIN SIDEYARD TO REAR PROPERTY LINE

NOTE:

SOME SIDE YARDS ARE CLASSIFIED AS 'TRACTS' AND MAY ALREADY BE LANDSCAPED AND MAINTAINED BY PARCEL DEVELOPMENT. VERIFY ACTUAL REQUIREMENTS.

SIDEYARD LANDSCAPE EXHIBIT C

Frontyard Approved Plant List

Botanical Name	Common Name
TREES (15 Gallon Minimum Size)	Generally Tall, Upright Structure
Acacia aneura	Mulga
Acacia salicina	Willow Acacia
Acacia saligna	Weeping Wattle
Acacia smallii	Sweet Acacia
Chilopsis linearis	Desert Willow (all varieties)
Chitalpa species	Chitalpa
Caesalpinia cacalaco	Cascalote
Cupressus sempervirens	Italian Cypress
Dalbergia sissoo	Sissoo
Eucalyptus papuana	Ghost Gum
Ebenopsis ebano	Texas Ebony
Fouquieria splendens	Ocotillo
Leucaena retusa	Golden Lead Ball
Lysiloma microphylla	Desert Fern
Olea europaea	Swan Hill Olive (Fruitless)
Olneya tesota	Ironwood
Parkinsonia species (Cercidium sp.)	Palo Verde (all varieties)
Pistacia atlantica x integerrima	Red Push Pistache
Prosopis species	Mesquite (all varieties)
Prosopis alba	Argentine Mesquite (thornless)
Quercus virginiana	Southern Live Oak
Tipuana tipu	Tipu Tree

EXHIBIT D

Frontyard Approved Plant List

CACTI/ACCENTS	
* Plants Only Allowed Directly Adjacent to Front Door Entry	
Botanical Name	Common Name
Agave species	Aloe (all varieties)
Asclepias subulata	Desert Milkweed
Bulbine frutescens	Bulbine
Carnegiea gigantea	Saguaro
Cereus species	Cereus (all varieties)
Chamaerops humilis	Mediterranean Fan Palm (Entry)*
Dasyliirion species	Desert Spoon (all varieties)
Euphorbia rigida	Gopher Plant
Fouquieria splendens	Ocotillo
Echinocereus grusonii	Golden Barrel
Hesperaloe species	Hesperaloe (all varieties)
Lophocereus species	Totem Pole Cactus
Muhlenbergia species	Deer Grass (all varieties)
Nolina species	Beargrass (all varieties)
Opuntia engelmannii	Engelmann's Prickly Pear
Pedilanthus macrocarpus	Lady Slipper
Phoenix robelinii	Pigmy Date Palm (Entry)*
Portulacaria afra	Elephant's Food
Stenocereus marginatus	Mexican Fence Post
Yucca species	Yucca (all varieties)
LARGE SHRUBS	
Alyogyne huegelii	Blue Hibiscus
Bougainvillea species	Bougainvillea (all varieties)
Buddleia marrubifolia	Woolly Butterfly Bush
Caesalpinia mexicana	Mexican Bird of Paradise (tree form also)
Caesalpinia pulcherrima	Red Bird of Paradise
Calliandra species	Fairy Duster (all varieties)
Cassia species	Cassia (all varieties)
Dodonaea viscosa	Hopbush
Justicia californica	Chuparosa
Feijoa sellowiana	Pinapple Guava
Leucophyllum species	Texas Sage (all varieties)
Simmondsia chinensis	Jojoba (including, 'Vista' dwarf variety)
Tecoma stans	Yellowbells

EXHIBIT D CONT.

Frontyard Approved Plant List

MEDIUM AND SMALL SHRUBS	
* Plants Only Allowed Directly Adjacent to Front Door Entry	
Anisacanthus quadrifidus brevilobus	Mountain Flame
Buxus m. japonica	Japanese Boxwood (Entry)*
Chrysactinia mexicana	Damianita
Dicliptera suberecta	Velvet Honeysuckle
Dalea species	Indigo Bush (all varieties)
Encelia farinosa	Brittlebush
Eremophila species	Emu Bush (all varieties)
Ericameria laricifolia	Turpentine Bush
Eriogonum fasciculatum	Buckwheat (all varieties)
Gaura lindheimeri	Gaura
Hamelia patens 'Sierra Red'	Firecracker Bush
Justicia ovata (candicans)	Red Justicia
Justica sonorae	Shrimp Plant
Myrtus communis species	Mrytle (all varieties) (Entry)
Nondina domestica	Heavenly Bamboo
Pittosporum species	Pittosporum (all varieties) (Entry)
Psilostrophe cooperi	Paperflower
Plumbago scandens	Plumbago
Plumbago auriculata	Cape Plumbago
Rosmarinus officinalis	Rosemary (all varieties)
Ruellia species	Ruellia (all varieties)
Salvia species	Sage (all varieties)
Sphaeralcea ambigua	Globemallow (all varieties)
Stachys coccinea	Cherry Red Sage
Tagetes lemmoni	Mt. Lemmon Marigold
Teucrium fruticans 'azunea'	Shrubby Germander
Trixis californica	Trixis

EXHIBIT D CONT.

Frontyard Approved Plant List

GROUNDCOVERS	
Acacia redolens 'D. Carpet'	Desert Carpet Acacia
Aptenia cordiflora	Hearts and Flowers (Entry)
Baccharis centenial 'S. Thompson"	Dwarf Coyote Bush
Baileya multiradiata	Desert Marigold
Convolvulus cneorum	Bush Morning Glory
Convolvulus mauritanicus	Ground Morning Glory
Cuphea llavea	Batface Cuphea
Dalea capitata 'Sierra Gold'	Sierra Gold Dalea
Dyssodia pentachaeta	Dyssodia
Gazania species	Gazania (all varieties)
Lantana species	Lantana (all varieties)
Oenothera berlandieri	Mexican Evening Primrose
Oenothera caespitosa	Evening Primrose
Penstemon species	Penstemon (all varieties)
Rosmarinus officinalis	Trailing or Carpet Rosemary
Santolina varieties	Santolina
Senna covesii	Desert Senna
Setcreasea pallida	Purple Heart (Entry)
Trachelospermum asiaticum	Jasmine (all varieties)
Tetraneris acaulis (Hymenoxis a.)	Angelitia Daisy
Verbena species	Verbena (all varieties)
Zinnia acerosa	Desert Zinnia
VINES	
Antigonon leptopus	Queen's Wreath
Bougainvillea species	Bougainvillea (all varieties)
Cissus trifoliata	Native Grape Ivy
Ficus pumila	Fig Vine
Macfadyena unguis-cati	Cat's Claw Vine
Mascagnia macroptera	Yellow Orchid Vine
Podranea ricasoliana	Pink Trumpet Vine
Rosa Banksiae	Lady Bank Rose

Notes:

1. Plant material not listed will be reviewed on a case by case basis.
2. Exceptions can be made for plants in pots at house entries.

PROHIBITED PLANT LIST

The following plant material is prohibited for use within any landscape areas of this project.

All Pines, Cedar or Juniper

Palm Trees above 6'

Olive Trees (fruiting varieties)

Oleanders - except dwarf varieties

Green Fountain Grass

Common Bermuda Grass

Mexican Palo Verde

Desert Broom

EXHIBIT D CONT.



LANDSCAPE SUBMITTAL FORM

Date: _____ Lot Number: _____

Homebuilder: _____ Address: _____ Phone: _____ Fax: _____ E-Mail: _____	Landscape Designer: _____ Address: _____ Phone: _____ Fax: _____ E-Mail: _____
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PLAN SUBMITTAL WORKSHEET (1 for each design)

FRONT YARD CALCULATIONS

TOTAL FRONT YARD LANDSCAPE AREA (minus hardscape areas)	=	Sq. Ft.
FRONT YARD PLANTING DENSITY (1 per 60 Sq.Ft.)		
_____ Sq. Ft. of Landscape Area / 60 (density)	=	Req.Plants
Base Plant - Red Yucca (20% of total plants) = _____ x .20	=	Req.Plants

FRONT YARD TREES

Street Trees Required 24" box - (see key map for variety)	=	Variety
Second Tree Required on Lots 50' wide & Wider	=	Variety

PLAN REVIEW CHECKLIST

APPROVED	NOT APPROVED	
<input type="radio"/>	<input type="radio"/>	Base Information Complete <i>Scale, property lines, basic floor plan, adjacent condition, utilities</i>
<input type="radio"/>	<input type="radio"/>	Hardscape <i>Dimensions, details, finishes, elevations</i>
<input type="radio"/>	<input type="radio"/>	Shaping and Drainage Plan <i>Flow lines, spot elevations</i>
<input type="radio"/>	<input type="radio"/>	Planting Plan <i>Planting plan, D.G. size and color, plant legend/quantities, street trees, frontyard trees</i>

DESIGN REVIEW COMMITTEE RESPONSE

APPROVED
 APPROVED WITH STIPULATIONS
 NOT APPROVED / RESUBMIT

EXHIBIT E