

Heritage Hills Filing No. 2, 2nd Amendment, Lots 7A-1, 8A-1, & 8A-2
 Heritage Hills Planned Development
 Planning Area #9
 5.23 Acres
 SIP #SP20-78

APPROVAL CERTIFICATE

THIS SIP HAS BEEN REVIEWED AND FOUND TO BE COMPLETE AND IN ACCORD WITH CITY REGULATIONS, AS APPROVED BY THE CITY ON _____

BY: _____ (Printed Name)

 (Signature) _____ (Date)
 TITLE: COMMUNITY DEVELOPMENT DIRECTOR

BY: _____ (Printed Name)

 (Signature) _____ (Date)
 TITLE: DIRECTOR OF PUBLIC WORKS (OR HIS/HER DESIGNATED REPRESENTATIVE)

BY: _____ (Printed Name)

 (Signature) _____ (Date)
 TITLE: MAYOR

THE OWNER(S) OF THE LANDS DESCRIBED HEREIN, HEREBY AGREE(S) (1) TO DEVELOP AND MAINTAIN THE PROPERTY DESCRIBED HEREON IN ACCORDANCE WITH THIS APPROVED SITE IMPROVEMENT PLAN AND IN COMPLIANCE WITH CHAPTER 16 OF THE LONE TREE MUNICIPAL CODE AND THAT (2) THE HEIRS, SUCCESSOR AND ASSIGNS OF THE OWNER(S) SHALL ALSO BE BOUND. THE SIGNATURE OF THE OWNER(S)'S REPRESENTATIVE(S) BELOW INDICATE THAT ANY REQUIRED AUTHORIZATIONS TO ENTER THIS AGREEMENT, INCLUDING ANY CORPORATE AUTHORIZATIONS, HAVE BEEN OBTAINED.

 (NAME OF OWNER)

 (SIGNATURE OF OWNER)

 (PRINTED NAME & TITLE)

STATE OF: _____) SS.

COUNTY OF: _____)

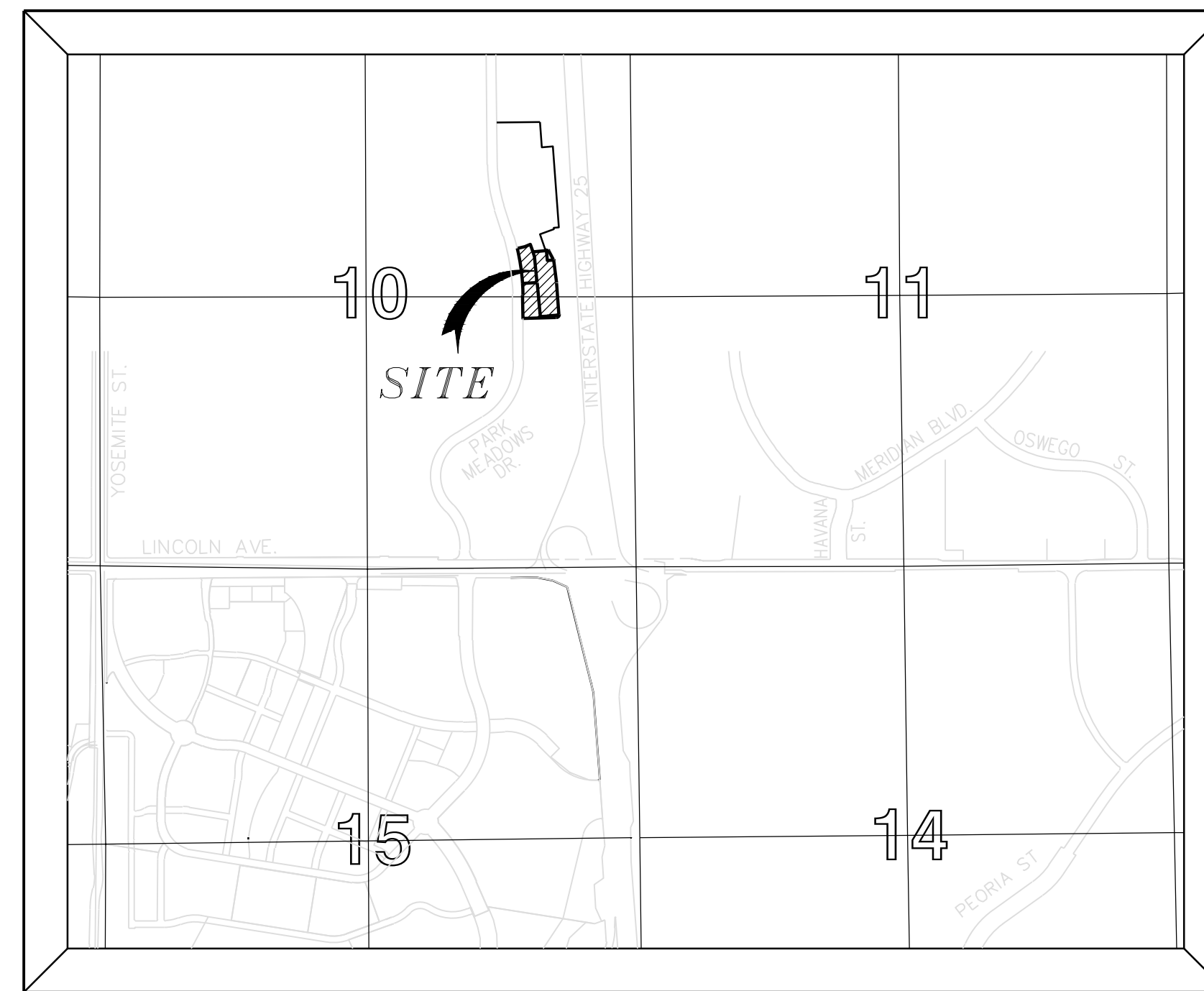
SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY OF _____, 20____, BY _____

WITNESS MY HAND AND OFFICIAL SEAL.

MY COMMISSION EXPIRES: _____

 NOTARY PUBLIC

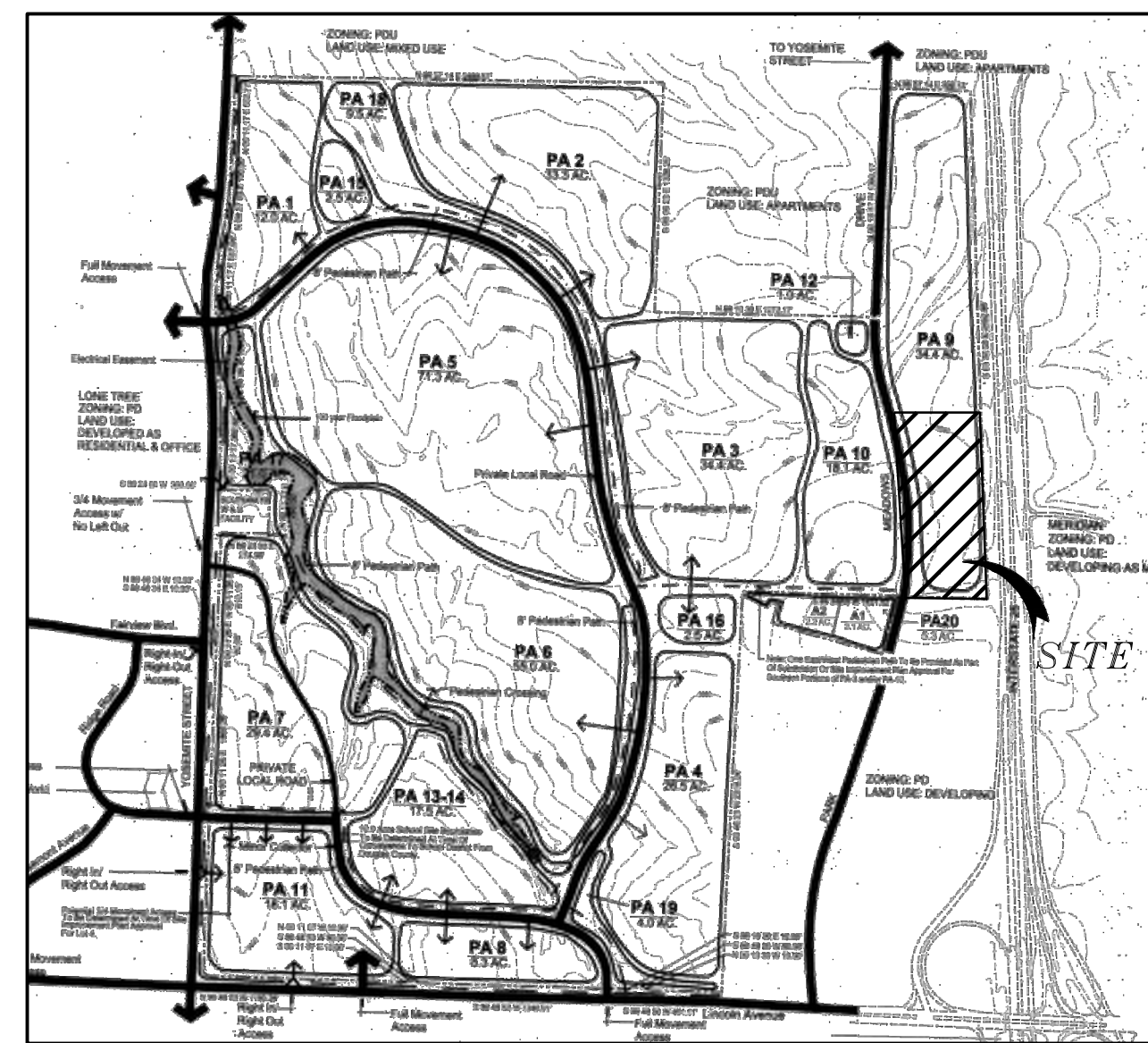
APPROVAL BY THE CITY OF LONE TREE DOES NOT SIGNIFY THAT THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) HAVE BEEN SATISFIED. THE APPLICANT IS RESPONSIBLE TO ENSURE THAT SAID ADA REQUIREMENTS HAVE BEEN MET.



VICINITY MAP
 1"=2000'

STANDARD CONDITIONS OF APPROVAL
 (PER CITY OF LONE TREE MUNICIPAL CODE SECTION 16-27-70(b)(1):

- GENERAL NOTES:
1. THE PROPERTY HEREIN IS SUBJECT TO ALL APPLICABLE REQUIREMENTS OF THE LONE TREE ZONING CODE, INCLUDING BUT NOT LIMITED TO MAINTENANCE, LIGHTING, PARKING, SIGNAGE, AND OUTDOOR STORAGE, EXCEPT AS MAY OTHERWISE BE ADDRESSED IN AN APPROVED DEVELOPMENT PLAN OR SUB-AREA PLAN.
 2. THE APPLICANT ASSUMES RESPONSIBILITY TO ENSURE THE PROJECT IS COMPLETED IN ACCORDANCE WITH THE APPROVED SIP AND ANY ASSOCIATED MATERIALS SAMPLE BOARDS AND FURTHER ASSUMES THE RISK ASSOCIATED WITH ANY CHANGES OR OMISSIONS MADE WITHOUT PRIOR CITY APPROVAL. MODIFICATIONS TO STRUCTURES OR SITES MAY REQUIRE AN AMENDMENT TO THE SIP AS DETERMINED BY THE DIRECTOR. UNAUTHORIZED CHANGES OR OMISSIONS MAY RESULT IN CORRECTIVE ACTIONS, DELAY OF PERMITS OR CITATIONS FOR ZONING VIOLATIONS WITH ASSOCIATED FINES AND LEGAL MEASURES. BUILDING PLANS SHALL CONFORM TO THE APPROVED SIP.
 3. WITHIN SITE TRIANGLES, AS SHOWN, LIMITED LANDSCAPING SHALL BE ALLOWED WITH NO SOLID STRUCTURES PERMITTED AS STATED IN THE CITY OF LONE TREE'S LANDSCAPE DESIGN GUIDELINES AND STANDARDS FOR AREAS IN AND ALONG PUBLIC RIGHTS-OF-WAY. LANDSCAPING WITHIN THE SITE TRIANGLE SHALL BE MAINTAINED BY THE PROPERTY OWNER OR APPROPRIATE ASSOCIATION OR DISTRICT, AS MAY BE IDENTIFIED BY MAINTENANCE AGREEMENTS.
 4. THE OWNER/DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF ALL ROADWAY SIGNAGE, INCLUDING "NO PARKING/FIRE LANE" SIGNAGE, AS REQUIRED BY THE CITY PUBLIC WORKS DEPARTMENT AND FIRE DISTRICT. THE OWNER/ASSOCIATION SHALL MAINTAIN SAID SIGNAGE.
 5. ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP FOR CITY OF LONE TREE, DOUGLAS COUNTY, COLORADO, COMMUNITY-PANEL NUMBER 0061H, MAP NUMBER 08035C0061H, DATED FEBRUARY 17, 2017, THE SUBJECT PROPERTY LINES WITHIN ZONE X, "AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN".
 6. DEVELOPER IS RESPONSIBLE FOR INSTALLING PARKING SIGNS THAT:
 - 1) RESTRICT THE SURFACE PARKING LOT TO ACCESSIBLE, CUSTOMER AND PROSPECTIVE TENANT PARKING AND LOADING/DELIVERIES AND
 - 2) PROHIBIT RESIDENTIAL VISITOR PARKING. ALL TENANT, VISITOR AND EMPLOYEE PARKING MUST BE RESTRICTED TO THE PARKING STRUCTURE.
 7. THE DEVELOPER IS RESPONSIBLE FOR INSTALLING A RESTRICTIVE ACCESS SIGNS AT THE ENTRANCE TO THE SURFACE PARKING LOT TO ENSURE NO TRUCKS LONGER THAN TWENTY-THREE FEET ENTER THE PARKING AREA.
 8. IT SHALL BE THE OWNER'S RESPONSIBILITY TO MAINTAIN ALL IMPROVEMENTS ON THE PROPERTY IN A STATE OF GOOD REPAIR, CONSISTENT WITH THE APPROVED SIP AND THE LONE TREE MUNICIPAL CODE. IT IS THE OWNER'S RESPONSIBILITY TO MAINTAIN SITE LANDSCAPING, AND TO EMPTY AND REFILL ALL PET WASTE STATION ON THE PROPERTY.
 9. THE CITY OF LONE TREE REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATION CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES, INCLUDING INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES AND DETENTION BASINS LOCATED ON THEIR LAND UNLESS MODIFIED BY THE SITE IMPROVEMENT PLAN IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE CITY OF LONE TREE SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE PURPOSES OF OPERATIONS AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSES TO THE PROPERTY OWNER.
 10. ALL PRESENT AND FUTURE OWNERS AND OCCUPANTS OF LAND HEREBY SUBJECT TO A SITE IMPROVEMENT PLAN ARE HEREBY NOTIFIED THAT THE PROPERTY IS LOCATED WITHIN PROXIMITY TO CENTENNIAL AIRPORT AND IS SUBJECT TO THE TERMS OF THAT CERTAIN AVIGATION AND HAZARD EASEMENT RECORDED AT RECEPTION NUMBER 9710387 ON FEBRUARY 26, 1997 IN THE RECORDS OF THE DOUGLAS COUNTY CLERK AND RECORDER, AND AS MAY BE AMENDED.
 11. PROXIMITY TO CENTENNIAL AIRPORT MAY HAVE ANY NUMBER OF IMPACTS ON THE PROPERTY OCCUPANTS, THE PROPERTY, AND THE DEVELOPMENT, IMPROVEMENT, USE, ENJOYMENT OR OCCUPANCY OF THE PROPERTY, INCLUDING WITHOUT LIMITATION ODORS, AIRCRAFT NOISE, VIBRATION, FUMES, FUEL PARTICLES, EXHAUST, AND THE OPERATION AND PASSAGE OF AIRCRAFT ABOVE OR NEAR THE PROPERTY. INDIVIDUAL SENSITIVITIES TO THE POTENTIAL CENTENNIAL AIRPORT IMPACTS CAN VARY FROM PERSON TO PERSON, AND POTENTIAL AIRPORT IMPACTS CAN VARY FROM LOCATION TO LOCATION WITHIN THE PROPERTY AND FROM TIME TO TIME. RECORDS AND INFORMATION CONCERNING CENTENNIAL AIRPORT AND POTENTIAL AIRPORT IMPACTS ARE PUBLICLY AVAILABLE THROUGH VARIOUS FEDERAL, STATE, AND LOCAL GOVERNMENTAL AGENCIES, INCLUDING CENTENNIAL AIRPORT. ALL PRESENT AND FUTURE OWNERS AND OCCUPANTS ARE SOLELY RESPONSIBLE FOR EVALUATING AND DETERMINING WHETHER THE AIRPORT IMPACTS, IF ANY, ARE ACCEPTABLE TO THEM.
 12. RESTAURANT OR FAST FOOD ESTABLISHMENTS SHALL BE REVIEWED BY THE CITY OF LONE TREE FOR ADEQUATE PARKING PER THE LONE TREE ZONING CODE PRIOR TO THE ISSUANCE OF BUILDING PERMITS FOR SUCH SPACES; CHANGES IN USE MAY NECESSITATE AMENDMENTS TO THE SIP.
 13. RTD MUST AUTHORIZE THE REMOVAL OR RELOCATION OF THE EXISTING 'NO ENTRY' AND 'BUSES EXCEPTED' SIGNS AS APPROVED BY THE CITY, PRIOR TO CERTIFICATE OF OCCUPANCY.



HERITAGE HILLS PLANNED DEVELOPMENT 9TH AMENDMENT
 1"=1000'



SITE CONTEXT AERIAL
 NTS

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PROJECT DIRECTORY

OWNER/DEVELOPER

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PROJECT NUMBER
 65120692

DRAWN BY
 NB

DATE
 7/23/2021

REVISIONS

REVISION 1	FEB 10, 2021
REVISION 2	MAR 16, 2021
REVISION 3	JUNE 10, 2021
REVISION 4	JULY 6, 2021
REVISION 5	JULY 23, 2021



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 COMMUNITIES



PROJECT

**LINCOLN
 STATION
 APARTMENTS**

LONE TREE, COLORADO
 80124

SHEET TITLE

COVER SHEET

SHEET NUMBER

1 OF 35

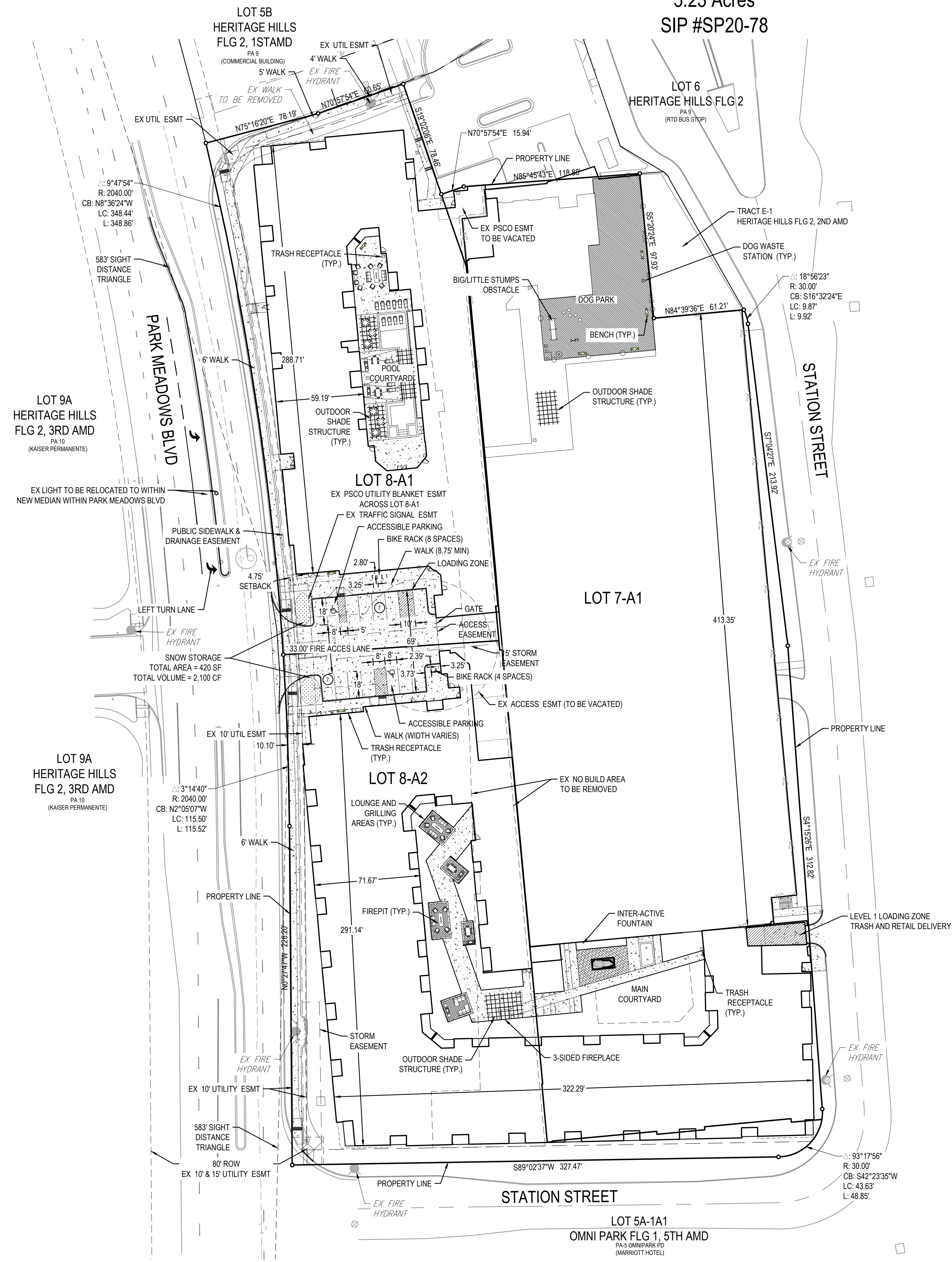
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Heritage Hills Planned Development

Planning Area #9

5.23 Acres

SIP #SP20-78



SITE DATA TABLE:

ITEM	SQUARE FOOTAGE	% OF GROSS SITE
GROSS SITE AREA	227,688 SF / 5.23 AC	100%
Total Building Footprint	168,831	68%
Existing Parking Structure	86,598	
Building Footprint (excludes ex parking structure)	82,233	
Parking/Roads	5,830	3%
Landscaped and Hardscaped areas	53,027	29%
Main Courtyard	15,054	
Pool Courtyard	5,306	
Dog Park	8,309	

ITEM	
Building Size	
Maximum height (as measured by the City's Building Code)	88' - 0"
Total Floor Area (sf)	441,675
Parking	
Required	513
Provided	514
Bicycle Parking	
Required	11
Provided	12

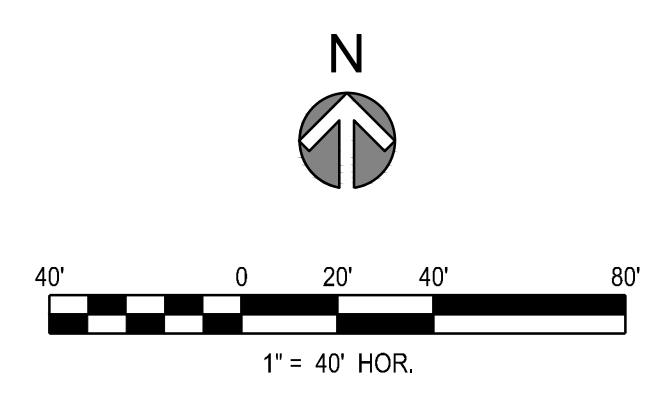
PARKING CALCULATION TABLE

PARKING REQUIRED	NUMBER OF ROOMS	PARKING PER UNIT	TOTAL
STUDIO UNITS	8	1.3*	11
ONE BEDROOM UNITS	291	1.3*	378
TWO BEDROOM UNITS	106	1.3*	138
THREE BEDROOM UNITS	20	1.3*	26
	AREA (SF)		
RETAIL	3000 SF	1/100 SF	12
LEASING	970 SF	1/100 SF	4
	SUB-TOTAL PARKING		569
10% MAX REDUCTION PER FLG 2 FRAMEWORK PLAN			56
TOTAL PARKING REQUIRED			513
PARKING PROVIDED			
PARKING DECK (INCLUDES 8 STD & 2 VAN ACCESSIBLE SPACES, AND 14 COMPACT SPACES)			500
ON-SITE OUTDOOR PARKING (INCLUDES 1 STD & 1 VAN ACCESSIBLE SPACE)			14
TOTAL PARKING PROVIDED			514

* PER HERITAGE HILLS FILING NO. 2 FRAMEWORK PLAN (LINCOLN STATION)

- NOTE:
- ALL GROUND MOUNTED OR BUILDING MOUNTED ELECTRIC METERS TO BE PAINTED TO MATCH THE BUILDING.
 - RETAIL FREIGHT DELIVERIES TO BE RESTRICTED TO NON-PEAK HOURS AND LOCATED AT THE LOADING/UNLOADING ZONE OFF STATION STREET.
 - SURFACE PARKING TO BE RESTRICTED TO VEHICLES NO LONGER THAN 23-FT IN LENGTH. SIGNAGE TO THIS EFFECT WILL BE REQUIRED AND WILL BE APPROVED AS PART BY PUBLIC WORKS PRIOR TO PLAN APPROVAL.

LEGEND	
	PROPOSED BENCH
	DOG WASTE RECEPTACLE
	TRASH CAN
	SITE FURNITURE
	PROPOSED LIGHTS
	ARTIFICIAL TURF
	SNOW STORAGE AREA
	PROPOSED GENERATOR
	CURB WITH PARKING OVERHANG
	PROPOSED FENCING



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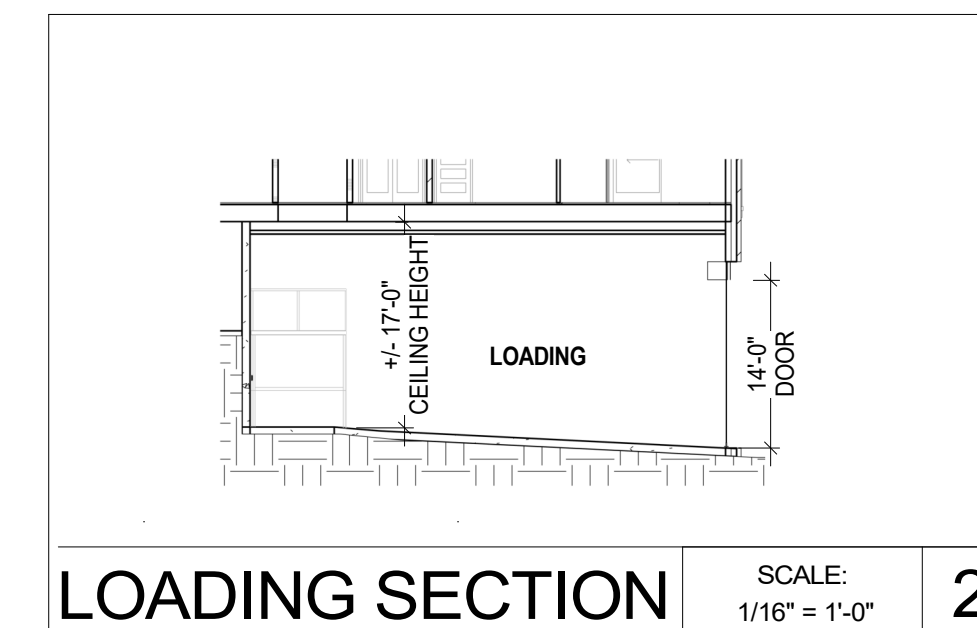
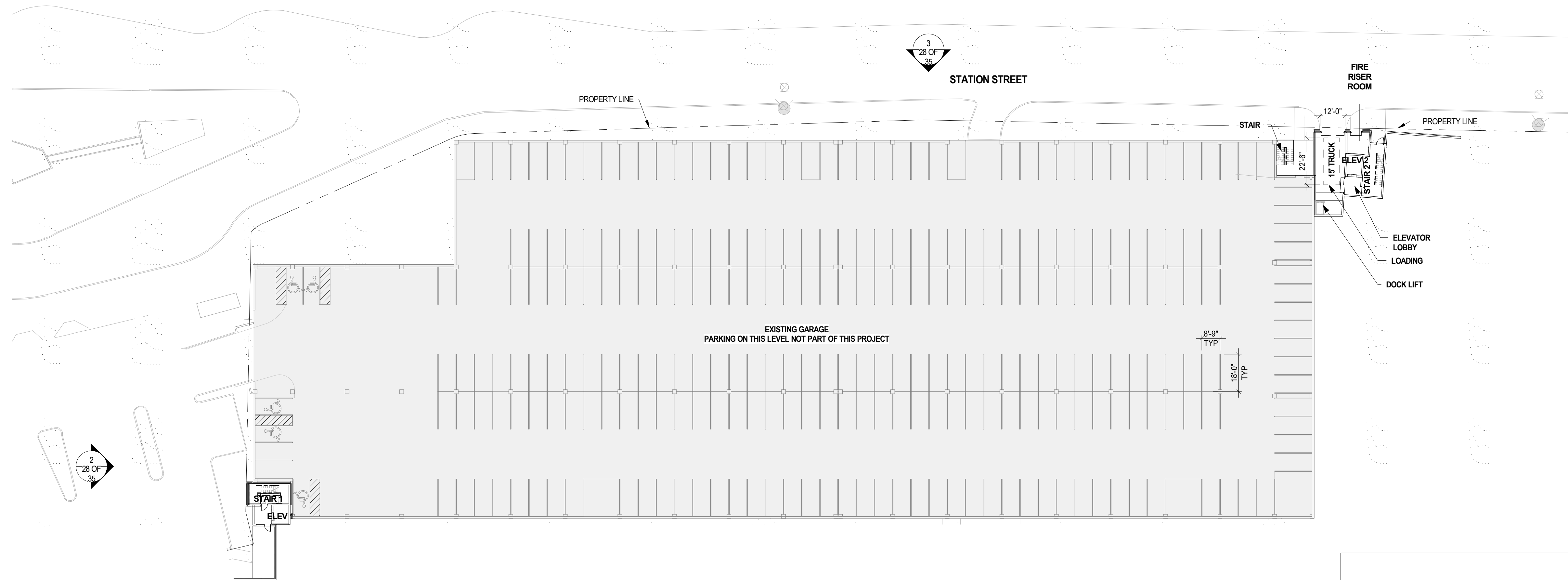
PROJECT
LINCOLN STATION APARTMENTS

LONE TREE, COLORADO
80124

SHEET TITLE
SITE PLAN

SHEET NUMBER
2 OF 35

Heritage Hills Filing No. 2, 2nd Amendment, Lots 7A-1, 8A-1, & 8A-2
 Heritage Hills Planned Development
 Planning Area #9
 5.23 Acres
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LOADING SECTION SCALE: 1/16" = 1'-0" 2

SITE KEY PLAN

PLAN NOTES

1. ALL UNITS TO HAVE OPERABLE WINDOWS IN LIVING SPACES

PLAN SYMBOLS

EV ELECTRIC VEHICLE CHARGING PARKING STALLS

PROJECT NUMBER
200617

DATE
7/06/2021

REVISIONS

REVISION 1	FEB 10, 2021
REVISION 2	MAR 16, 2021
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REVISION 4	JULY 6, 2021

ktgy

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 jdauwalter@ktgy.com

PREPARED FOR CENTURY COMMUNITIES

PROJECT

LINCOLN STATION APARTMENTS

LONE TREE, COLORADO
80124

PARKING GARAGE
LEVEL 1 FLOOR PLAN

SHEET NUMBER

Heritage Hills Filing No. 2, 2nd Amendment, Lots 7A-1, 8A-1, & 8A-2
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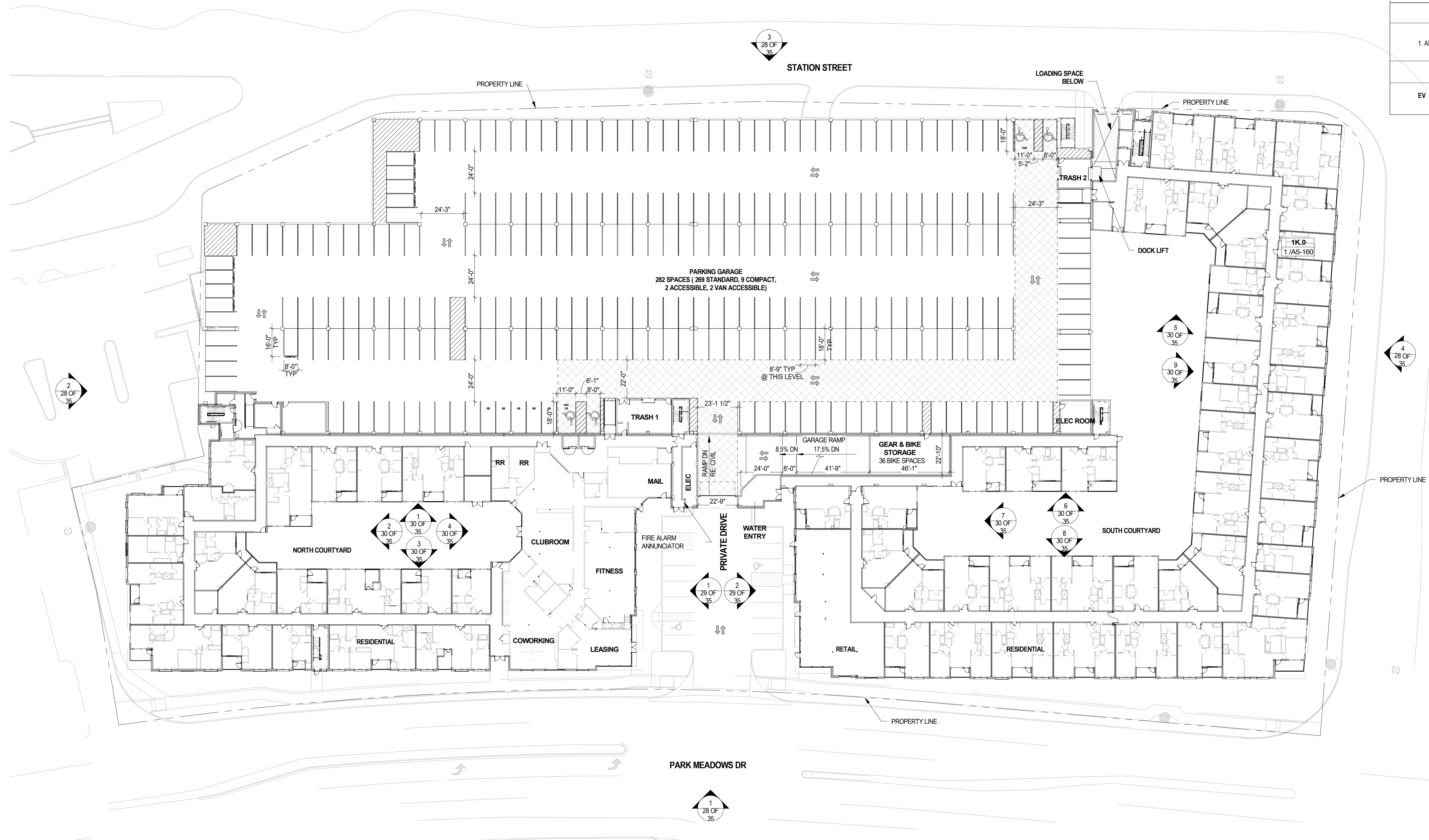
PROJECT

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LONE TREE, COLORADO
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PARKING GARAGE
 LEVEL 2 FLOOR PLAN

SHEET NUMBER



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PROVIDED SNOW STORAGE
 950 SF + 590 SF + 192 SF + 180 SF + 476 SF = 2,388 SF
 CALCULATION 1: 20% COMPACTION RATE WITH AN AVE. SNOWFALL DEPTH OF 4"
 2,388 SF² X 0.33 X 0.8 = 630 FT³
 CALCULATION 2: 80% COMPACTION RATE WITH MAX. DEPTH OF 12"
 2,388 SF² X 1 X 0.2 = 477 FT³
AVERAGE: (630 FT³ + 477 FT³) / 2 = 553 FT³
 SNOW STORAGE STACKED 3' HIGH = 2,388 X 3 = 7,164 FT³

SITE KEY PLAN

PLAN NOTES

1. ALL UNITS TO HAVE OPERABLE WINDOWS IN LIVING SPACES

PLAN SYMBOLS

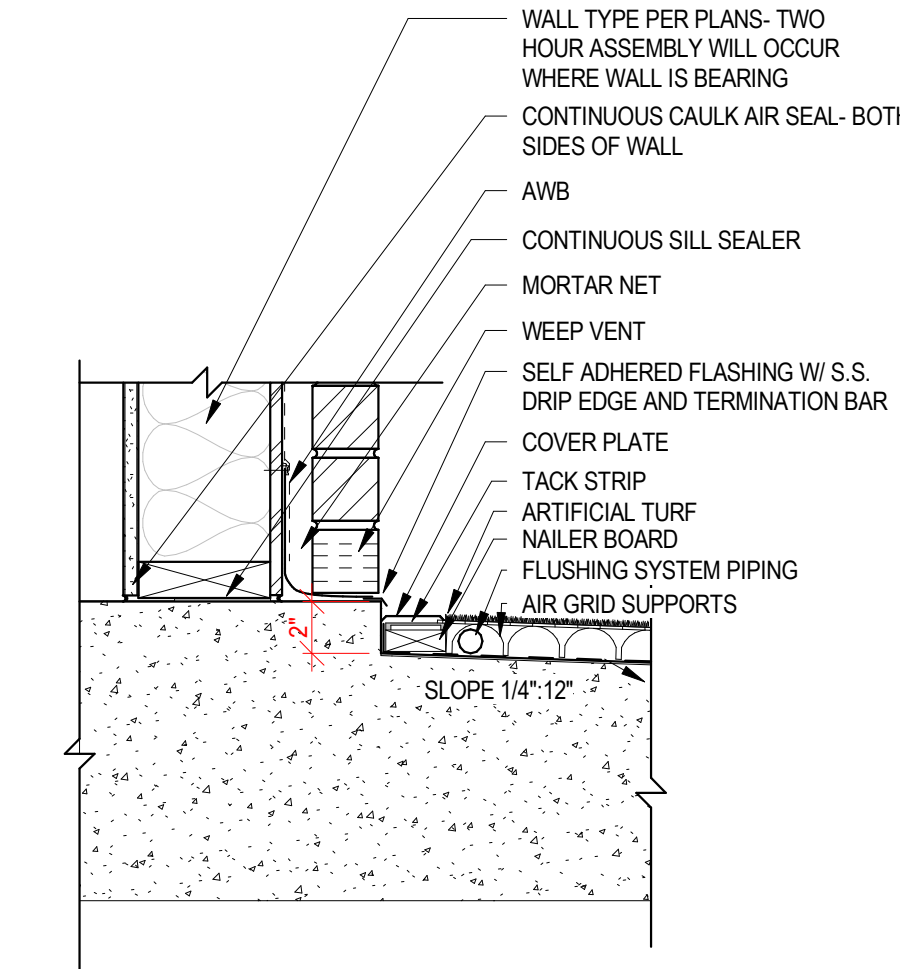
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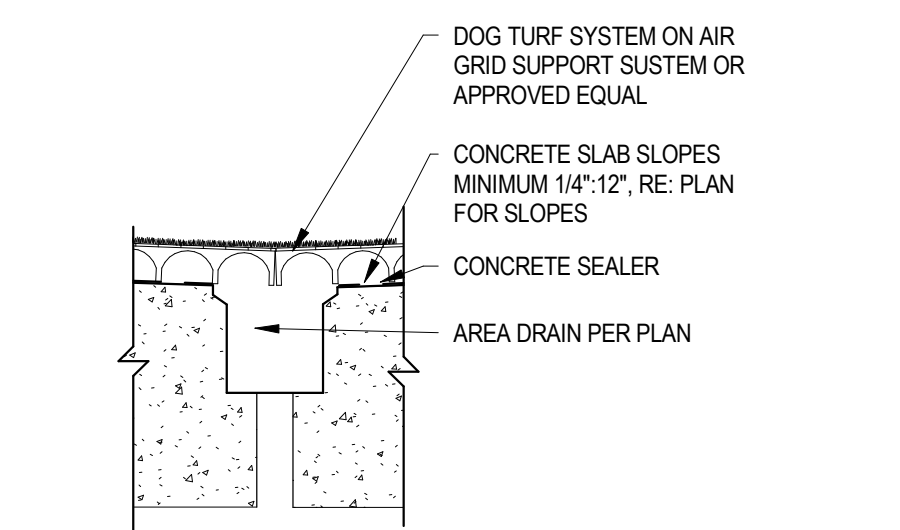
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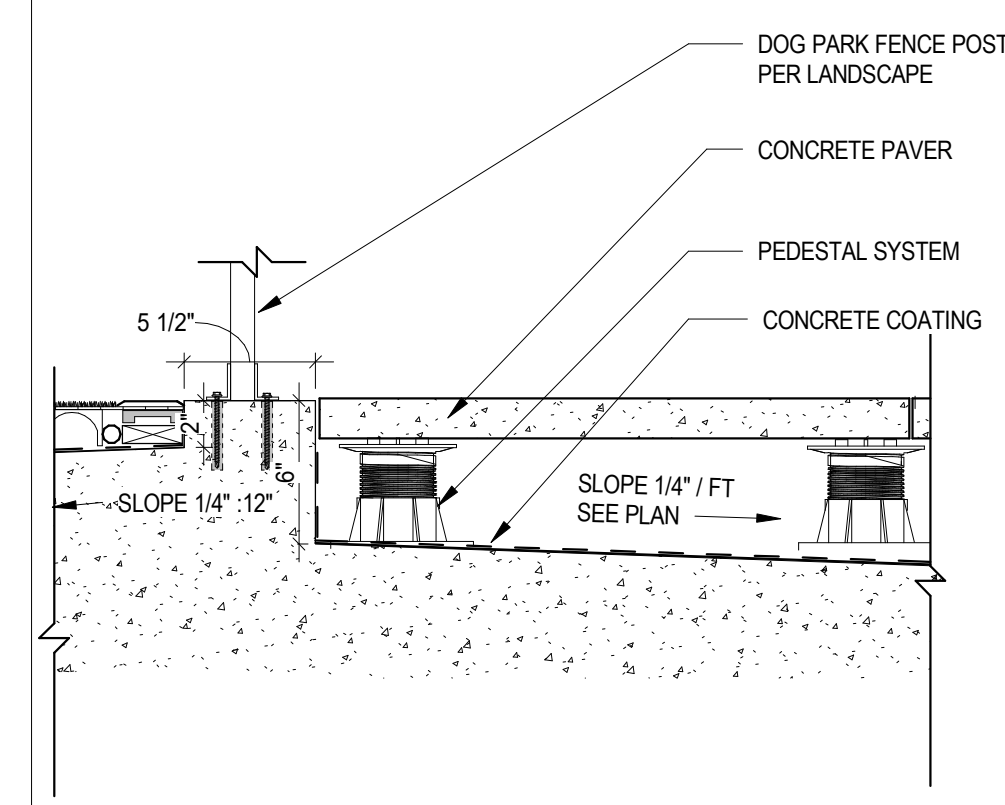
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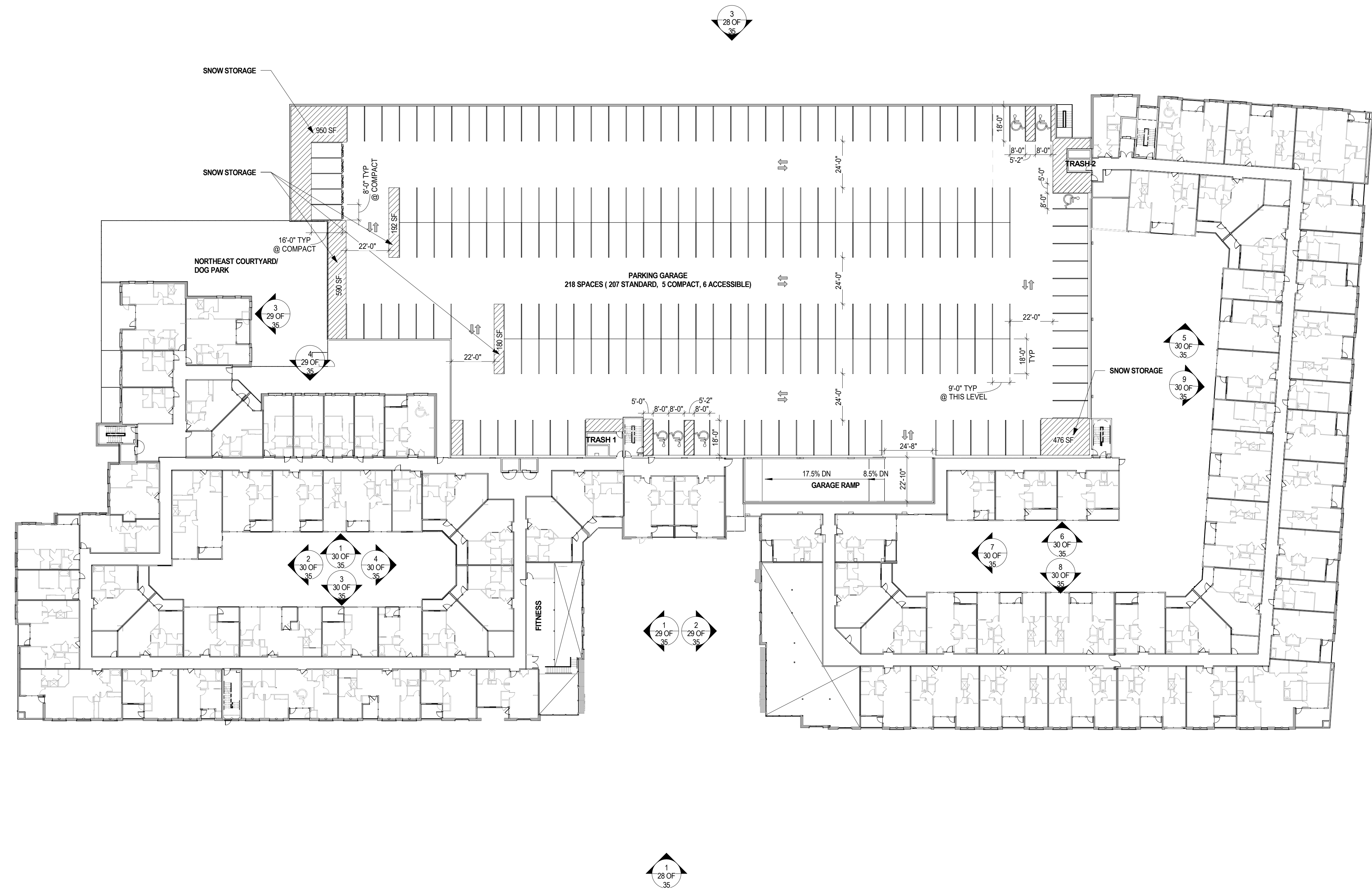
DETAIL AT DOG PARK TURF SYSTEM SCALE: 1 1/2" = 1'-0" 4



DETAIL AT DOG PARK DRAIN SCALE: 1 1/2" = 1'-0" 3



DETAIL AT DOG PARK TURF SYSTEM SCALE: 2" = 1' 2



PARKING GARAGE LEVEL 3 SCALE: 1" = 30'-0" 1

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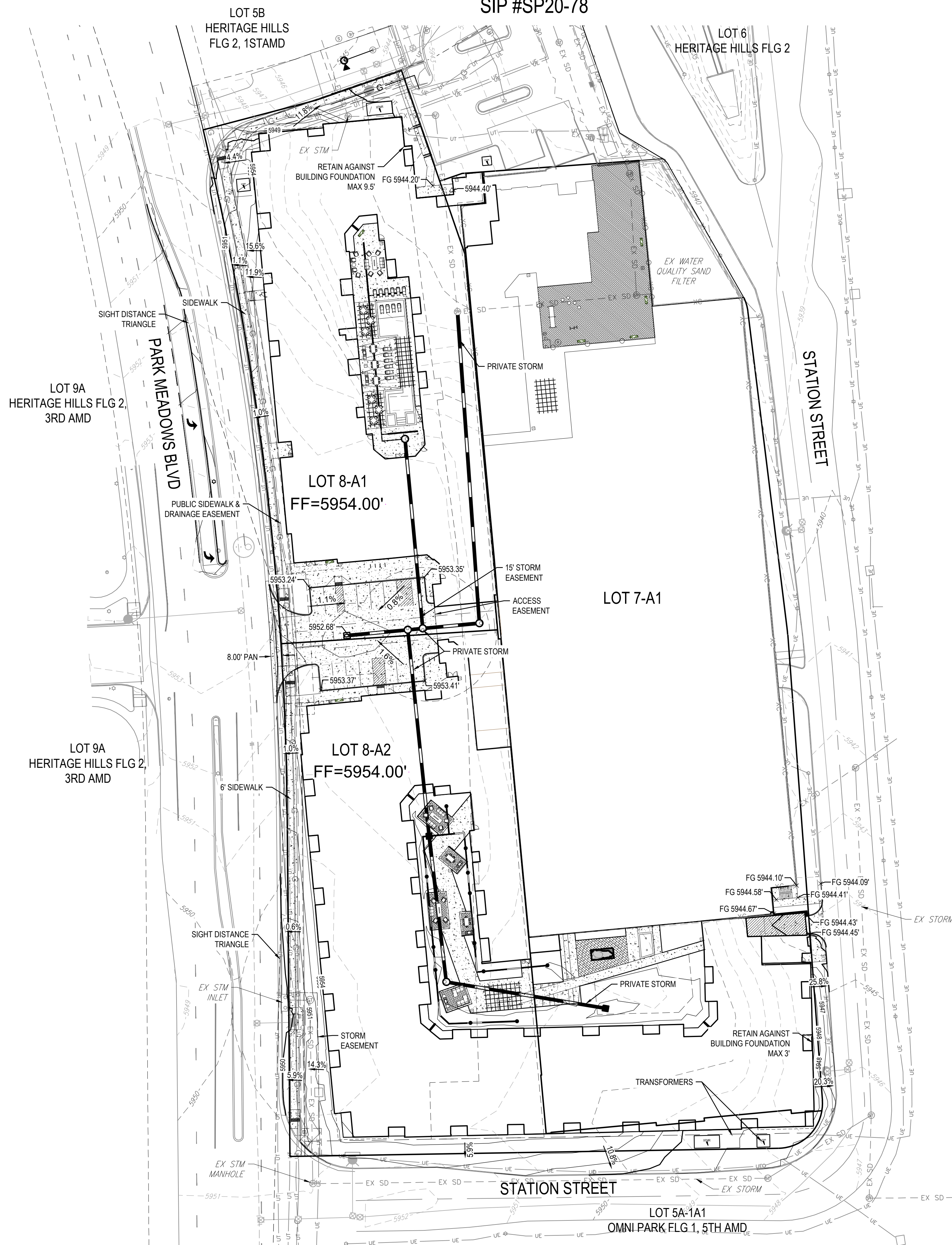
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LINCOLN STATION APARTMENTS

LONE TREE, COLORADO
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PARKING GARAGE LEVEL 3 FLOOR PLAN

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LEGEND

6000	PROPOSED MAJOR CONTOUR
6001	PROPOSED MINOR CONTOUR
6000	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
FF 70.50' x	FINISHED FLOOR SPOT ELEVATION
FG 70.39' x	FINISHED GRADE SPOT ELEVATION
TC 70.50' x	TOP OF CURB SPOT ELEVATION
MATCH EG 69.57' x	EXISTING GRADE SPOT ELEVATION
HP 70.50' x	HIGH POINT SPOT ELEVATION
LP 68.33' x	LOW POINT SPOT ELEVATION
68.33' x	FLOW LINE SPOT ELEVATION

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PROJECT

LINCOLN STATION APARTMENTS

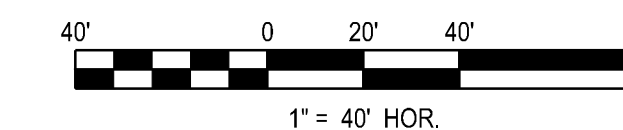
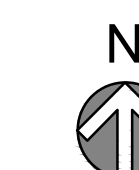
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SHEET TITLE

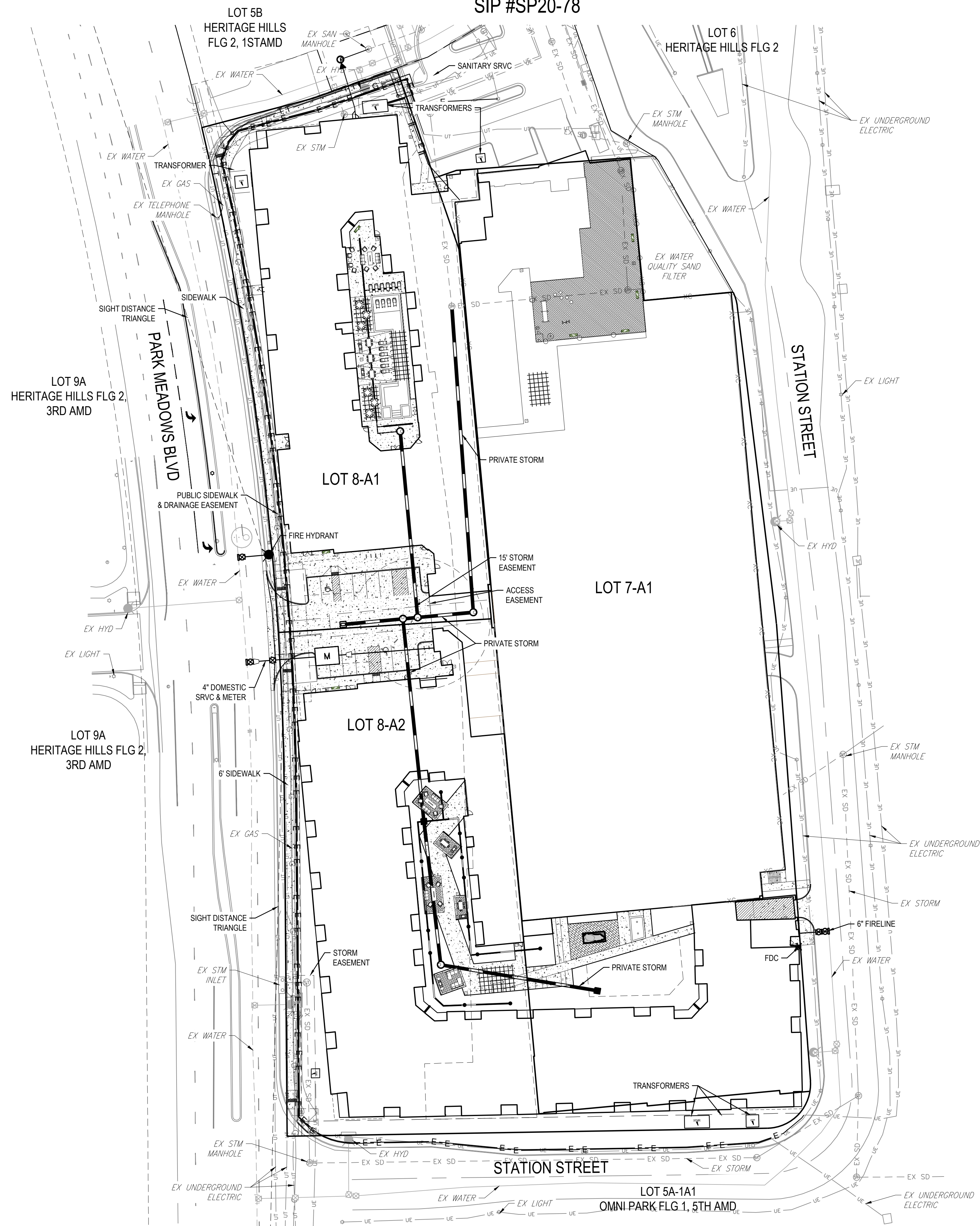
GRADING PLAN

SHEET NUMBER

6 OF 35



Heritage Hills Filing No. 2, 2nd Amendment, Lots 7A-1, 8A-1, & 8A-2
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LEGEND

	5995	EXISTING MAJOR CONTOUR
	5994	EXISTING MINOR CONTOUR
		EXISTING CURB AND GUTTER WIRAMP
		EXISTING GAS
		EXISTING ELECTRIC
		EXISTING TELEPHONE
		EXISTING SANITARY
		EXISTING STORM
		EXISTING WATER
		EXISTING FIRE
	5995	PROPOSED MAJOR CONTOUR
	5994	PROPOSED MINOR CONTOUR
		PROPOSED FENCE
		PROPOSED SANITARY
		PROPOSED STORM
		PROPOSED DOMESTIC WATER
		PROPOSED FIRE LINE
		PROPOSED GENERATOR

NOTE:
 1. ALL TRANSFORMERS, METER BOXES AND OTHER UTILITY EQUIPMENT SHALL BE SCREENED WITH LANDSCAPING MATERIALS (WHILE STILL REMAINING ACCESSIBLE FOR SERVICING); IN THE EVENT SUCH EQUIPMENT CANNOT BE SCREENED WITH LANDSCAPING, SUCH EQUIPMENT SHALL BE PAINTED TO MATCH THE ADJACENT BUILDING.

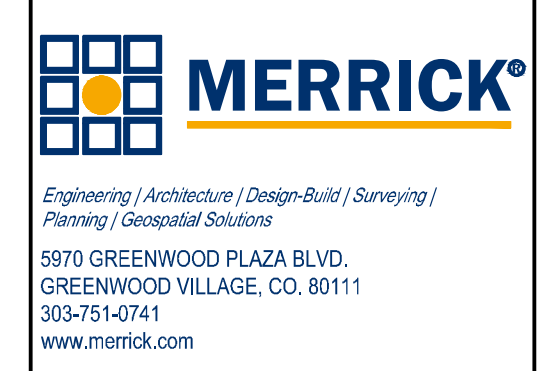
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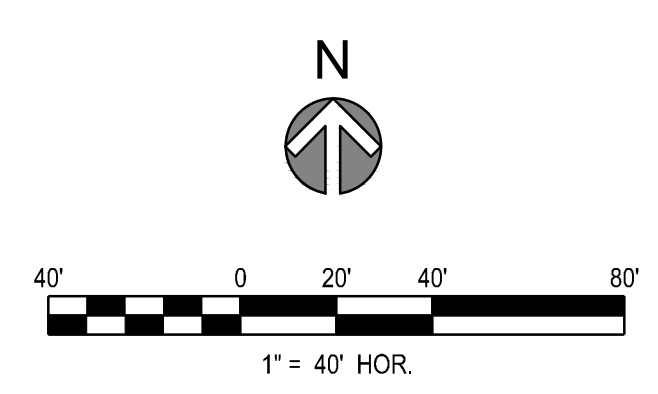


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**LINCOLN
 STATION
 APARTMENTS**

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 80124

SHEET TITLE
UTILITY PLAN

SHEET NUMBER
7 OF 35



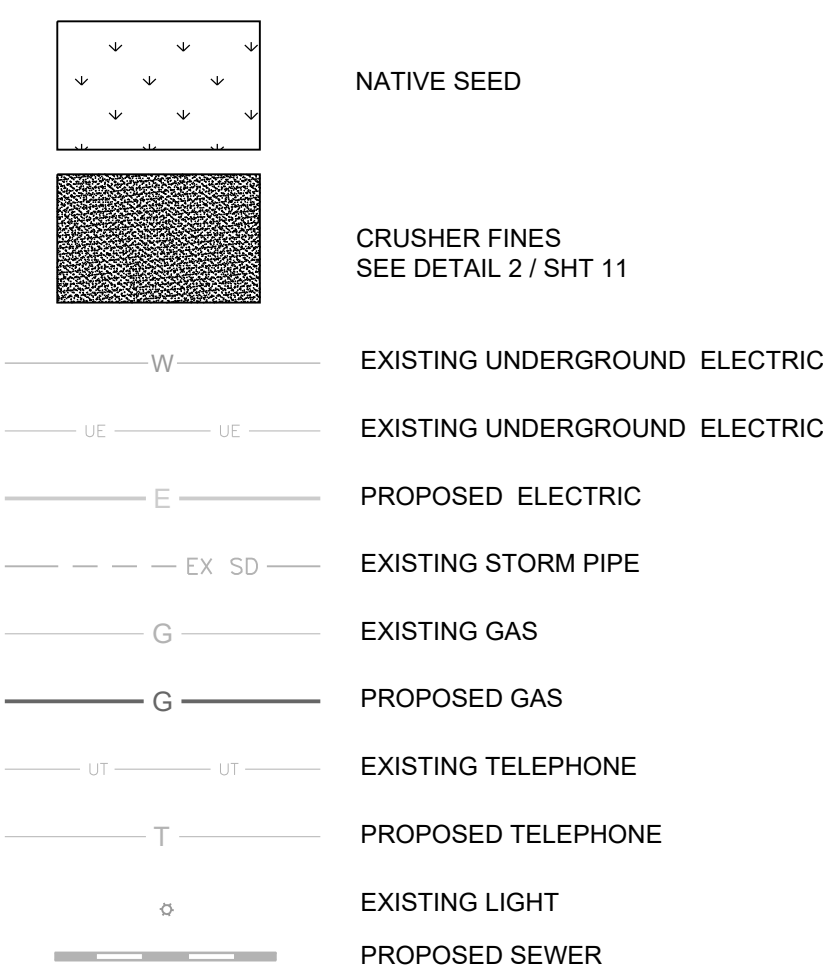
Heritage Hills Filing No. 2, 2nd Amendment, Lots 7A-1, 8A-1, & 8A-2
 Heritage Hills Planned Development
 Planning Area #9
 5.23 Acres
 SIP #SP20-78

PLANT SCHEDULE

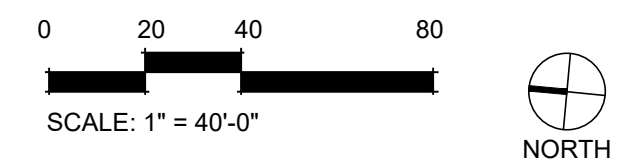
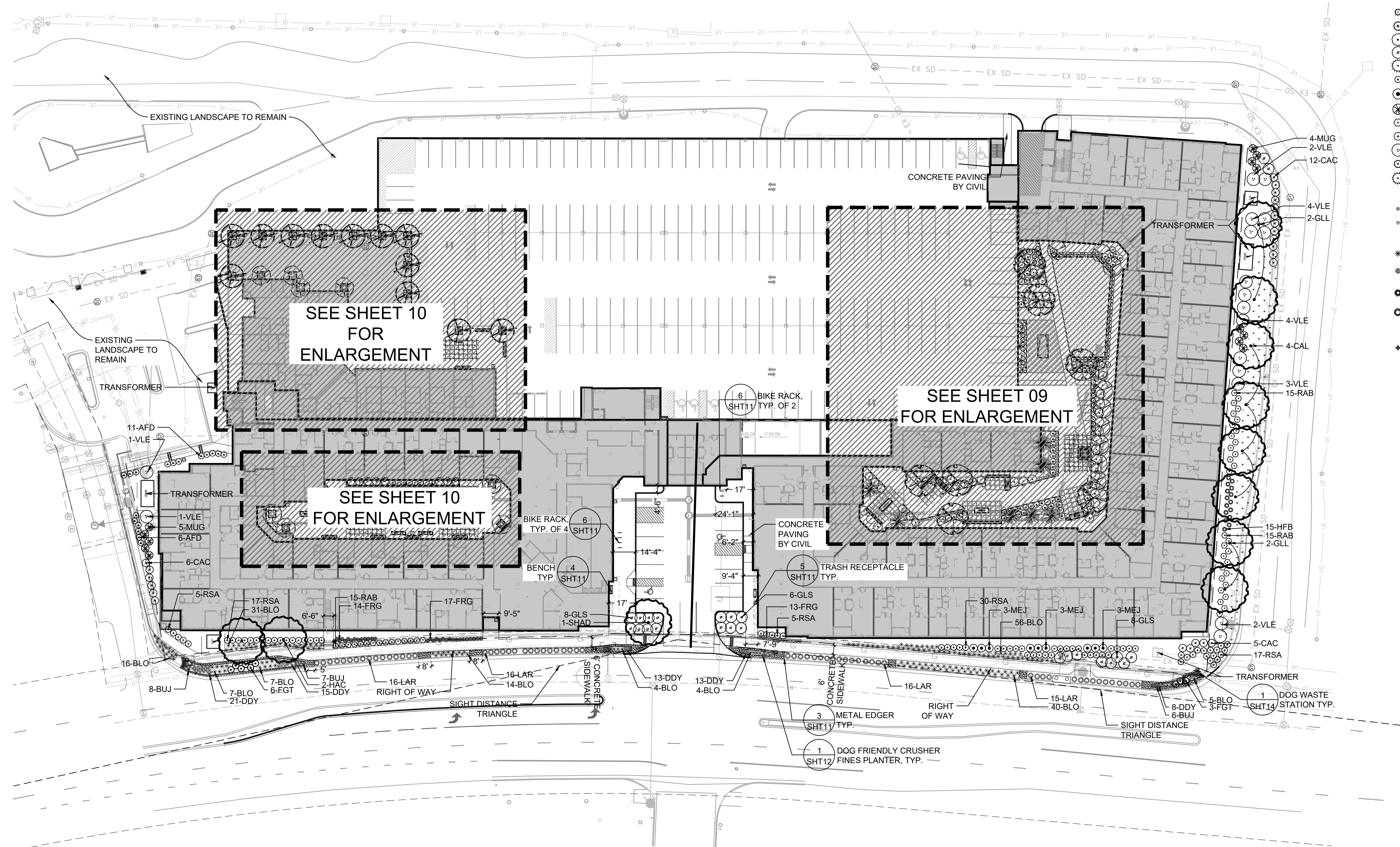
KEY	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	NOTES	HEIGHT/ WIDTH
TREES						
BTC	5	Fagus sylvatica 'Tricolor'	Tricolor Beech	2" cal.	B&B	30' HT., 25' SP.
CAL	4	Catalpa speciosa	Western Catalpa	2.5" cal.	B&B	50' HT., 30' SP.
GLL	4	Tilia flavescens	Glenleven Linden	2.5" cal.	B&B	45' HT., 30' SP.
HAC	2	Celtis occidentalis	Common Hackberry	2.5" cal.	B&B	50' HT., 40' SP.
HFF	7	Carpinus betulus 'Frans Fontaine'	Frans Fontaine Hornbeam	2" cal.	B&B	30' HT., 15' SP.
HWT	8	Acer tataricum 'Garann'	Hot Wings Tatarian Maple	2" cal.	B&B	20' HT., 20' SP.
OGA	5	Pinus nigra 'Oregon Green'	Oregon Green Austrian Pine	8' ht.	B&B	20' HT., 15' SP.
RBH	12	Cercis canadensis	Eastern Redbud	2" cal.	B&B	20' HT., 15' SP.
SBH	4	Picea glauca 'Densata'	Black Hills Spruce	8" ht.	B&B	20' HT., 10' SP.
SHA	2	Gleditsia triacanthos var. inermis 'Shademaster'	Shademaster Honeylocust	2.5" cal.	B&B	50' HT., 35' SP.
SHAD	1	Gleditsia triacanthos var. inermis 'Shademaster'	Shademaster Honeylocust	3" cal.	B&B	50' HT., 35' SP.
TCH	2	Crataegus crusgalli var inermis	Thornless Cockspur Hawthorn	2" cal.	B&B	20' HT., 15' SP.
TOH	6	Crataegus x mordenensis	Toba Hawthorn	2" cal.	B&B	15' HT., 12' SP.
SHRUBS						
AFD	87	Cornus sericea 'Farrow'	Arctic Fire Dogwood	5 gal.	CONTAINER	
ANP	4	Thuja occidentalis 'Art Boe'	North Pole Arborvitae	5 gal.	CONTAINER	
CAC	23	Cotoneaster acutifolius	Peking Cotoneaster	5 gal.	CONTAINER	
ECO	157	Euonymus fortunei 'Colorata'	Purple Leaf Wintercreeper	5 gal.	CONTAINER	
EME	35	Euonymus fortunei	Emerald Gaiety Euonymus	5 gal.	CONTAINER	
FGT	9	Forsythia 'Courtasol'	Forsythia Gold Tide	5 gal.	CONTAINER*	
FQP	19	Chaenomeles japonica 'Cameo'	Cameo Quince	5 gal.	CONTAINER	
GLS	22	Rhus aromatica 'Grow-Low'	Gro-Low Sumac	5 gal.	CONTAINER	
HBG	4	Ilex x meserveae	Boy/Girl Holly	5 gal.	CONTAINER	
LOD	63	Ligustrum vulgare 'Lodense'	Lodense Privet	5 gal.	CONTAINER	
MEJ	9	Juniperus scopulorum 'Medora'	Medora Juniper	5 gal.	CONTAINER	
MUG	11	Pinus mugo	Mugo Pine	5 gal.	CONTAINER	
RAB	45	Ericameria nauseosa	Rabbitbrush	5 gal.	CONTAINER	
RSA	74	Salvia yangii	Russian Sage	5 gal.	CONTAINER	
VLE	17	Viburnum lentago	Nannyberry Viburnum	5 gal.	CONTAINER	
VMM	2	Viburnum burejaeticum 'P017S'	Mini Man Viburnum	5 gal.	CONTAINER	
YEW	29	Taxus x media 'Densiformis'	Dense Spreading Yew	5 gal.	CONTAINER	
PERENNIALS						
BUJ	21	Ajuga reptans	Burgundy Carpet Bugle	1 gal.	CONTAINER*	
DDY	174	Hemerocallis 'Stella D'Oro'	Stella D'Oro Dwarf Daylily	1 gal.	CONTAINER*	
GRASSES						
BLO	196	Boutelous gracilis 'Blonde Ambition'	Blonde Ambition Blue Grama	1 gal.	CONTAINER*	
FRG	62	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Grass	1 gal.	CONTAINER*	
HFB	15	Pennisetum alopecuroides 'Little Bunny'	Little Bunny Fountain Grass	1 gal.	CONTAINER	
LAR	63	Elymus arenarius 'Blue Dune'	Blue Dune Lyme Grass	1 gal.	CONTAINER*	
VINES						
HAL	9	Lonicera japonica 'Halliana'	Hall's Honeysuckle	1 gal.	CONTAINER	

NOTES:

* DENOTES DOG FRIENDLY PLANTS



PLANTING AREAS:
 EXTERNAL BUILDING/STREETSCAPE LANDSCAPE: 21,409 S.F.
 DOG PARK COURTYARD LANDSCAPE: 593 S.F.
 POOL COURTYARD LANDSCAPE: 396 S.F.
 MAIN COURTYARD LANDSCAPE: 6,471 S.F.
 TURF: 1,917 S.F.
 NATIVE LANDSCAPE: 3,173 S.F.

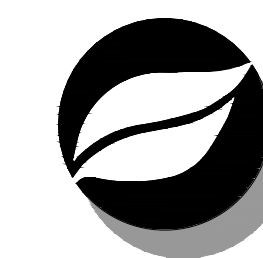


PROJECT NUMBER
65120692

DRAWN BY
KW, RM, MLH

DATE
07/23/2021

REVISIONS
 REVISION 1 FEB 10, 2021
 REVISION 2 MAR 16, 2021
 REVISION 3 JUNE 10, 2021
 REVISION 4 JULY 06, 2021
 REVISION 5 JULY 23, 2021



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PREPARED FOR CENTURY COMMUNITIES



PROJECT
LINCOLN STATION APARTMENTS

LONE TREE, COLORADO
80124

SHEET TITLE
OVERALL LANDSCAPE PLAN

SHEET NUMBER

08 OF 35

Heritage Hills Filing No. 2, 2nd Amendment, Lots 7A-1, 8A-1, & 8A-2
 Heritage Hills Planned Development
 Planning Area #9
 5.23 Acres
 SIP #SP20-78

PROJECT NUMBER
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KW, RM, MLH
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PROJECT
LINCOLN STATION APARTMENTS

LONE TREE, COLORADO
 80124

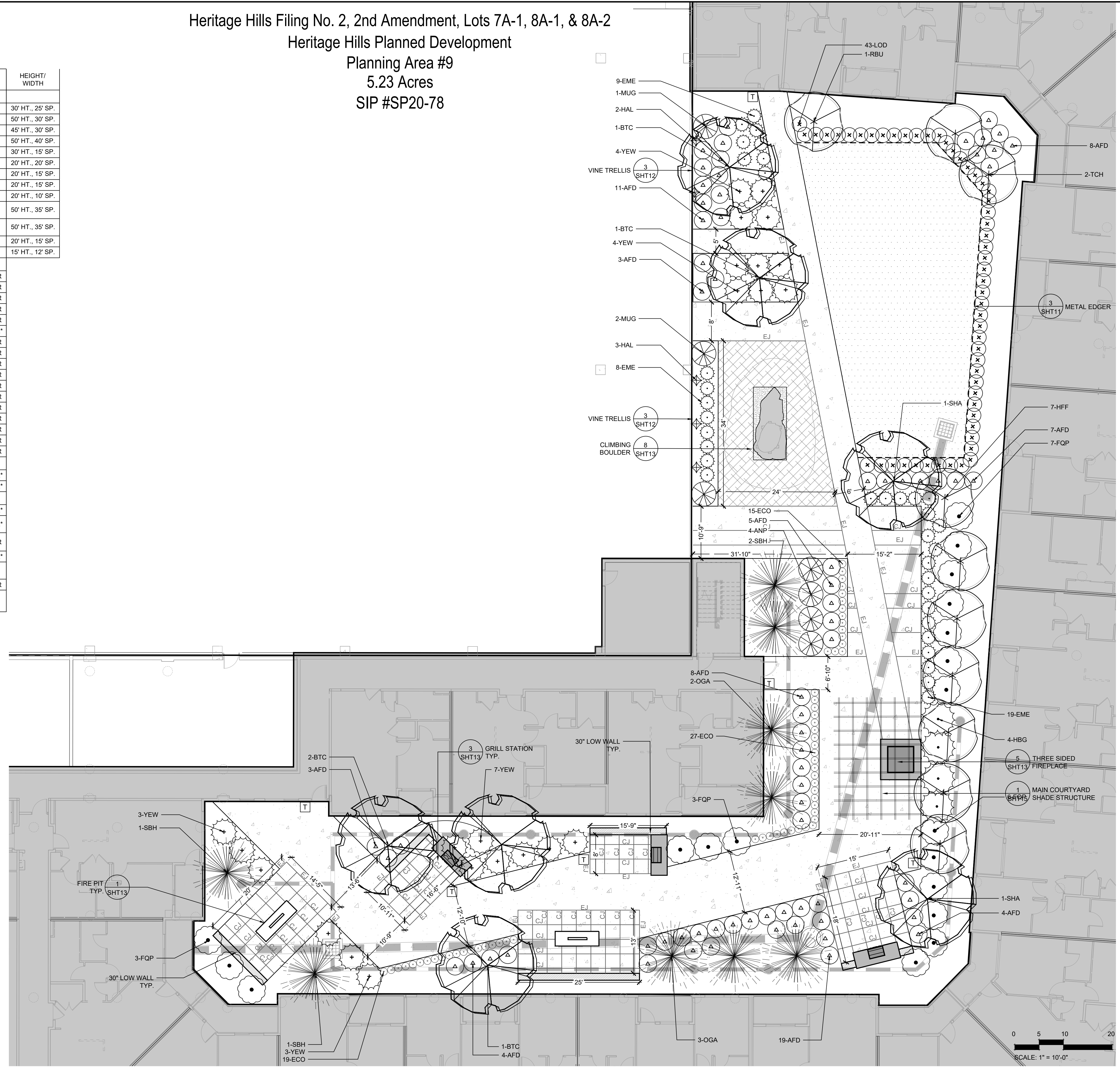
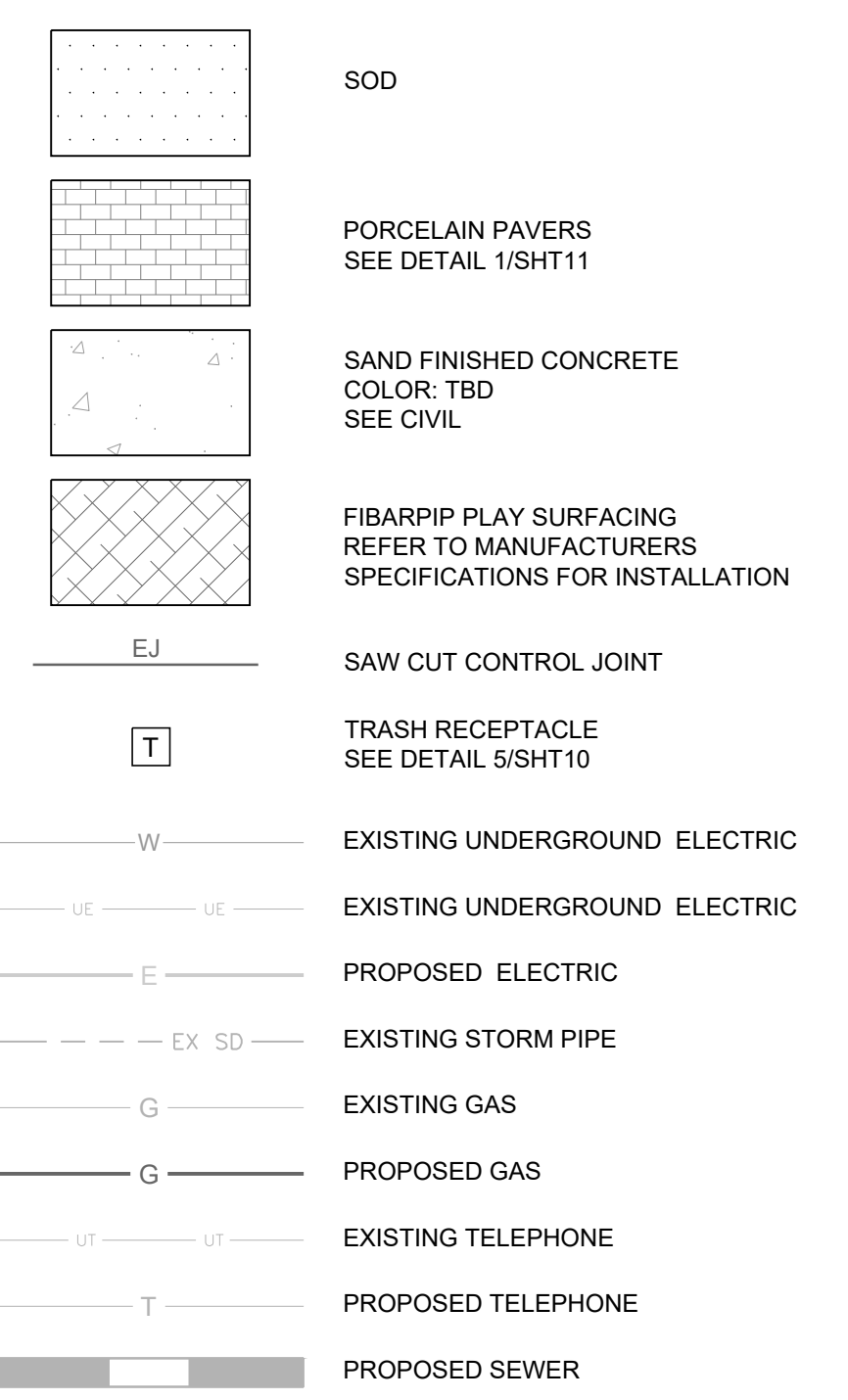
SHEET TITLE
LANDSCAPE ENLARGEMENTS

SHEET NUMBER
09 OF 35

PLANT SCHEDULE

KEY	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	NOTES	HEIGHT/ WIDTH
TREES						
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MEJ	9	Juniperus scopulorum 'Medora'	Medora Juniper	5 gal.	CONTAINER	
MUG	11	Pinus mugo	Mugo Pine	5 gal.	CONTAINER	
RAB	45	Ericameria nauseosa	Rabbitbrush	5 gal.	CONTAINER	
RSA	74	Salvia yangii	Russian Sage	5 gal.	CONTAINER	
VLE	17	Viburnum lentago	Nannyberry Viburnum	5 gal.	CONTAINER	
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GRASSES						
BLO	196	Bouteloua gracilis 'Blonde Ambition'	Blonde Ambition Blue Grama	1 gal.	CONTAINER*	
FRG	62	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Grass	1 gal.	CONTAINER*	
HFB	15	Pennisetum alopecuroides 'Little Bunny'	Little Bunny Fountain Grass	1 gal.	CONTAINER	
LAR	63	Elymus arenarius 'Blue Dune'	Blue Dune Lyme Grass	1 gal.	CONTAINER*	
VINES						
HAL	9	Lonicera japonica 'Halliana'	Hall's Honeysuckle	1 gal.	CONTAINER	

NOTES:
 * DENOTES DOG FRIENDLY PLANTS



1 MAIN COURTYARD
 Scale: 1" = 10'-0"

PLANT SCHEDULE

Table with columns: KEY, QTY, SCIENTIFIC NAME, COMMON NAME, SIZE, NOTES, HEIGHT/WIDTH. Includes sections for TREES, SHRUBS, PERENNIALS, GRASSES, and VINES.

NOTES: * DENOTES DOG FRIENDLY PLANTS

PROJECT NUMBER 65120692

DRAWN BY KW, RM, MLH

DATE 07/23/2021

REVISIONS

- REVISION 1 FEB 10, 2021
REVISION 2 MAR 16, 2021
REVISION 3 JUNE 10, 2021
REVISION 4 JULY 06, 2021
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PROJECT

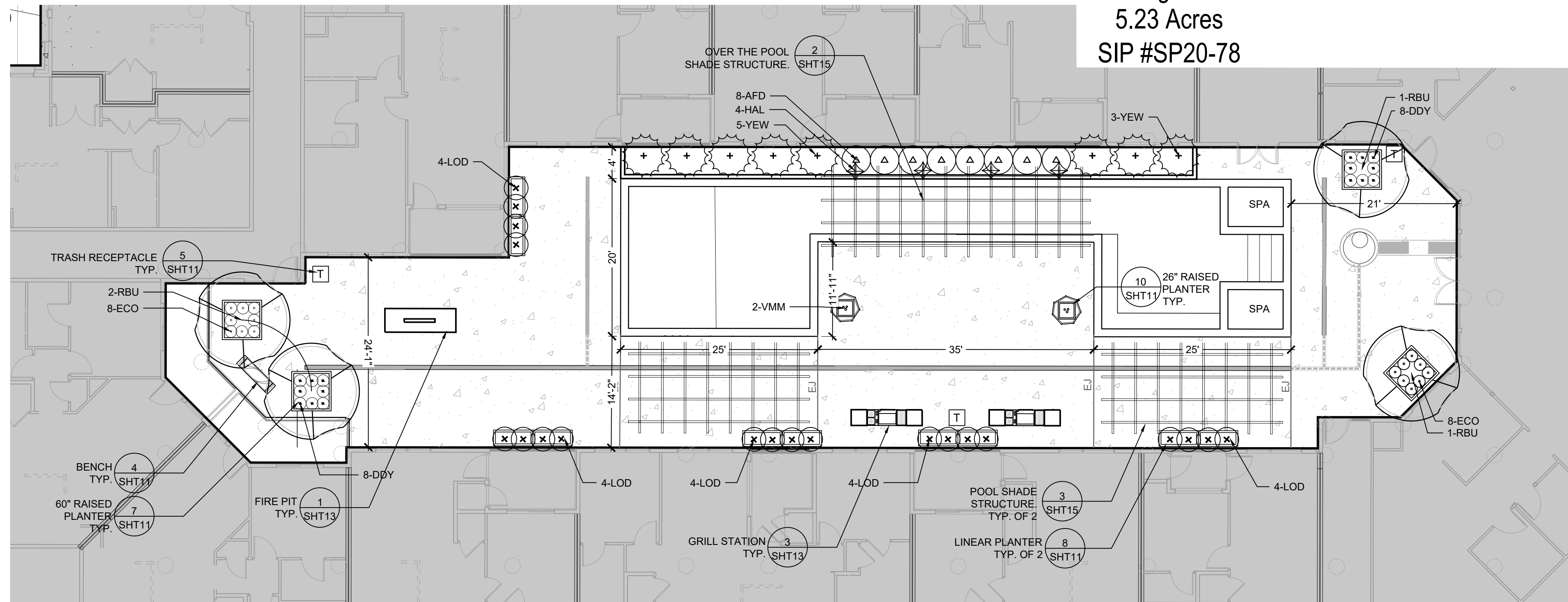
LINCOLN STATION APARTMENTS

LONE TREE, COLORADO 80124

SHEET TITLE LANDSCAPE ENLARGEMENTS

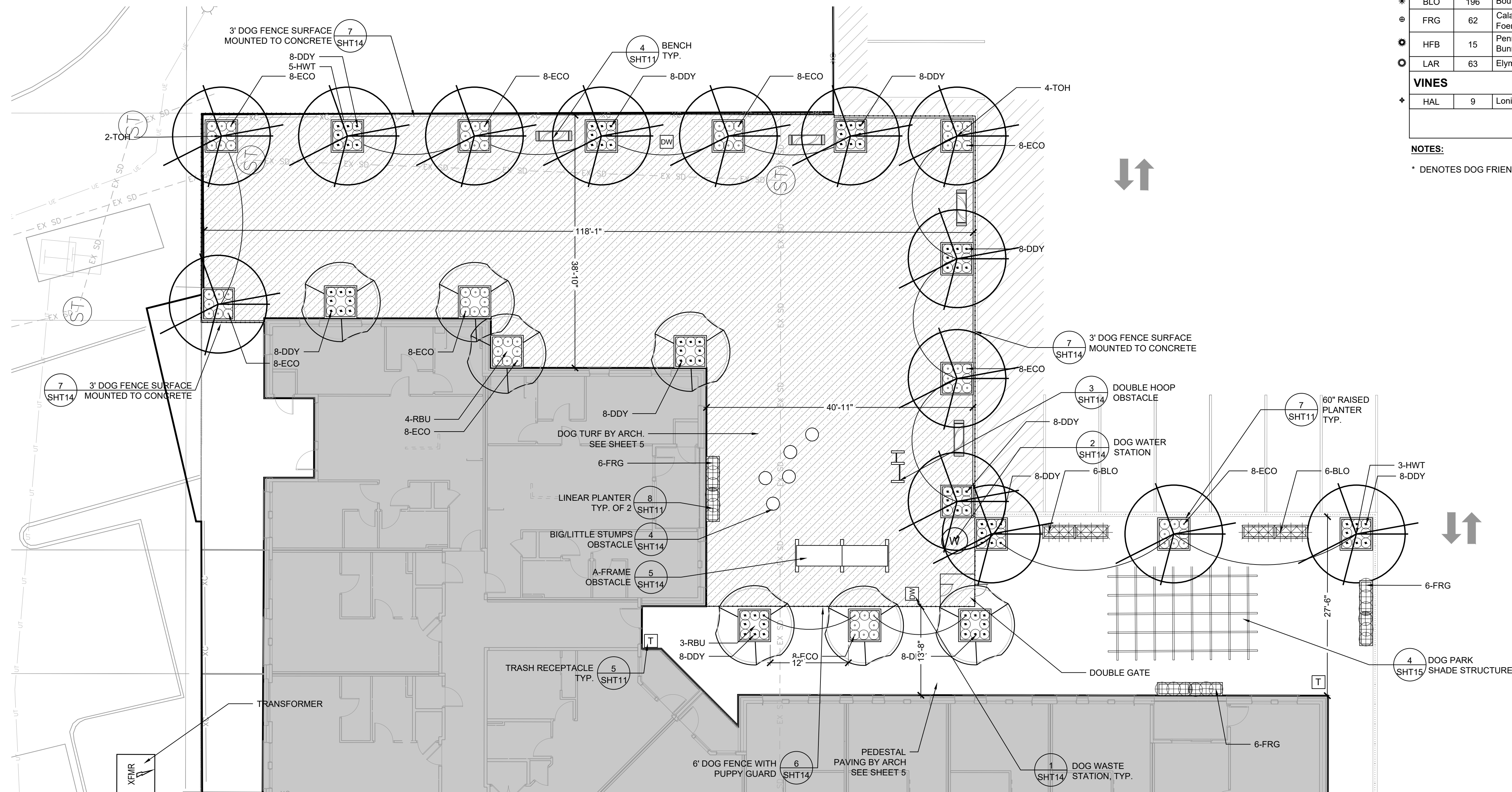
SHEET NUMBER

10 OF 35



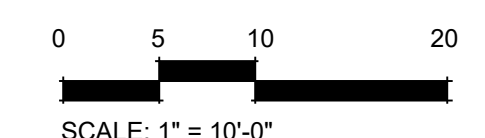
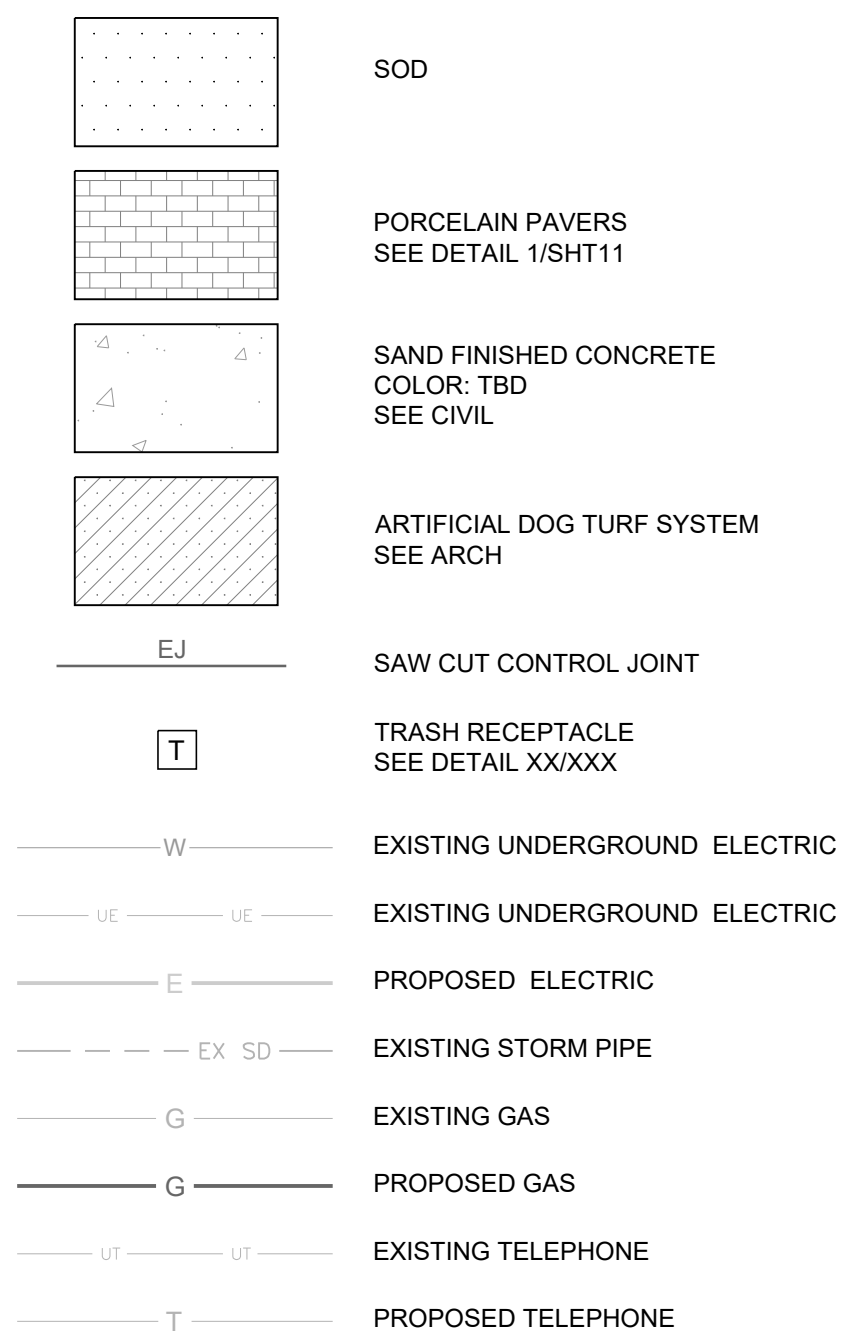
1 POOL COURTYARD

Scale: 1" = 10'-0"



2 DOG PARK

Scale: 1" = 10'-0"

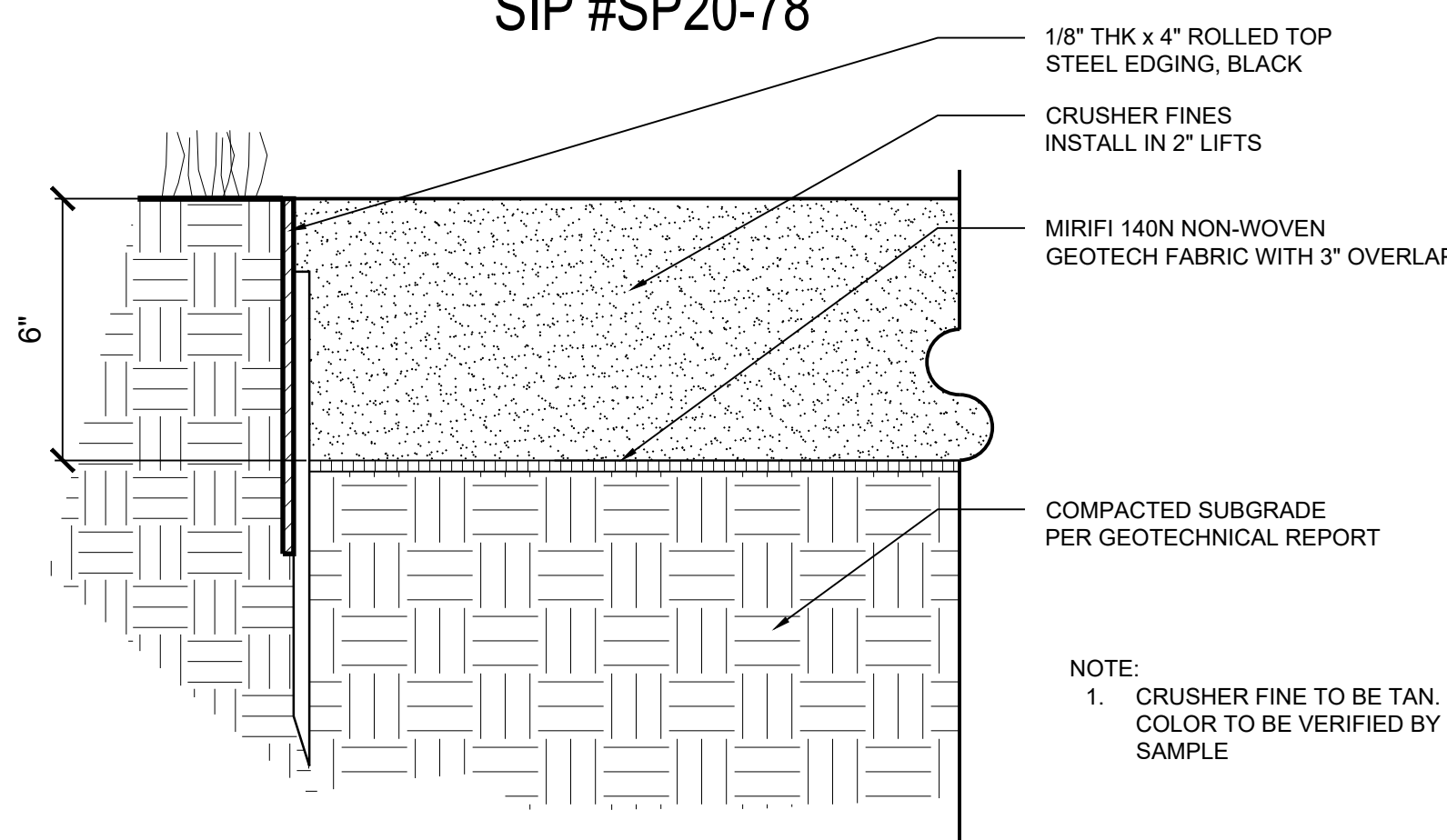


Heritage Hills Filing No. 2, 2nd Amendment, Lots 7A-1, 8A-1, & 8A-2
 Heritage Hills Planned Development
 Planning Area #9
 5.23 Acres
 SIP #SP20-78



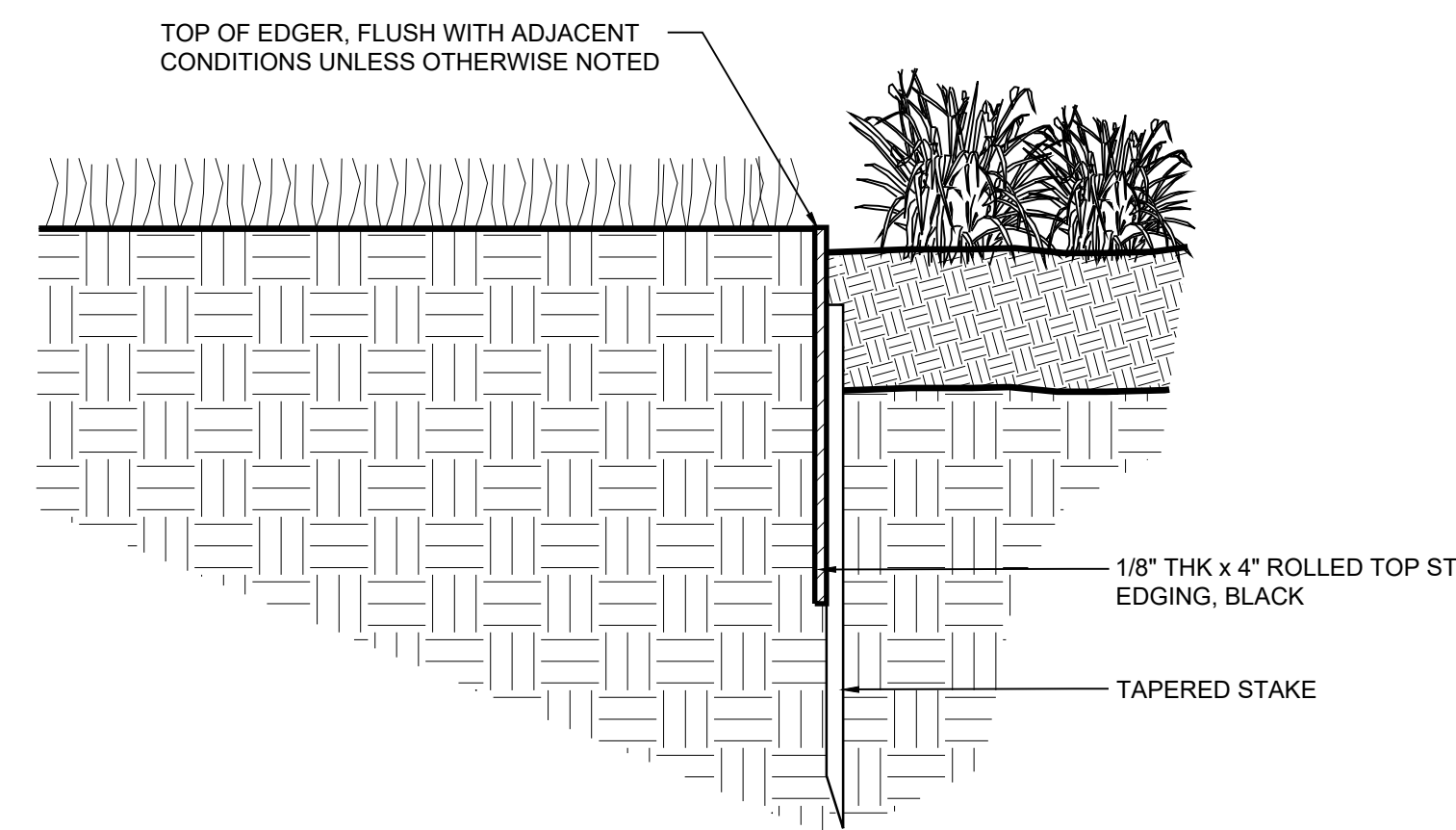
PRODUCT: MOOD WOOD
 COLOR: HONEY
 SIZE: 12"X48"
 MANUFACTURER: MILESTONE TILE
 WEBSITE: WWW.MILESTONEILES.COM

1 PORCELAIN PAVERS
 Scale: NTS



NOTE:
 1. CRUSHER FINE TO BE TAN COLOR TO BE VERIFIED BY SAMPLE

2 CRUSHER FINES PAVING
 Scale: 3" = 1' - 0"



3 METAL EDGER
 Scale: 3" = 1' - 0"



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 KALAMAZOO, MI 49048
 P: 269.381.0396
 W: WWW.LANDSCAPEFORMS.COM
 E: SPECIFY@LANDSCAPEFORMS.COM

INFO:
 • PRODUCT: SIT BENCH
 • TYPE: BACKED
 • FINISH: METALLIC
 • COLOR: SILVER
 • SIZE: 25" D. X 74"W. X 32"HEIGHT
 • INSTALLATION: INSTALL PER MANUFACTURERS SPECIFICATIONS
 • NOTE: PER A117.1 SEC. 903, BENCH IS ADA COMPLIANT.

4 BENCH
 Scale: NTS



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INFO:
 • PRODUCT: PITCH LITTER RECEPTACLE
 • SIDE-OPENING
 • COLOR: SILVER
 • FINISH: METALLIC
 • SIZE: 25"D.X25"W.X35"H.
 • INSTALLATION: SURFACE MOUNTED, INSTALL PER MANUFACTURERS SPECIFICATIONS

5 TRASH RECEPTACLE
 Scale: NTS

Bola® Bike Rack Installation Guide
 Date: September 8, 2016
 www.landscapeforms.com Ph: 800.621.2546

HANDLE WITH CARE! Bola's finish can be scuffed by contact with tools, concrete, or other abrasive surfaces. Protect the finish from damage during installation. Use touch-up paint to repair any powder coat finish abrasions.

INSTALLATION:
 1. Core drill 3" diameter (minimum) holes 6" deep.
 2. Prepare the holes for outdoor anchoring cement, such as Kwikset™ or Super Por-rok™. Follow the manufacturer's instructions for blowing out dust, filling with water, scrubbing, and removing excess water.
 3. Place the bike rack back into position and fill the holes with anchoring cement.
 4. Wipe away any excess before it cures.

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 KALAMAZOO, MI 49048
 P: 269.381.0396
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 E: SPECIFY@LANDSCAPEFORMS.COM

INFO:
 • PRODUCT: BOLA BIKE RACK
 • COLOR/FINISH: ELECTRO POLISHED STAINLESS STEEL
 • SIZE: 1.5"D.X28.25"W.X32"W.
 • INSTALLATION: SURFACE MOUNTED, INSTALL PER MANUFACTURERS SPECIFICATIONS

Tools Required
 • Unit ships assembled

Recommended spacing, according to Association of Pedestrian and Bicycle Professionals (APBP)

Side Elevation, showing core drill sizes

Page 1 of 1

6 BIKE RACK
 Scale: NTS



PLANTERS UNLIMITED
 P: 1.888.320.0626
 W:WWW.PLANTERSUNLIMITED.COM
 E: SALES@PLANTERSUNLIMITED.COM

INFO:
 • PRODUCT: MODERN FIBERGLASS COMMERCIAL PLANTERS
 • SKU: F1-MOD-S6048
 • SIZES: 60in.L x 60in.W x 48in.H
 • COLOR: METALLIC SILVER
 • INSTALLATION: INSTALL PER MANUFACTURERS SPECIFICATIONS.
 • DRAINAGE: CONTRACTOR TO PROVIDE PROPER PLANTER DRAINAGE INTO PEDESTAL PAVER DRAINAGE SYSTEM.
 • INSULATION: CONTRACTOR TO PROVIDE PROPER INSULATION FOR PLANTERS.

7 60" RAISED PLANTER
 Scale: NTS



PLANTERS UNLIMITED
 P: 1.888.320.0626
 W:WWW.PLANTERSUNLIMITED.COM
 E: SALES@PLANTERSUNLIMITED.COM

INFO:
 • PRODUCT: MODERN FIBERGLASS RECTANGULAR PLANTER
 • SKU: F1-MOD-REC602424
 • SIZES: 60in.L x 24in.W x 24in.H
 • COLOR: METALLIC SILVER
 • INSTALLATION: INSTALL PER MANUFACTURERS SPECIFICATIONS.
 • DRAINAGE: CONTRACTOR TO PROVIDE PROPER PLANTER DRAINAGE INTO PEDESTAL PAVER DRAINAGE SYSTEM.
 • INSULATION: CONTRACTOR TO PROVIDE PROPER INSULATION FOR PLANTERS.

8 LINEAR PLANTER
 Scale: NTS



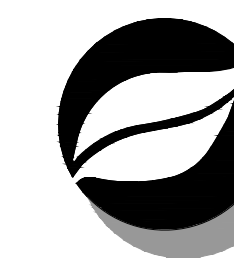
PLANTERS UNLIMITED
 P: 1.888.320.0626
 W:WWW.PLANTERSUNLIMITED.COM
 E: SALES@PLANTERSUNLIMITED.COM

INFO:
 • PRODUCT: MODERN FIBERGLASS COMMERCIAL PLANTERS
 • SKU: F1-MOD-S2424
 • SIZE: 26in.L x 26in.W x 30in.H
 • COLOR: METALLIC SILVER
 • INSTALLATION: INSTALL PER MANUFACTURERS SPECIFICATIONS.
 • DRAINAGE: CONTRACTOR TO PROVIDE PROPER PLANTER DRAINAGE INTO PEDESTAL PAVER DRAINAGE SYSTEM.
 • INSULATION: CONTRACTOR TO PROVIDE PROPER INSULATION FOR PLANTERS.

9 26" RAISED PLANTER
 Scale: NTS

PROJECT NUMBER
 65120692
 DRAWN BY
 KW, RM, MLH
 DATE
 07/23/2021

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PROJECT

LINCOLN STATION APARTMENTS

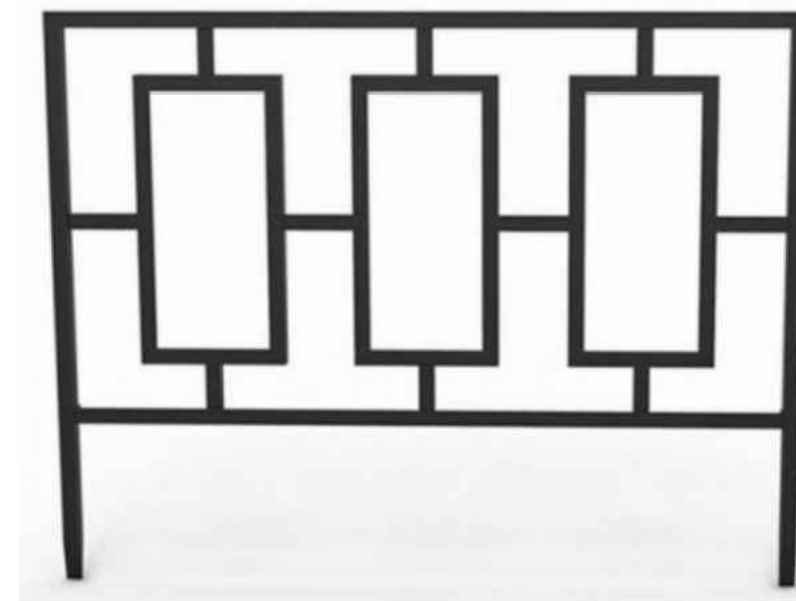
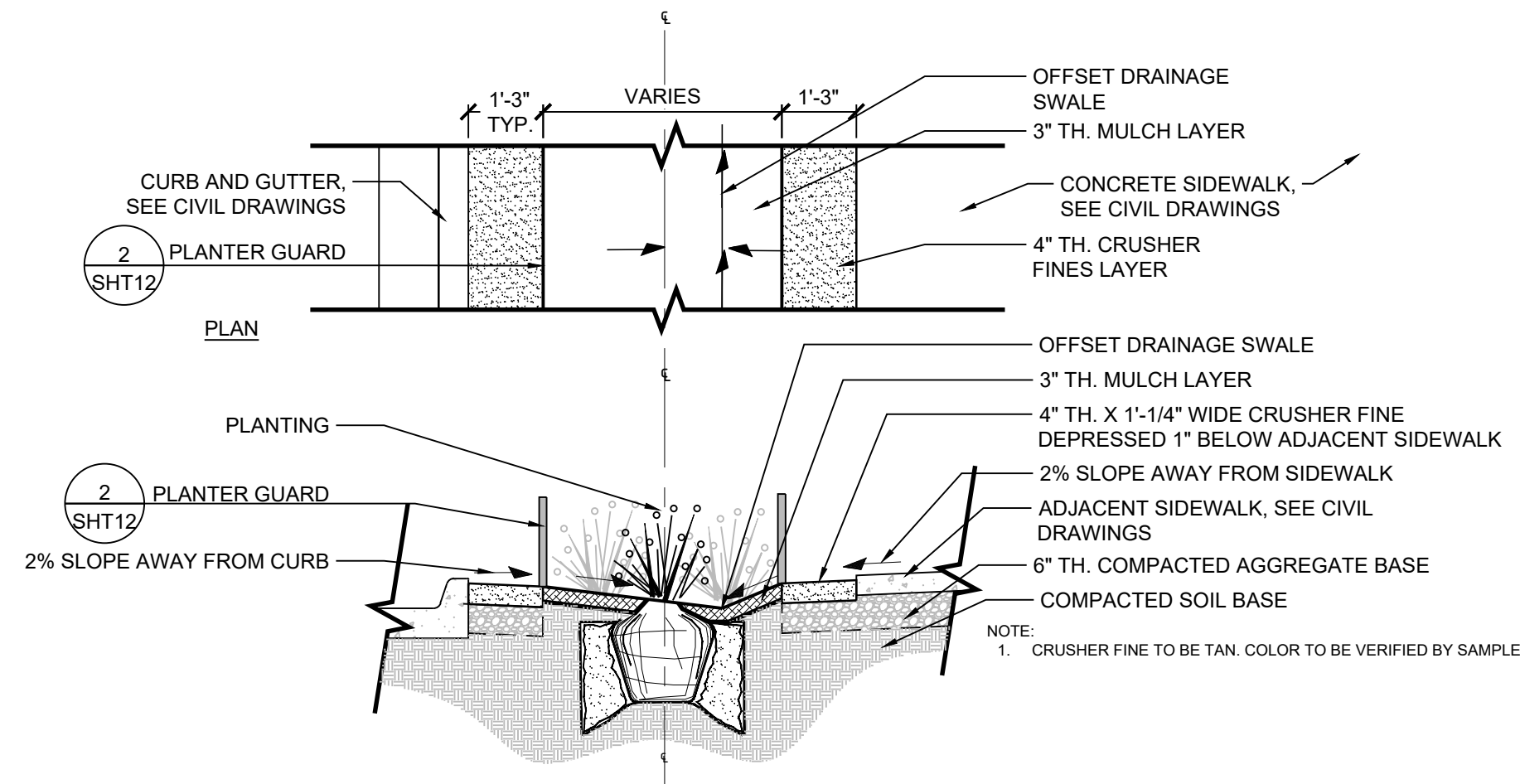
LONE TREE, COLORADO 80124

SHEET TITLE
 SITE FURNISHINGS PLAN

SHEET NUMBER

11 OF 35

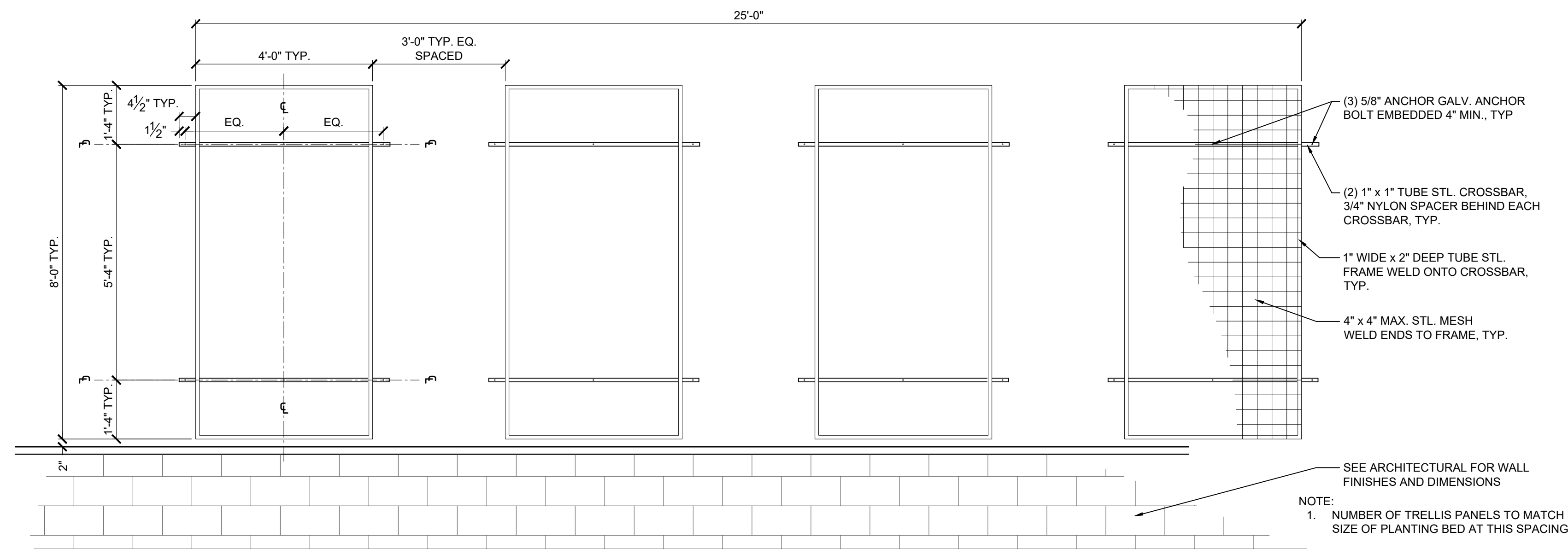
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 Heritage Hills Planned Development
 Planning Area #9
 5.23 Acres
 SIP #SP20-78



PRODUCT: 84575 CONTEMPORARY STYLE GARDEN BORDER EDGE
 SIZE: 14"(H) X 18"(W)
 MANUFACTURER: PANACEA™
 WEBSITE: WWW.TOOLBOXSUPPLY.COM

1 DOG FRIENDLY CRUSHER FINES PLANTER
 Scale: 3/8" = 1'-0"

2 PLANTER GUARD
 Scale: NTS



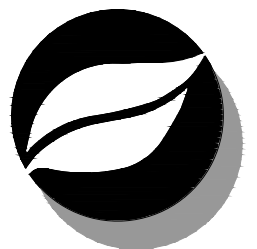
3 VINE TRELLIS
 Scale: 1/2" = 1'-0"

PROJECT NUMBER
65120692

 DRAWN BY
KW, RM, MLH

 DATE
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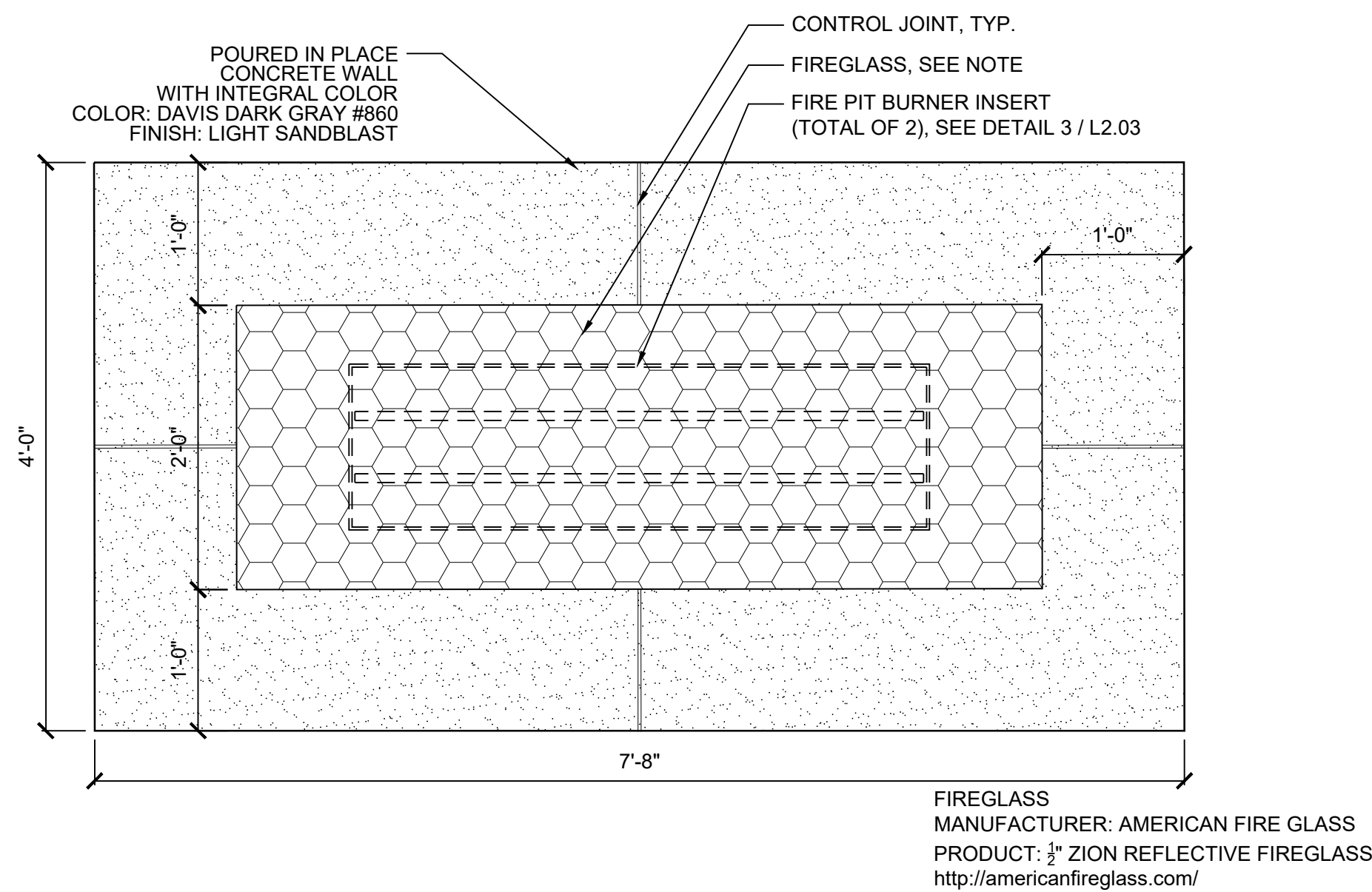
PROJECT
**LINCOLN
 STATION
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LONE TREE, COLORADO
 80124

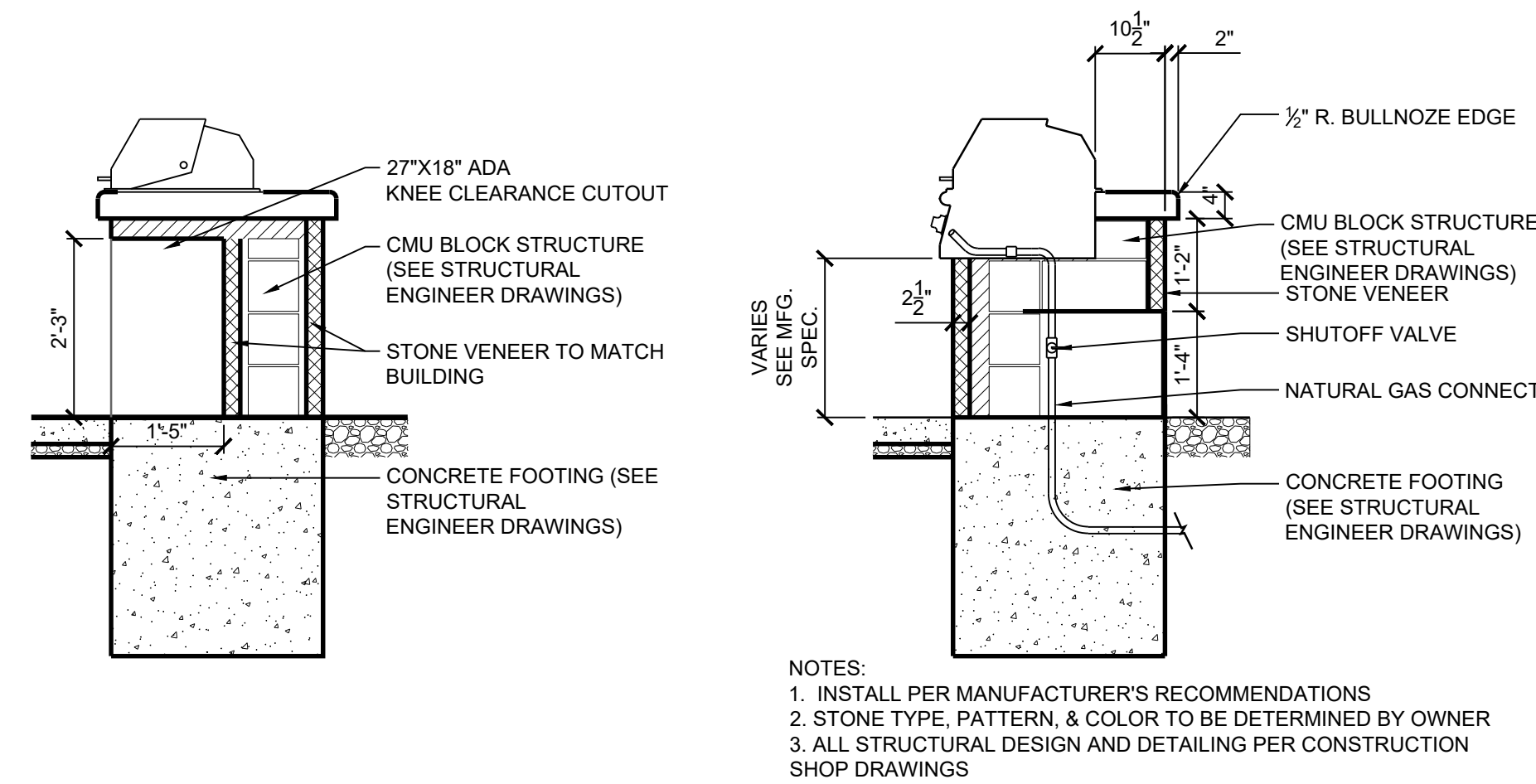
SHEET TITLE
**SITE
 FURNISHINGS
 PLAN**

SHEET NUMBER

12 OF 35

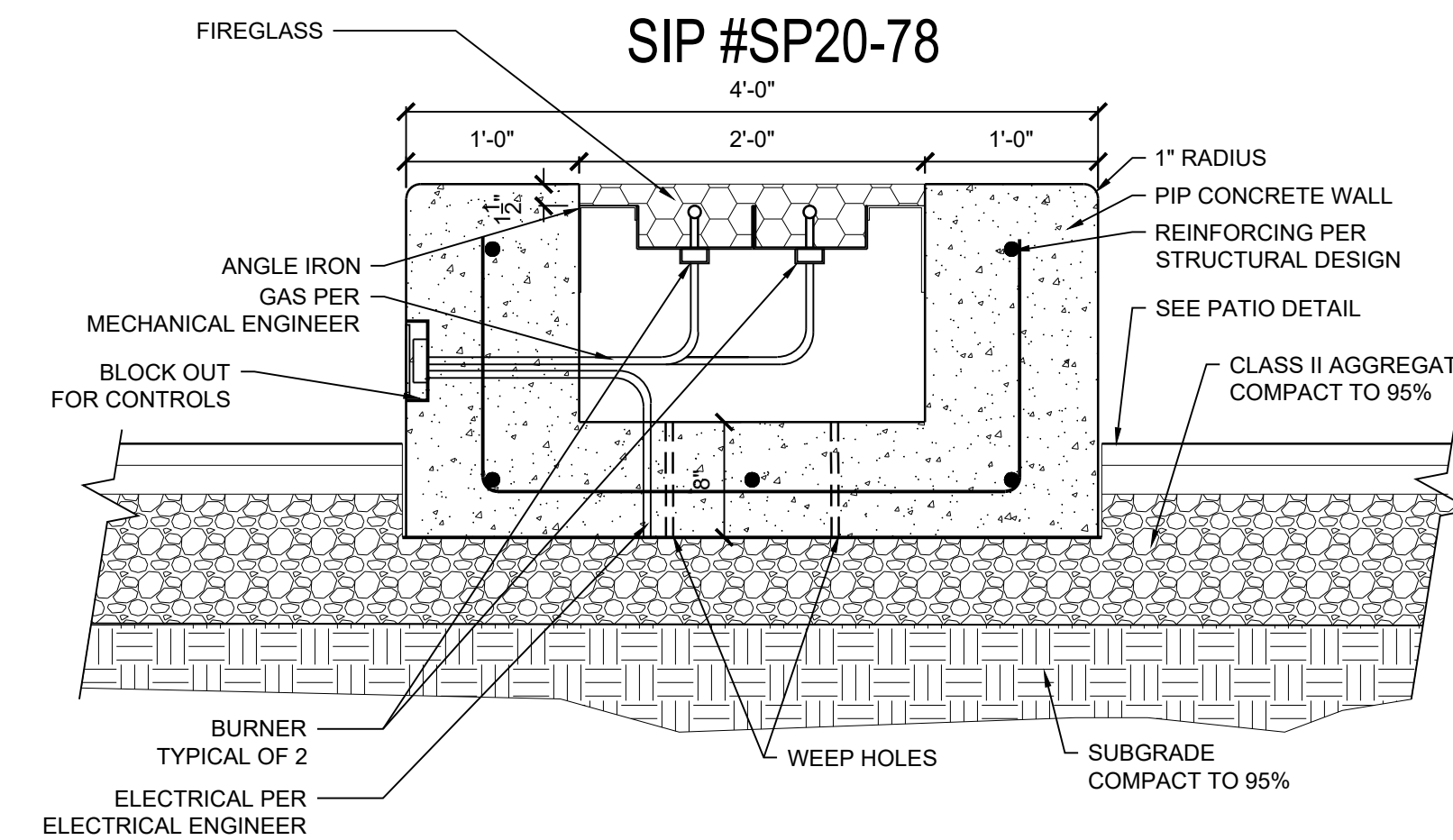


1 FIRE PIT: PLAN
Scale: 1" = 1'-0"

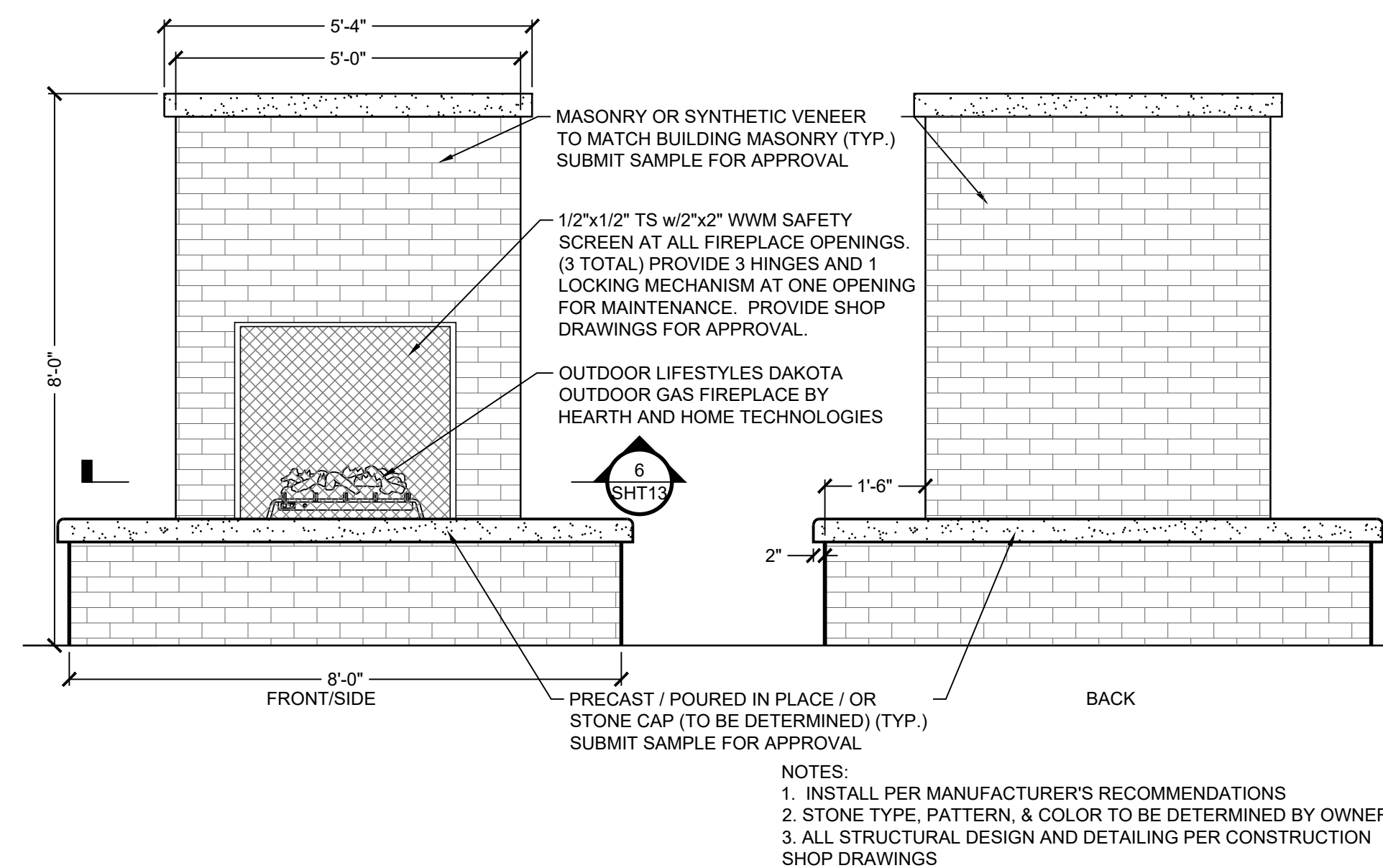


4 GRILL STATION-SECTION
Scale: 1/2" = 1'-0"

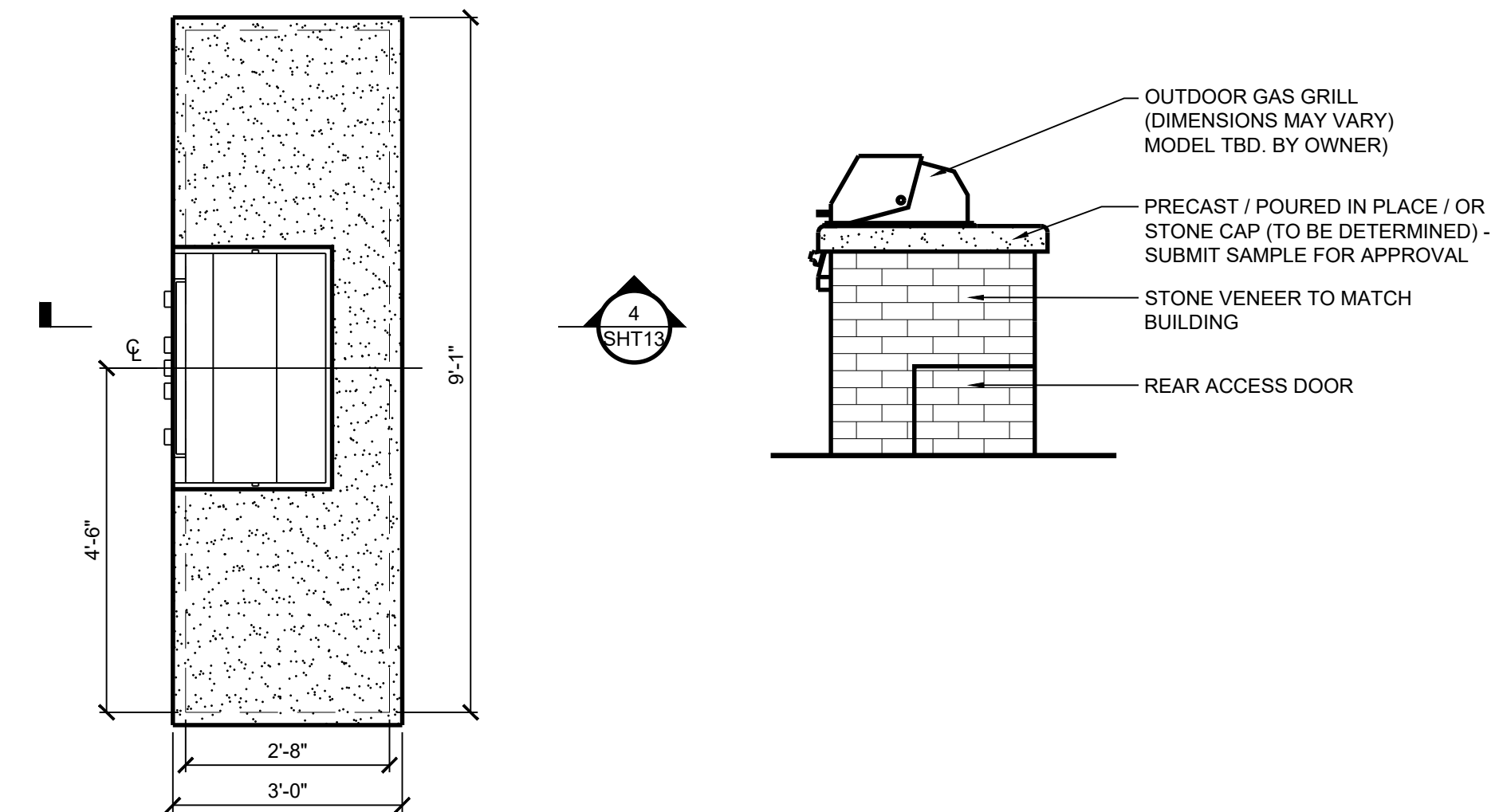
Heritage Hills Filing No. 2, 2nd Amendment, Lots 7A-1, 8A-1, & 8A-2
Heritage Hills Planned Development
Planning Area #9
5.23 Acres
SIP #SP20-78



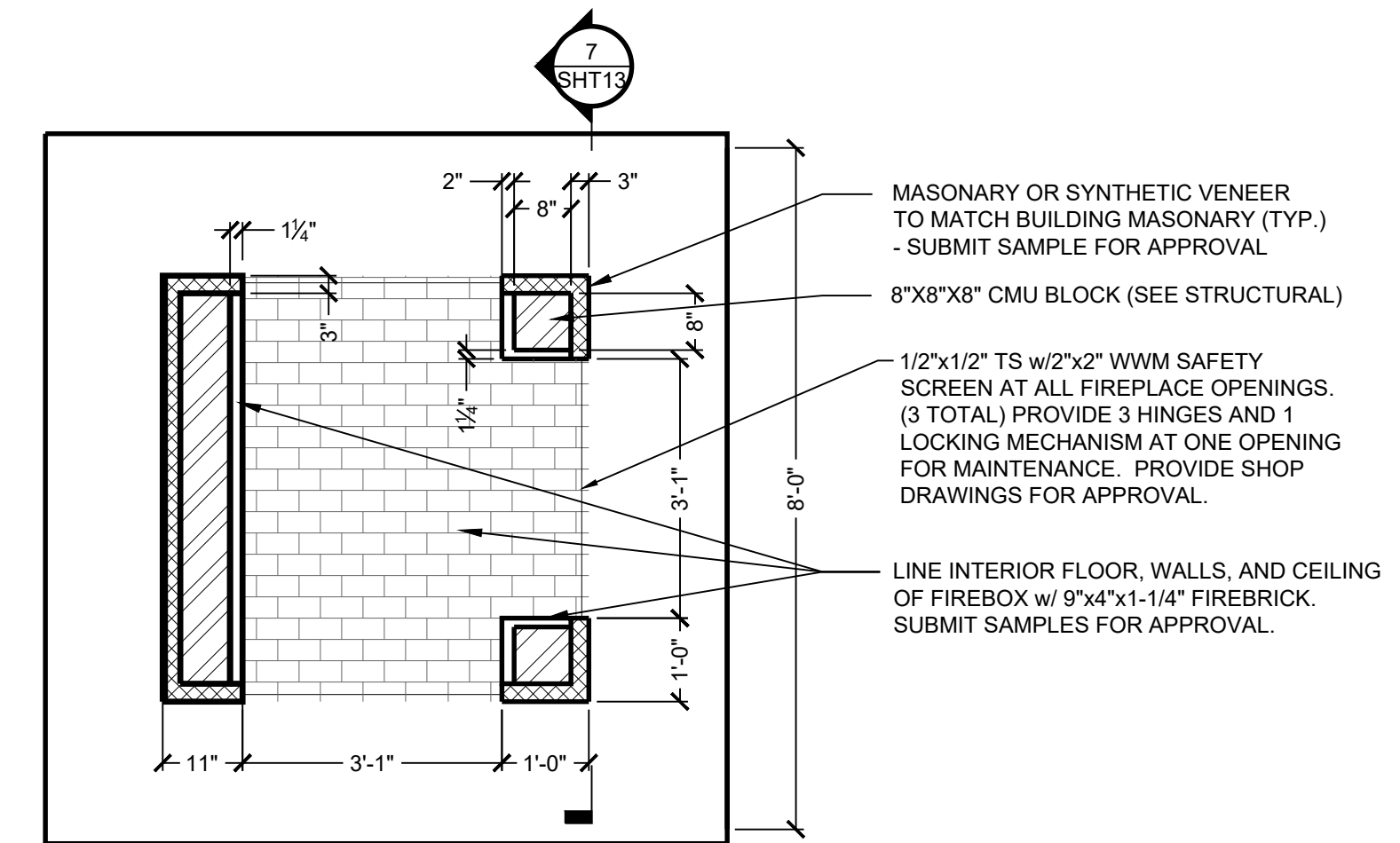
2 FIRE PIT: SECTION
Scale: 1" = 1'-0"



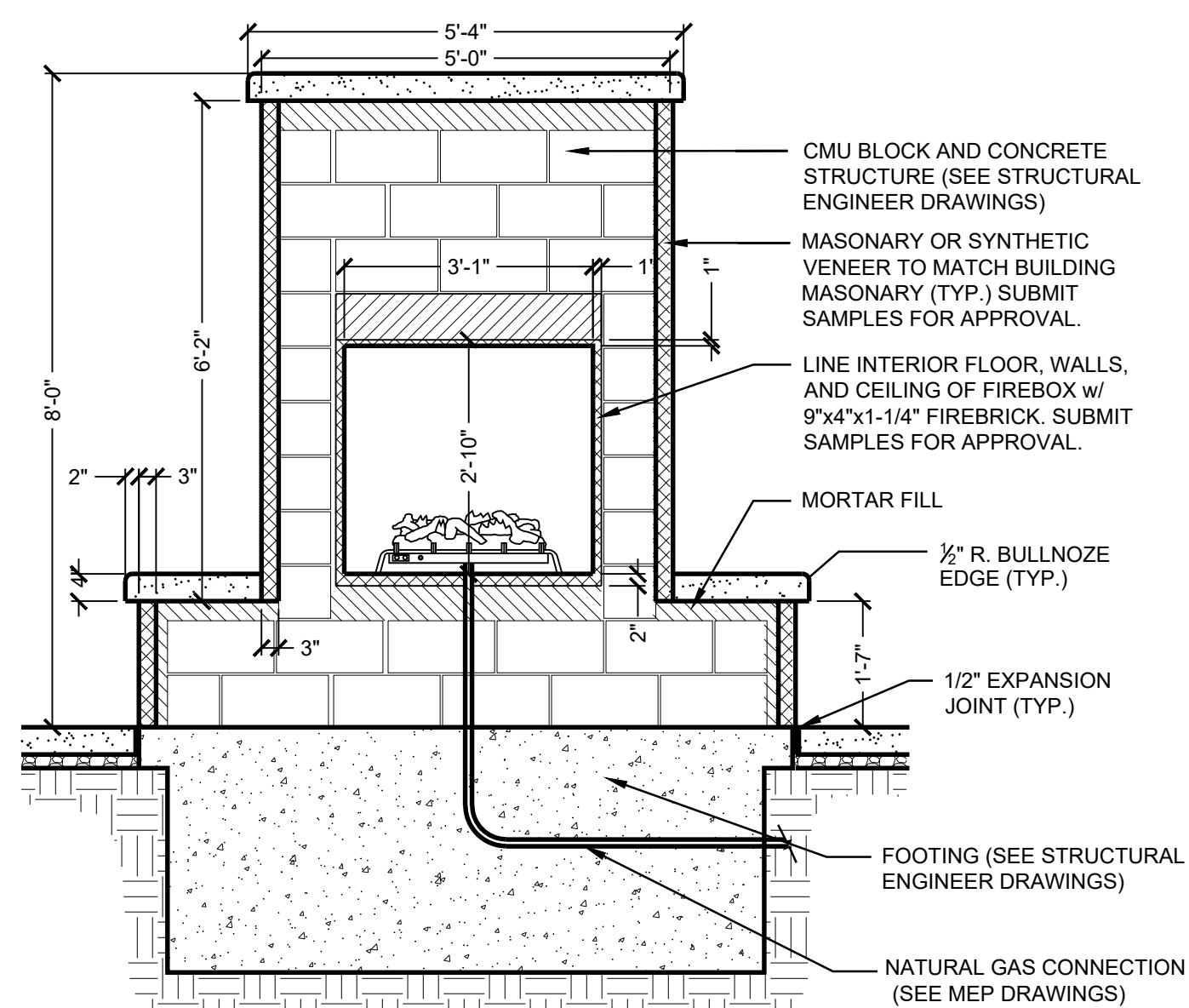
5 THREE SIDED FIREPLACE - ELEVATION
Scale: 1/2" = 1'-0"



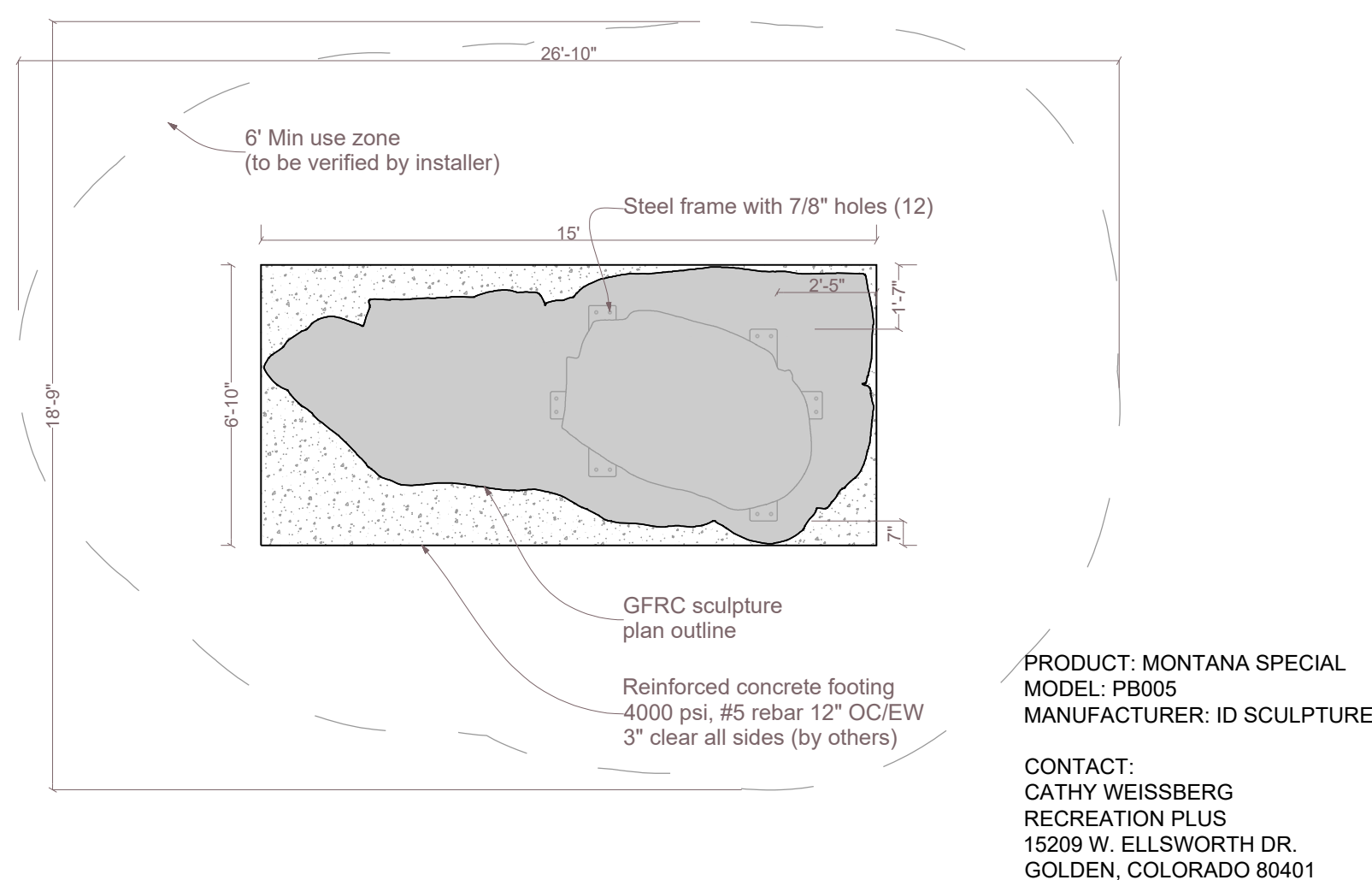
3 GRILL STATION
Scale: 1/2" = 1'-0"



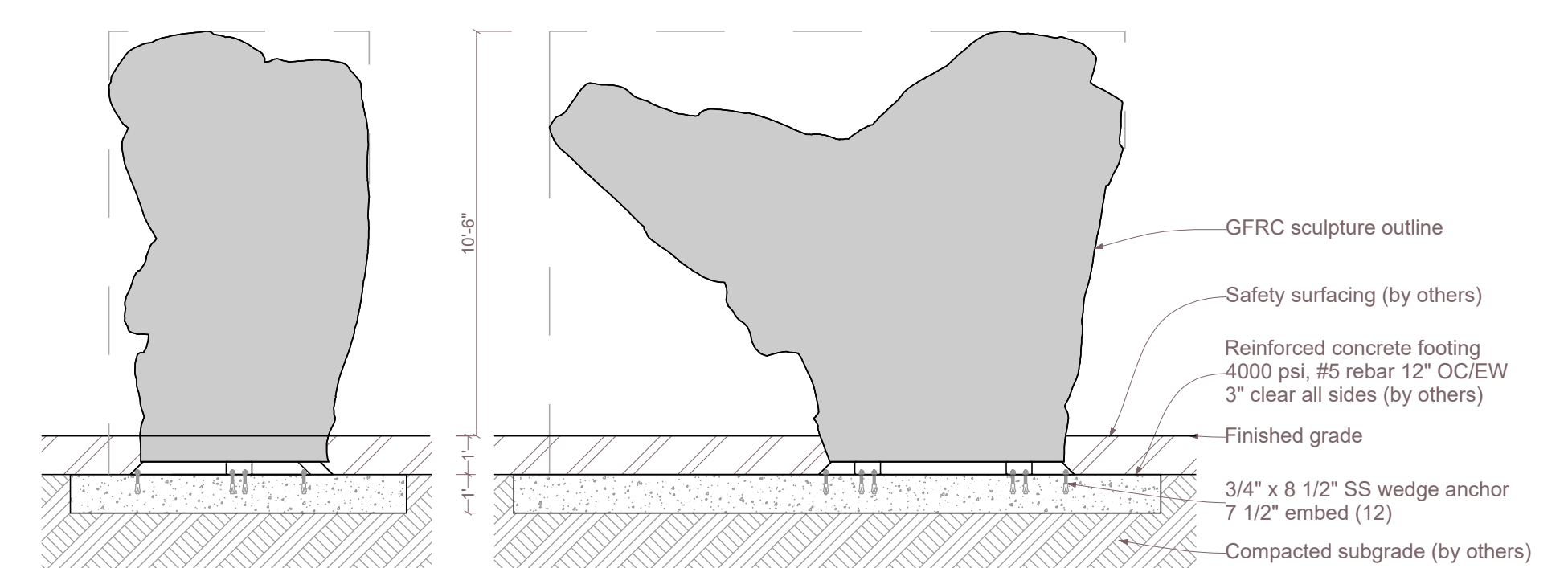
6 THREE SIDED FIREPLACE - SECTION A
Scale: 1/2" = 1'-0"



7 THREE SIDED FIREPLACE - SECTION B
Scale: 1/2" = 1'-0"



8 CLIMBING BOULDER - PLAN
Scale: NTS



9 CLIMBING BOULDER - ELEVATION
Scale: NTS

PROJECT NUMBER
65120692

DRAWN BY
KW, RM, MLH

DATE
07/23/2021

REVISIONS

REVISION 1 FEB 10, 2021

REVISION 2 MAR 16, 2021

REVISION 3 JUNE 10, 2021

REVISION 4 JULY 06, 2021

REVISION 5 JULY 23, 2021



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PROJECT

**LINCOLN
STATION
APARTMENTS**

LONE TREE, COLORADO
80124

SHEET TITLE
**SITE
FURNISHINGS
PLAN**

SHEET NUMBER

13 OF 35

Heritage Hills Filing No. 2, 2nd Amendment, Lots 7A-1, 8A-1, & 8A-2
 Heritage Hills Planned Development
 Planning Area #9
 5.23 Acres
 SIP #SP20-78



DOGIPOT
 5340 YOUNG PINE RD., SUITE 8
 ORLANDO, FL 32829
 P: 800.364.7681
 W: WWW.DOGIPOT.COM
 E: INFO@DOGIPOT.COM

INFO:
 PRODUCT: ALUMINUM HEAD PAK DOGIPOT PET STATION
 PRODUCT NUMBER: #1003HP-L
 SIZE: 2'X2'X4'-8"
 INSTALLATION: INSTALL PER MANUFACTURERS SPECIFICATIONS.

1 DOG WASTE STATION

Scale: NTS



DOG-ON-IT-PARKS
 4818 EVERGREEN WAY, STE 250
 EVERETT, WA 98203
 P: 877-348-3647
 W: WWW.DOG-ON-IT-PARKS.COM

INFO:
 PRODUCT: 7214 DELUXE DOG WATERING STATION
 SIZE: 2'X2'X4'-8"
 INSTALLATION: INSTALL PER MANUFACTURERS SPECIFICATIONS.

2 DOG WATER STATION

Scale: NTS



DOG-ON-IT-PARKS
 4818 EVERGREEN WAY, STE 250
 EVERETT, WA 98203
 P: 877-348-3647
 W: WWW.DOG-ON-IT-PARKS.COM

INFO:
 PRODUCT: ECO DOUBLE HOOP JUMP R7609
 INSTALLATION: INSTALL PER MANUFACTURERS SPECIFICATIONS.

3 DOUBLE HOOP OBSTACLE

Scale: NTS



DOG-ON-IT-PARKS
 4818 EVERGREEN WAY, STE 250
 EVERETT, WA 98203
 P: 877-348-3647
 W: WWW.DOG-ON-IT-PARKS.COM

INFO:
 PRODUCT: LITTLE & BIG STUMP JUMPS
 ND7110/ND7111
 INSTALLATION: INSTALL PER MANUFACTURERS SPECIFICATIONS.

4 BIG/LITTLE STUMPS OBSTACLE

Scale: NTS



DOG-ON-IT-PARKS
 4818 EVERGREEN WAY, STE 250
 EVERETT, WA 98203
 P: 877-348-3647
 W: WWW.DOG-ON-IT-PARKS.COM

INFO:
 PRODUCT: ECO A-FRAME LARGE R7601
 INSTALLATION: INSTALL PER MANUFACTURERS SPECIFICATIONS.

5 A-FRAME OBSTACLE

Scale: NTS



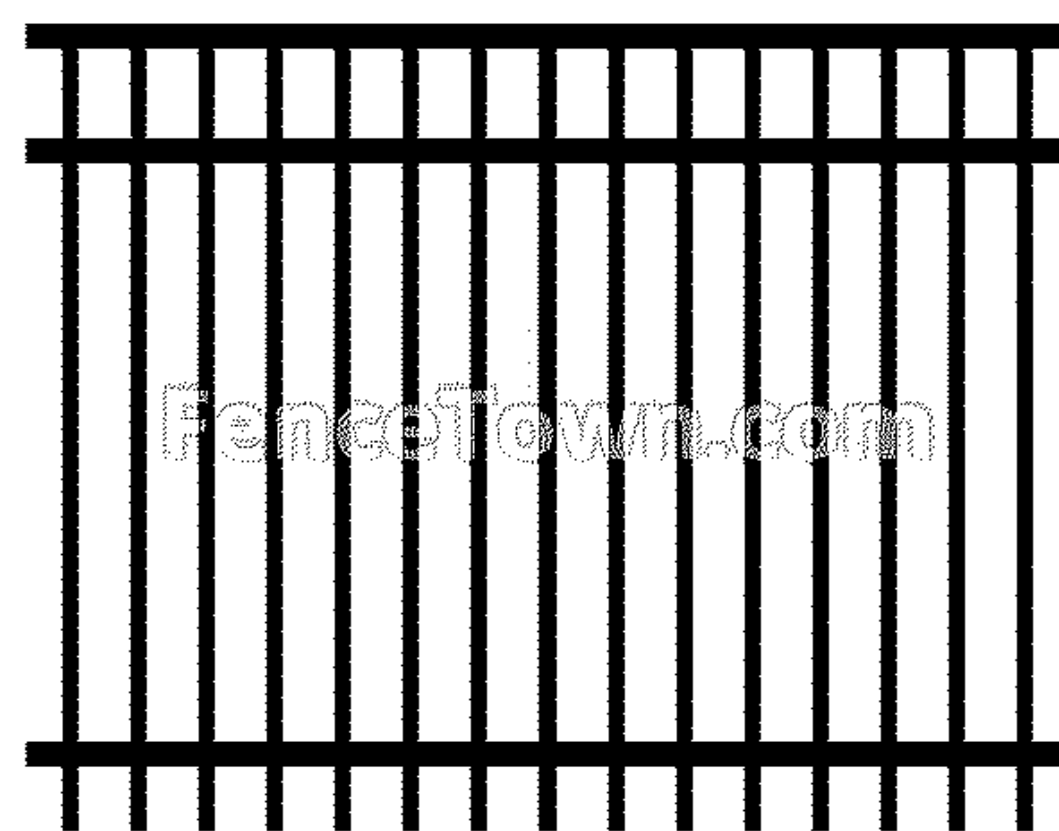
FENCE TOWN
 8465 WEST SAHARA AVE SUITE: 111-124
 LAS VEGAS, NEVADA 89117
 P: (888) 336-2386
 W: WWW.FENCETOWN.COM/

INFO:
 PRODUCT: SPECRAIL SAYBROOK COMMERCIAL
 FENCE PANEL 72H WITH PET PANEL
 COLOR: POWDERCOATED BLACK
 SKU: SR-COM-SAYBROOK-72H

INSTALL INGROUND PER MANUFACTURER'S SPECIFICATIONS.

6 6' DOG FENCE WITH PUPPY GUARD

Scale: NTS



FENCE TOWN
 8465 WEST SAHARA AVE SUITE: 111-124
 LAS VEGAS, NEVADA 89117
 P: (888) 336-2386
 W: WWW.FENCETOWN.COM/

INFO:
 PRODUCT: SPECRAIL SAYBROOK COMMERCIAL
 FENCE PANEL 36H
 COLOR: POWDERCOATED BLACK
 SKU: SR-COM-SAYBROOK-36H

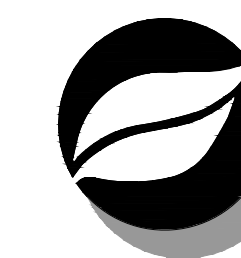
SURFACE MOUNT TO CONCRETE PER MANUFACTURER'S SPECIFICATIONS.

7 3' DOG FENCE MOUNTED TO CONCRETE

Scale: NTS

PROJECT NUMBER
 65120692
 DRAWN BY
 KW, RM, MLH
 DATE
 07/23/2021

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LINCOLN
 STATION
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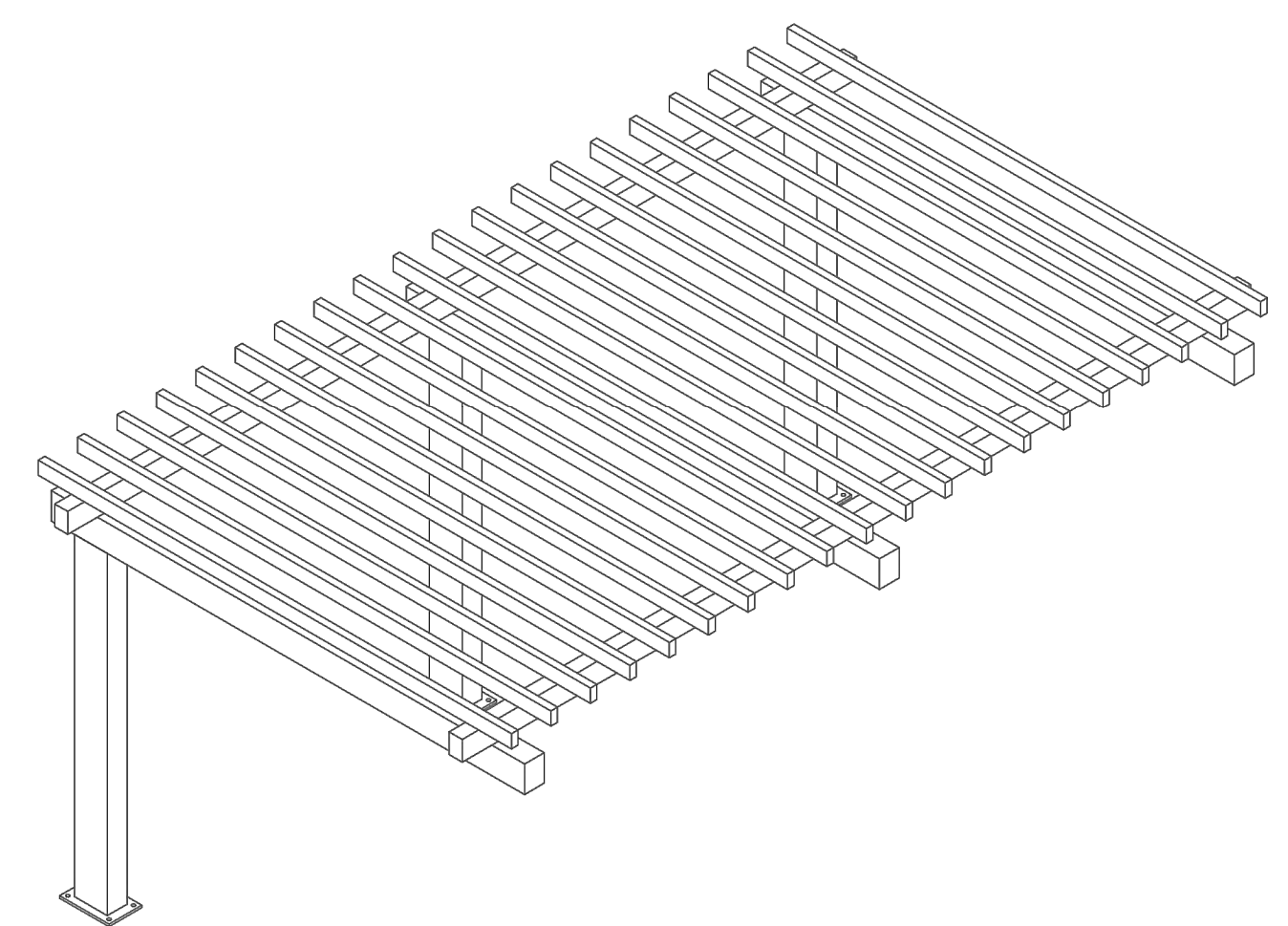
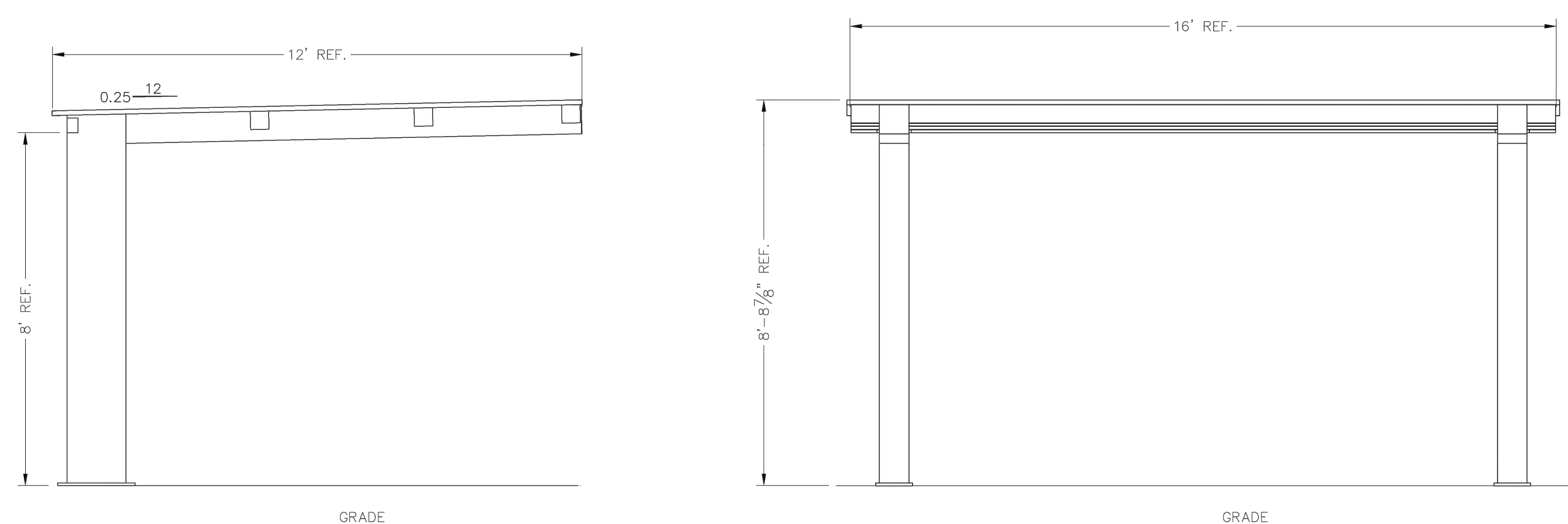
LONE TREE, COLORADO
 80124

SHEET TITLE
 SITE
 FURNISHINGS
 PLAN

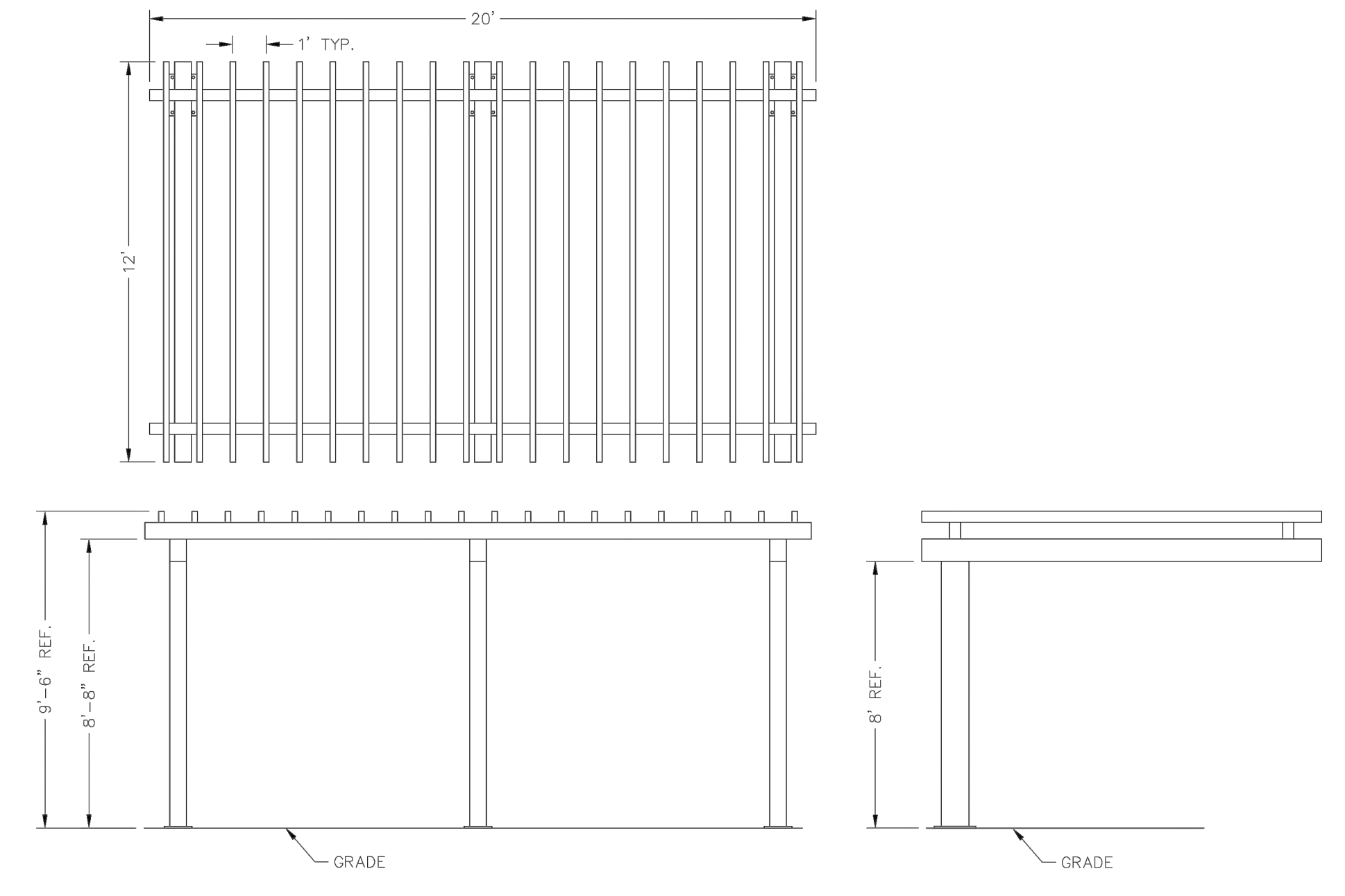
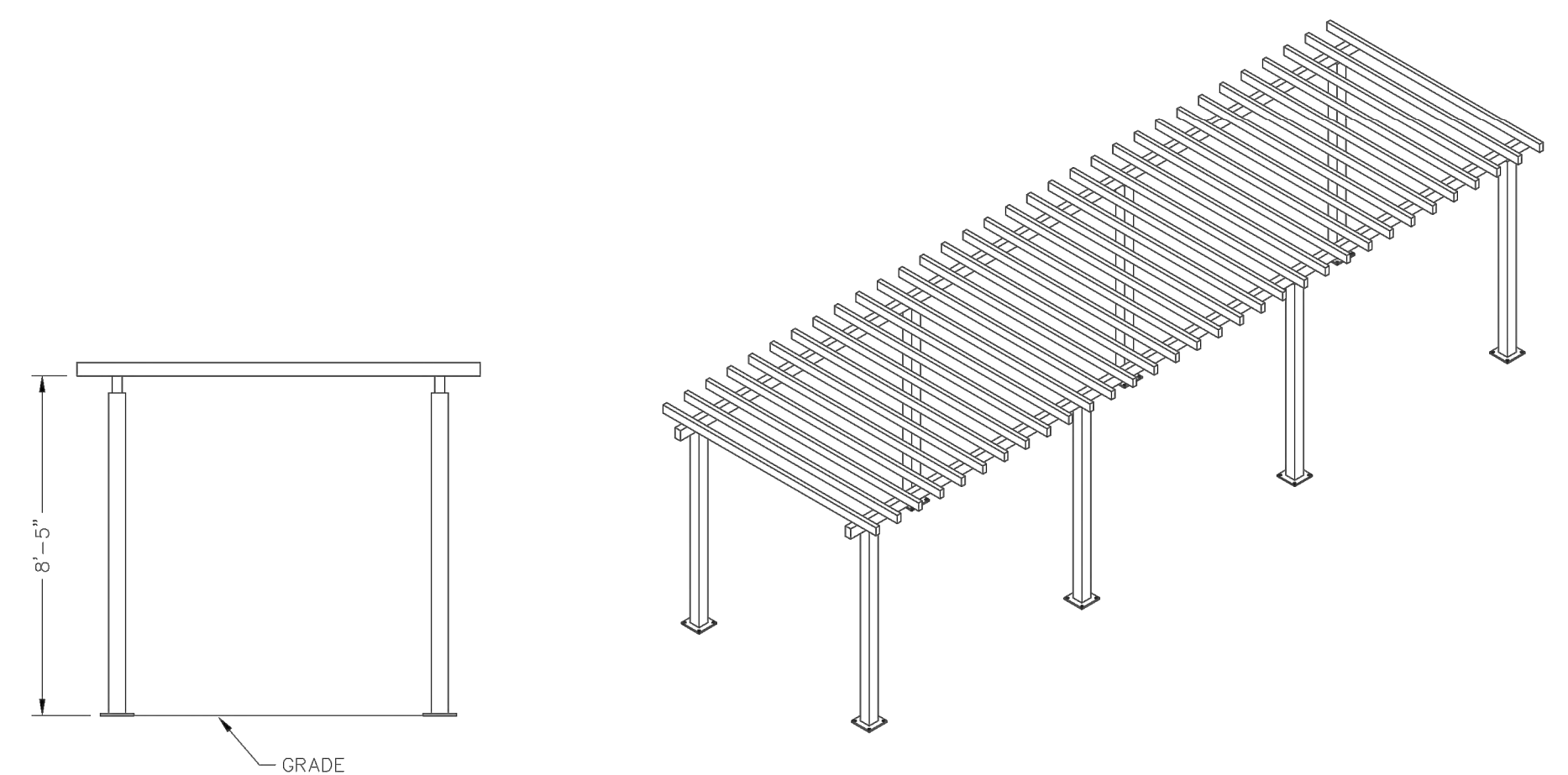
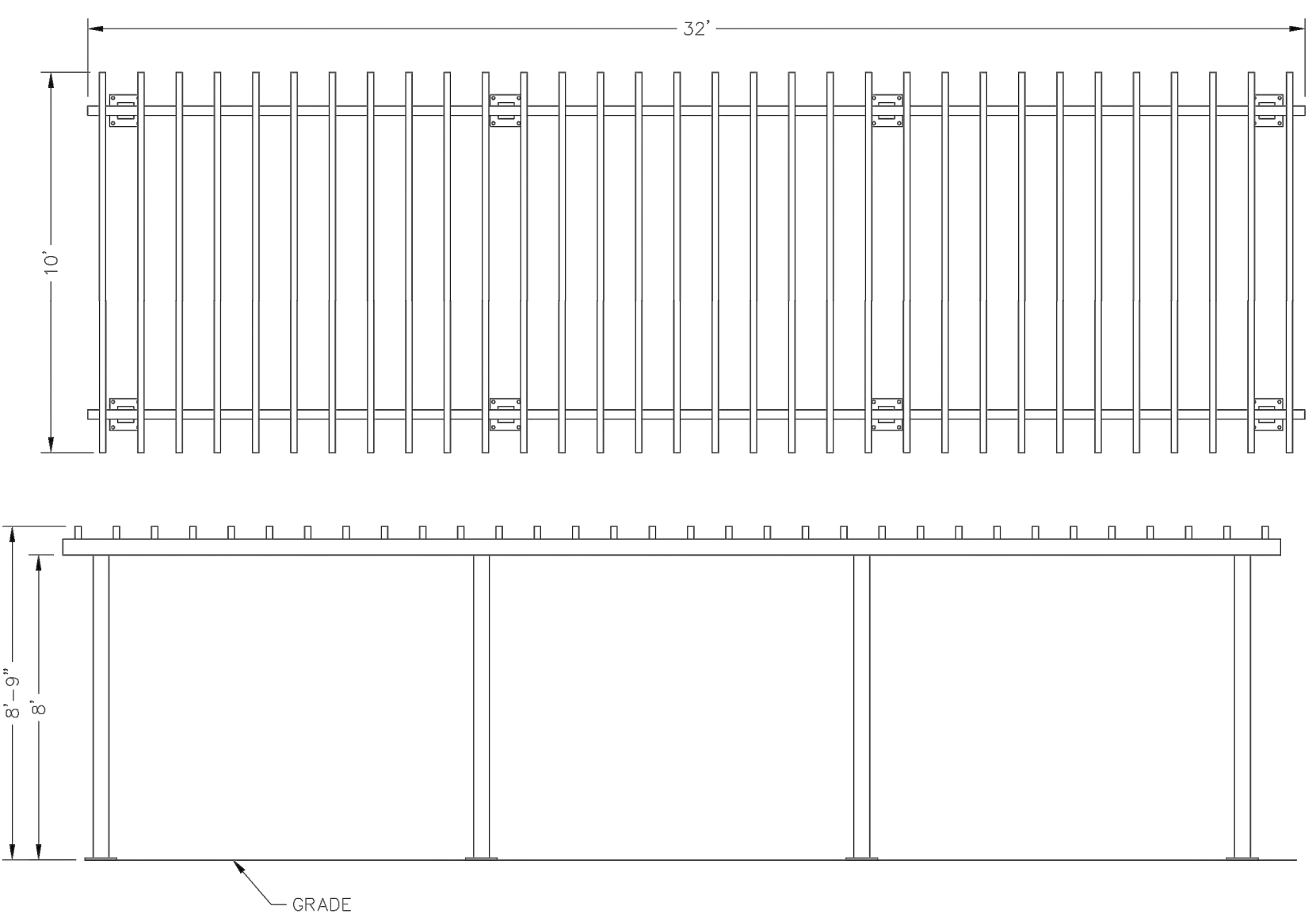
SHEET NUMBER

14 OF 35

Heritage Hills Filing No. 2, 2nd Amendment, Lots 7A-1, 8A-1, & 8A-2
 Heritage Hills Planned Development
 Planning Area #9
 5.23 Acres
 SIP #SP20-78

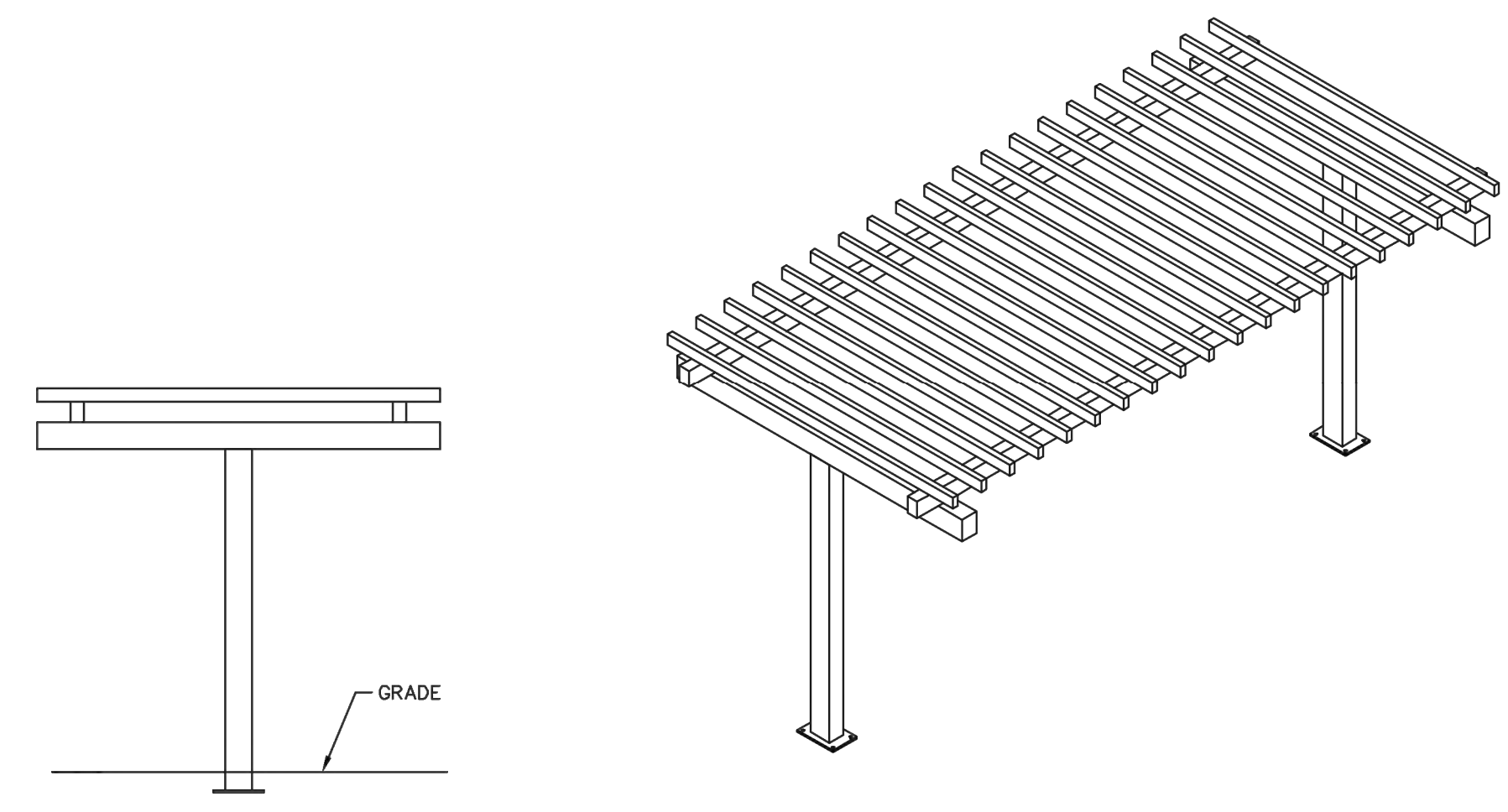
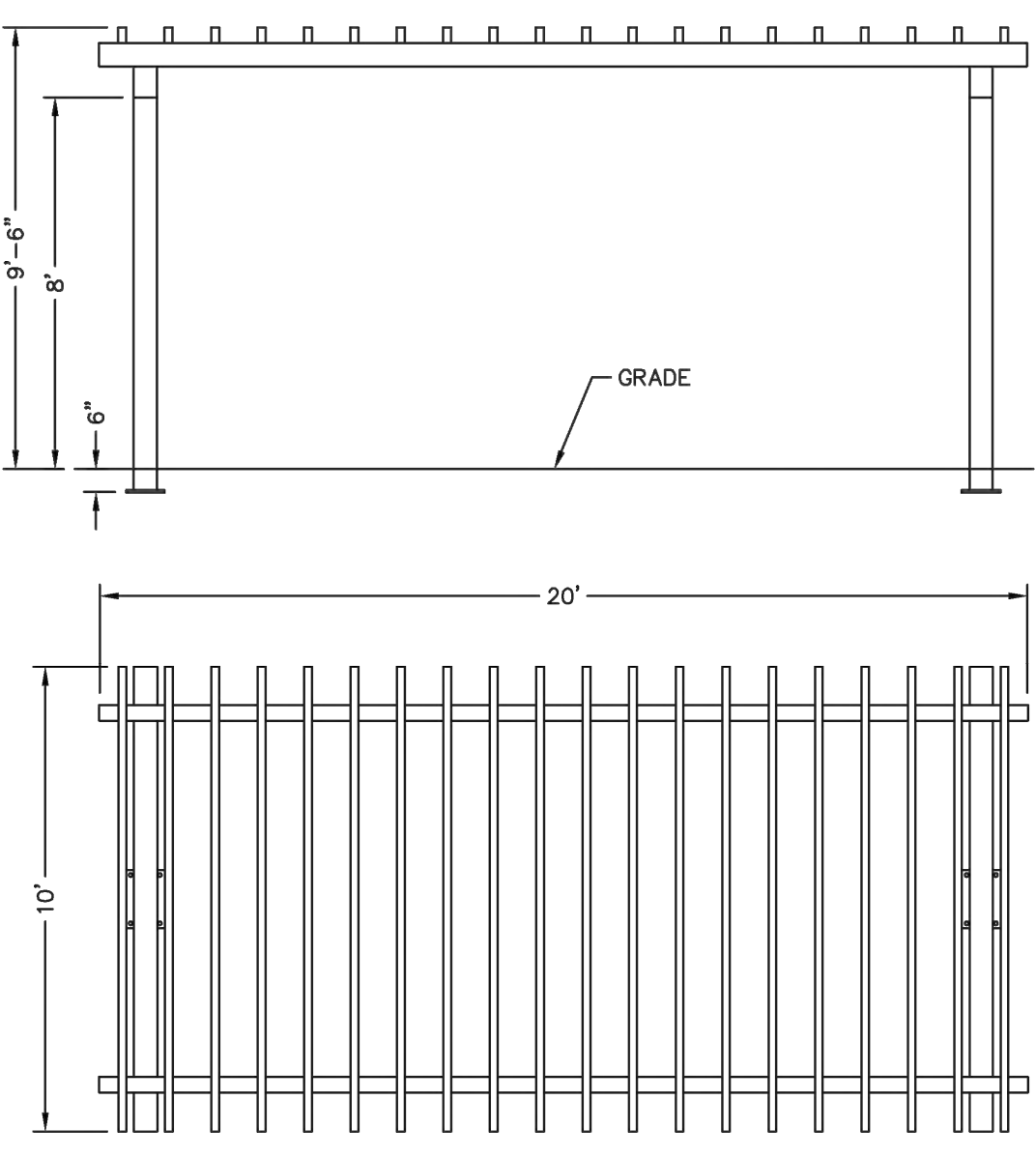


1 MAIN COURTYARD SHADE STRUCTURE
 Scale: NTS



2 OVER THE POOL SHADE STRUCTURE
 Scale: NTS

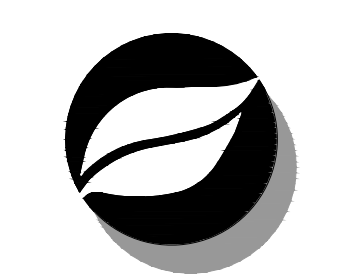
3 POOL SHADE STRUCTURE
 Scale: NTS



4 DOG PARK SHADE STRUCTURE
 Scale: NTS

- NOTES:
 1. ALL SHADE STRUCTURES MANUFACTURED BY ICON SHELTER SYSTEMS
 2. MANUFACTURER'S REPRESENTATIVE: RECREATION PLUS MIRIAM HOOTSTEIN 303.278.1455

PROJECT NUMBER
 65120692
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 KW, RM, MLH
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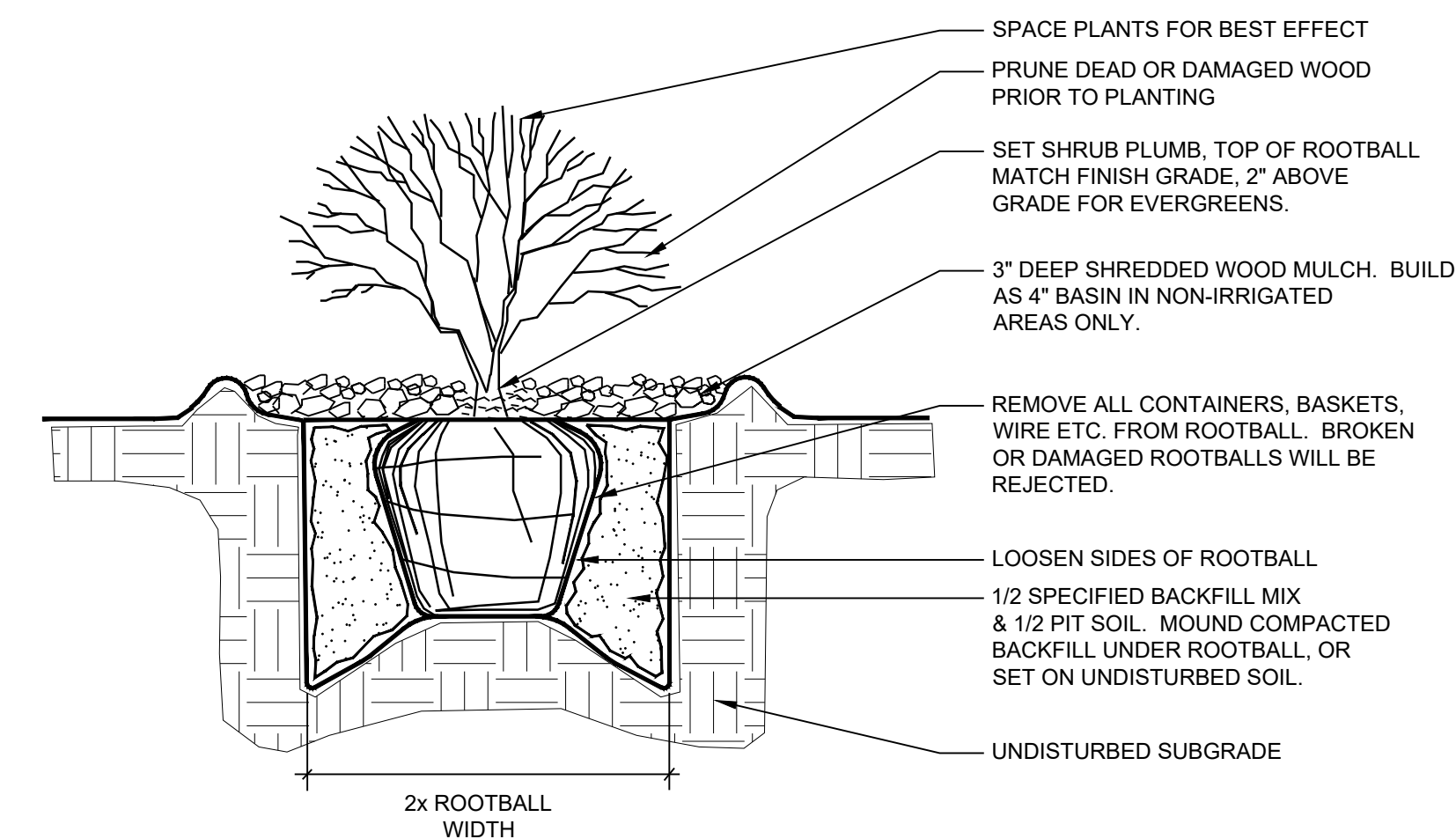
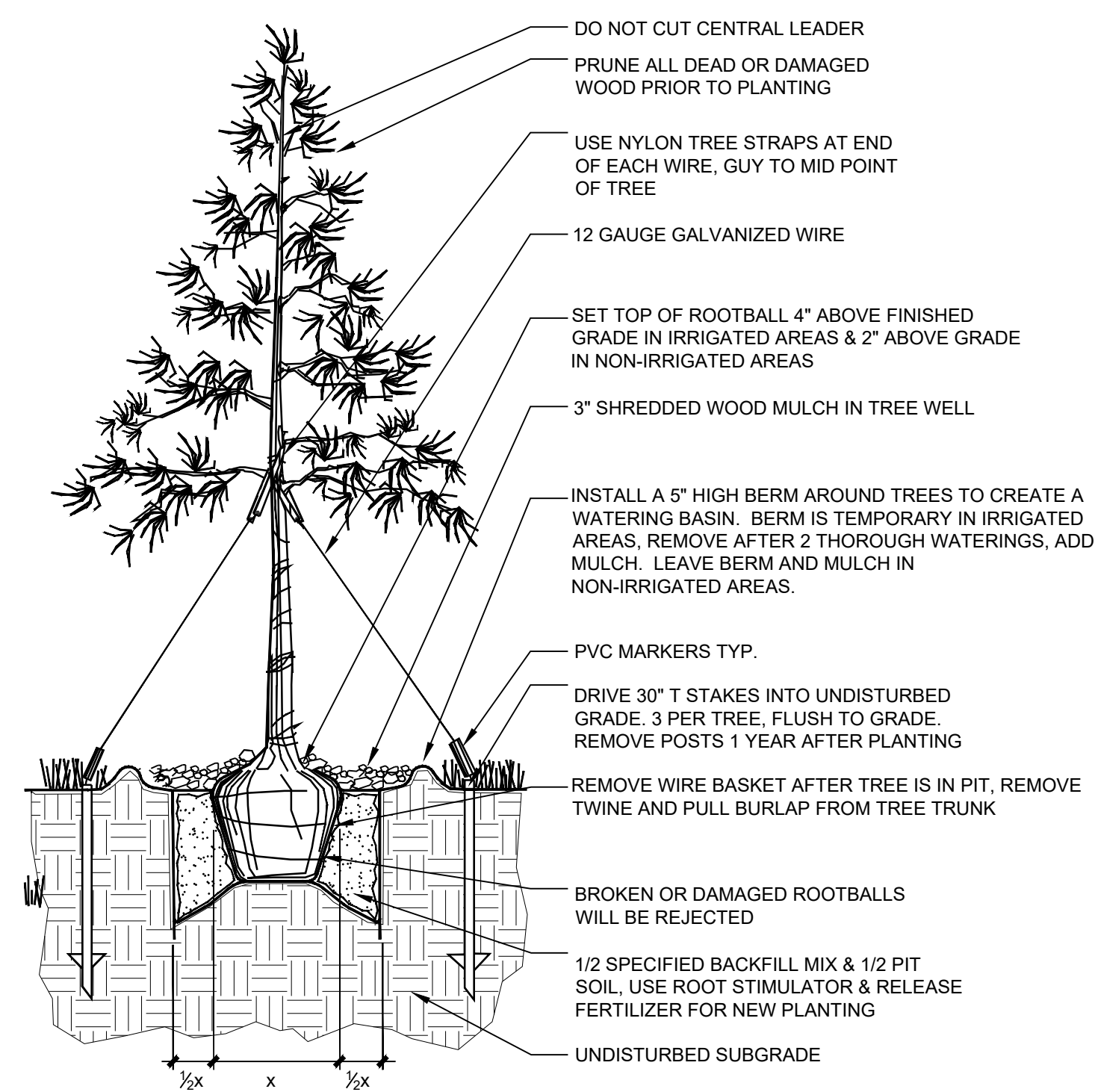
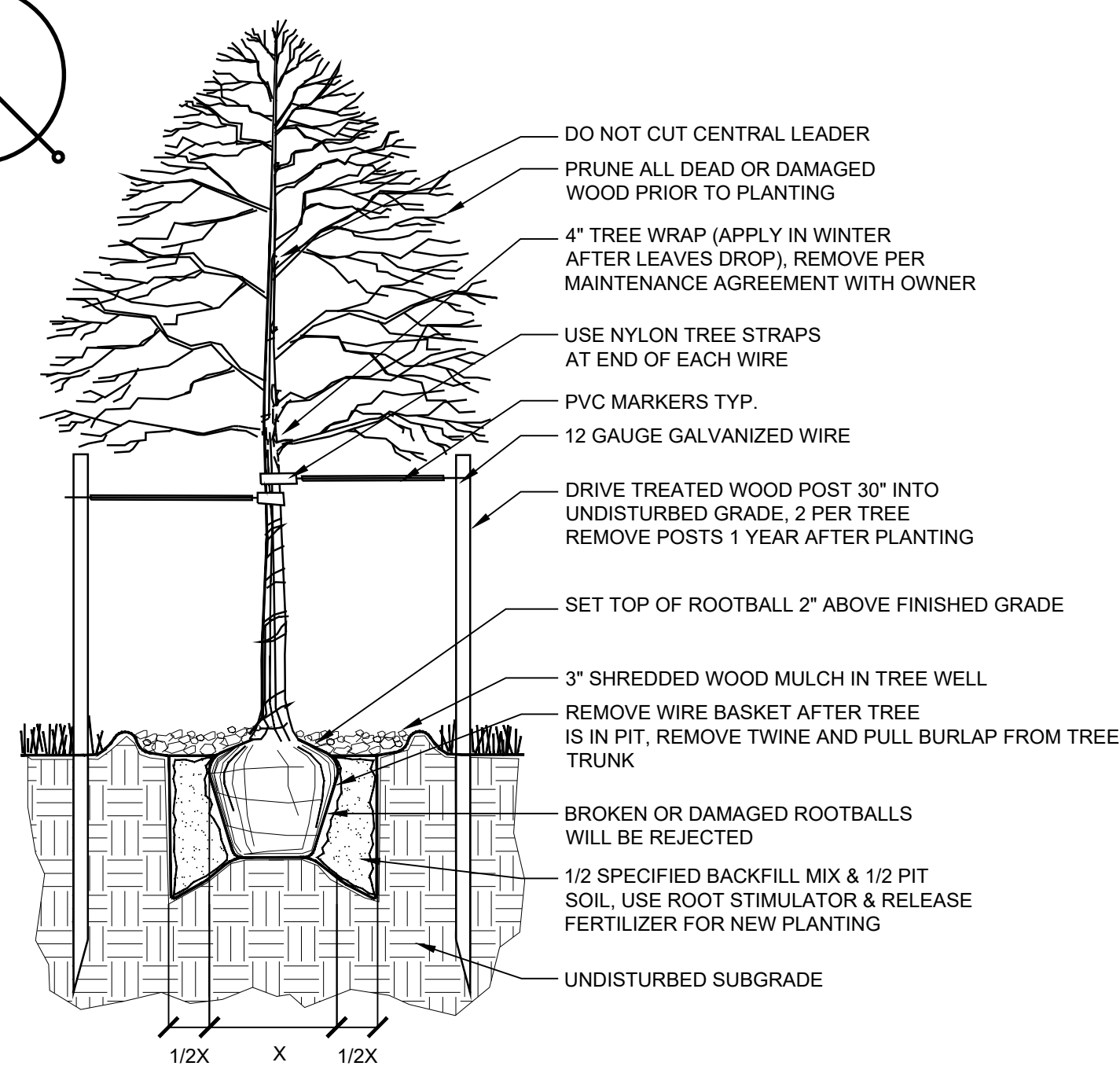
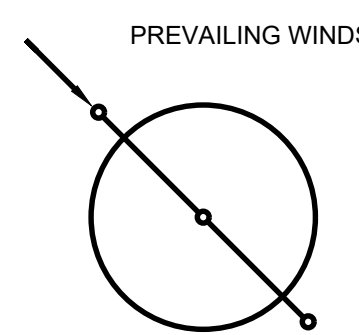


PROJECT
LINCOLN STATION APARTMENTS
 LONE TREE, COLORADO
 80124

SHEET TITLE
SITE FURNISHINGS PLAN

SHEET NUMBER
15 OF 35

Heritage Hills Filing No. 2, 2nd Amendment, Lots 7A-1, 8A-1, & 8A-2
 Heritage Hills Planned Development
 Planning Area #9
 5.23 Acres
 SIP #SP20-78



1 DECIDUOUS TREE
 Scale: NTS

2 EVERGREEN TREE
 Scale: NTS

3 SHRUB
 Scale: NTS

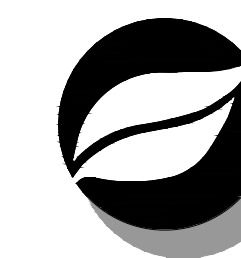
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PROJECT

**LINCOLN
 STATION
 APARTMENTS**

LONE TREE, COLORADO
 80124

SHEET TITLE
**LANDSCAPE
 DETAILS**

SHEET NUMBER

16 OF 35

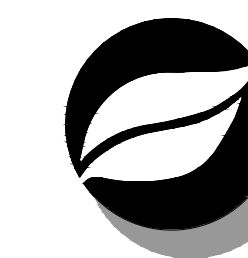
Heritage Hills Filing No. 2, 2nd Amendment, Lots 7A-1, 8A-1, & 8A-2
Heritage Hills Planned Development
Planning Area #9
5.23 Acres
SIP #SP20-78

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SHEET TITLE

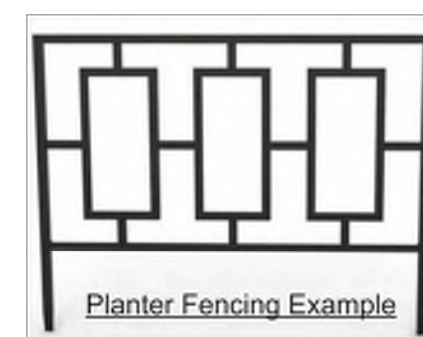
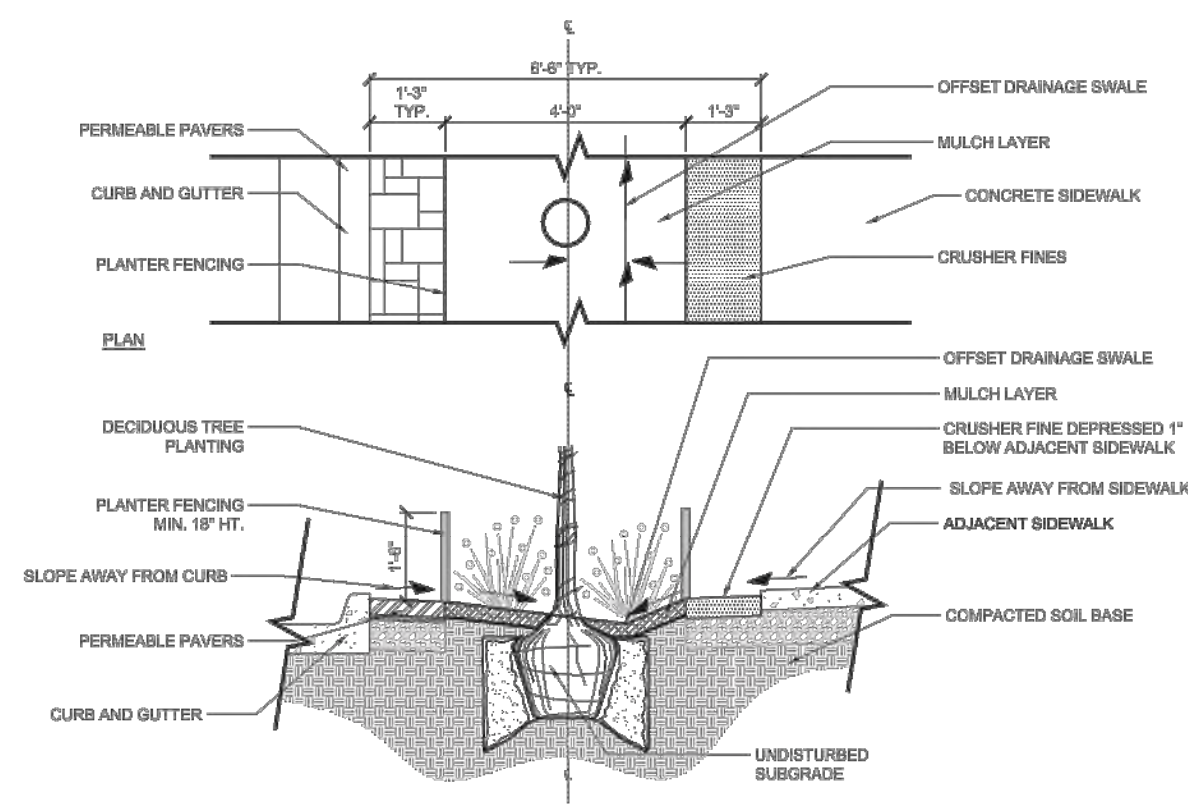
**LANDSCAPE
DETAILS**

SHEET NUMBER

17 OF 35

**CRUSHER FINE PLANTER
WITH PLANTER FENCING**

These crusher fine planters with tree guard are going to be found closer to the egress/ingress to the buildings. The planters contains a 1'-4" crusher fine boarder on the edges closer to the sidewalk to give dogs an area to squat and go the bathroom. On the edge of the crusher fine area, the plants are protected from animal and human foot traffic with planter fencing. The edge closer to the street will feature porous paving material.

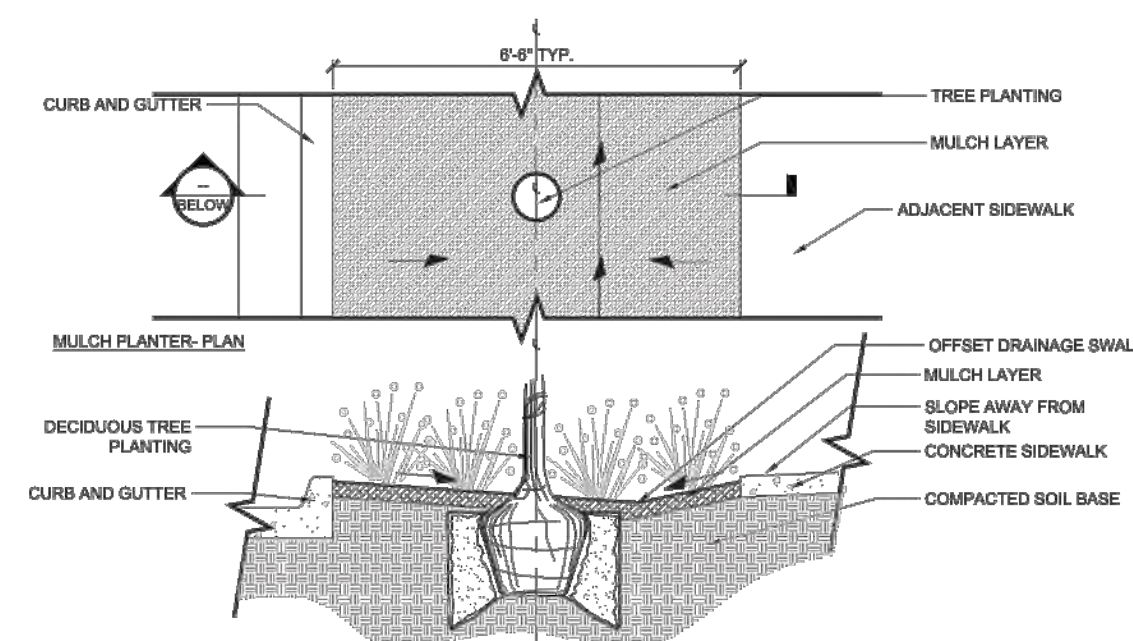


- | | | | |
|---|--|---------------------------------------|--|
| Trees:
Hawthorne
Honeylocust | Deciduous:
Cotoneaster
Russian Sage
Rugosa Rose
Sumac
Lilac
Redtwig Dogwood
Cranberry cotoneaster
Pawnee Buttes Sand Cherry | Evergreens:
Chinese Juniper | Grasses:
Karl Forester
Blue Lyme
Ribbon Grass

Perennials:
Daylily
Carpet Bugle
Purple Leaf Wintercreeper
Salvia
Kinicknick
Kannah Creek Buckwheat
Dwarf Leadplant |
|---|--|---------------------------------------|--|

MULCH PLANTER

The mulch planters contain salt tolerant plantings and are placed furthest from the ingress/egress of the buildings. The salt tolerant plants will be more suitable for the salinity of dog urine.



- | | | | |
|---|---------------------------------------|-----------------------------------|---|
| Trees:
Hawthorne
Honeylocust | Evergreens:
Chinese Juniper | Deciduous:
Russian Sage | Grasses:
Karl Forester
Blue Lyme
Ribbon Grass

Perennials:
Salvia |
|---|---------------------------------------|-----------------------------------|---|

1 DOG FRIENDLY PLANTING EXHIBIT
Scale: NTS

Heritage Hills Filing No. 2, 2nd Amendment, Lots 7A-1, 8A-1, & 8A-2
Heritage Hills Planned Development
Planning Area #9
5.23 Acres
SIP #SP20-78

PLANTING NOTES

- WEED FABRIC SHALL NOT BE INSTALLED IN PLANTING BEDS UNLESS SPECIFICALLY SPECIFIED ON PLANS. PLANTING DESIGN IS INTENDED TO ALLOW PLANTS TO SPREAD THROUGHOUT PLANTING BEDS.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND TAG ALL PLANT MATERIAL PRIOR TO SHIPPING TO THE SITE. IN ALL CASES, THE OWNER'S REPRESENTATIVE MAY REJECT PLANT MATERIAL AT THE SITE IF MATERIAL IS DAMAGED, DISEASED, OR DECLINING IN HEALTH AT THE TIME OF ON-SITE INSPECTIONS OR IF THE PLANT MATERIAL DOES NOT MEET THE MINIMUM SPECIFIED STANDARD IDENTIFIED ON THE PLANS AND IN THE SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL MATERIALS AND PRODUCTS PRIOR TO INSTALLATION.
- REFER TO IRRIGATION PLANS FOR LIMITS AND TYPES OF IRRIGATION DESIGNED FOR THE LANDSCAPE. IN NO CASE SHALL IRRIGATION BE EMITTED WITHIN THE MINIMUM DISTANCE FROM BUILDING OR WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT. ALL IRRIGATION DISTRIBUTION LINES, HEADS AND EMITTERS SHALL BE KEPT OUTSIDE THE MINIMUM DISTANCE AWAY FROM ALL BUILDING AND WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT.
- LANDSCAPE MATERIAL LOCATIONS SHALL HAVE PRECEDENCE OVER IRRIGATION MAINLINE AND LATERAL LOCATIONS. COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE EXISTS IN ALL LANDSCAPE AREAS. SURFACE DRAINAGE ON LANDSCAPE AREAS SHALL NOT FLOW TOWARD STRUCTURES AND FOUNDATION. MAINTAIN SLOPE AWAY FROM FOUNDATIONS PER THE GEOTECHNICAL REPORT RECOMMENDATIONS. ALL LANDSCAPE AREAS BETWEEN WALKS AND CURBS SHALL DRAIN FREELY TO THE CURB UNLESS OTHERWISE IDENTIFIED ON THE GRADING PLAN. IN NO CASE SHALL THE GRADE, TURF THATCH, OR OTHER LANDSCAPE MATERIAL DAM WATER AGAINST WALKS. MINIMUM SLOPES ON LANDSCAPE SHALL BE 2%, MAXIMUM SLOPE SHALL BE 25% UNLESS SPECIFICALLY IDENTIFIED ON THE PLANS OR APPROVED BY THE OWNER'S REPRESENTATIVE.
- TREES SHALL NOT BE LOCATED IN DRAINAGE SWALES, DRAINAGE AREAS, OR UTILITY EASEMENTS. CONTACT OWNER'S REPRESENTATIVE FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS PRIOR TO INSTALLATION.
- ALL EXISTING TREES SHALL BE SAVED AND PROTECTED (TRANSPLANTED IF NECESSARY), UNLESS OTHERWISE NOTED.
- TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED PRIOR TO CONSTRUCTION SHALL BE COLLECTED, SAVED, AND PROTECTED FOR LATER USE ON AREAS REQUIRING REVEGETATION (SEED) AND/OR LANDSCAPING.
- ALL TURF AND BED AREAS SHALL RECEIVE ORGANIC SOIL PREPARATION AT A RATE OF (4) FOUR CUBIC YARDS PER 1000 SQUARE FEET TILLED TO A DEPTH OF 6 INCHES OR AS NOTED IN THE TECHNICAL SPECIFICATIONS. ALL SEEDING AREAS SHALL RECEIVE ORGANIC SOIL PREPARATION AT A RATE RATE RECOMMENDED BY SEED PRODUCER. SEE TECHNICAL SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- PRIOR TO INSTALLING OF PLANT MATERIALS, ALL AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENEED, REPAIRED AND SEEDING IF NECESSARY. SEE SPECIFIED SEED MIX INFORMATION.
- THE CONTRACTOR IS EXPECTED TO KNOW AND UNDERSTAND THE CITY'S SPECIFICATIONS FOR LANDSCAPE AND IRRIGATION.
- ALL PLANTS OF THE SAME SPECIES AND SIZE SHALL HAVE MATCHING HEIGHT AND FORM, UNLESS OTHERWISE NOTED. ALL PLANTS SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK."
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. GRAPHIC SYMBOLS ON LANDSCAPE DRAWINGS TAKES PRECEDENCE OVER WRITTEN PLANT QUANTITIES.
- ALL PLANTS SHALL BE PLANTED USING AN EQUALLY SPACED TRIANGULAR PATTERN, UNLESS OTHERWISE NOTED AND/OR SHOWN ON THE LANDSCAPE DRAWINGS.
- ALL PLANTS INSTALLED SHALL FOLLOW THE PLANT SCHEDULE ON THE APPROVED LANDSCAPE DRAWINGS. SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT. ANY CHANGES TO THE APPROVED LANDSCAPE PLAN, TO INCLUDE SUBSTITUTIONS, MUST BE APPROVED BY THE CITY.
- CONTRACTOR SHALL REPORT ANY DISCREPANCY FOUND IN THE FIELD VERSUS THE LANDSCAPE DRAWINGS IMMEDIATELY TO THE LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE. PRIOR TO ANY CONSTRUCTION OR DEMOLITION ACTIVITY. FAILURE TO MAKE SUCH CONFLICTS KNOWN WILL RESULT IN THE CONTRACTOR'S LIABILITY TO RELOCATE OR REPAIR.
- THE FINAL LOCATION OF ALL PLANTS SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- CONTRACTOR SHALL PROVIDE AT LEAST A ONE YEAR WARRANTY FOR ALL PLANT MATERIAL FROM THE DATE OF FINAL INSPECTION, UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT AND/OR OWNER.
- ALL PLANTS SHALL BE WATERED, CARED FOR, AND PROTECTED FROM DAMAGING WEATHER EFFECTS WHEN NECESSARY. PROVIDE ADDITIONAL WINTER WATERING, AS REQUIRED, TO ENSURE SUCCESSFUL PLANT INSTALLATION AND PREVENT INITIAL DIE OFFS.
- ALL PLANTS SHALL BE INSTALLED IMMEDIATELY UPON DELIVERY TO THE PROJECT SITE. IF THIS IS NOT POSSIBLE, PLANTS SHALL BE HEELED IN AND WATERED TO HELP PREVENT ANY DAMAGE.
- ALL TREES ARE TO BE STAKED WITH WOOD STAKES AND GUYED FOR A PERIOD OF ONE YEAR PER THE DETAILS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING WOOD STAKES AT THE END OF 1 YEAR FROM ACCEPTANCE OF LANDSCAPE INSTALLATION BY THE OWNER'S REPRESENTATIVE. OBTAIN APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO REMOVAL.
- ALL TREES INSTALLED ABOVE RETAINING WALLS UTILIZING GEO-GRID MUST BE HAND DUG TO PROTECT GEO-GRID. IF GEO-GRID MUST BE CUT TO INSTALL TREES, APPROVAL MUST BE GIVEN BY OWNER'S REPRESENTATIVE PRIOR TO DOING WORK.
- TREE WRAP SHALL BE APPLIED IN LATE FALL AFTER INSTALLATION AND REMOVED THE FOLLOWING SPRING. TREES GREATER THAN 4" IN CALIPER MAY NOT REQUIRE TREE WRAP IF BARK IS SUFFICIENTLY DEVELOPED. OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE FOR ANY TREES THAT WILL NOT BE WRAPPED.
- CONTRACTOR SHALL OBTAIN SOIL SAMPLES FROM A MINIMUM OF 5 SUITABLE LOCATIONS AND SUBMIT SAMPLES TO A STATE-LICENSED SOIL TESTING LABORATORY, SUCH AS COLORADO ANALYTICAL OR COLORADO STATE UNIVERSITY SOILS LAB, SPECIALIZING IN THE ANALYSIS OF SOIL AND IN MAKING RECOMMENDATIONS FOR THE INTRODUCTION OF ORGANIC AMENDMENTS IN LANDSCAPE PLANTING AREAS. THE RESULTS OF THE SOIL ANALYSIS AND RECOMMENDATIONS SHALL BE FORWARDED TO THE OWNER'S REPRESENTATIVE ALONG WITH THE CONTRACTOR'S RECOMMENDATIONS FOR SOIL AMENDMENT MATERIALS AND QUANTITIES.

SOIL AMENDMENT

- ALL SOILS FOR GENERAL LANDSCAPING AREAS OR ON WHICH ANY COOL-SEASON LAWN, TURF OR SOD IS TO BE INSTALLED MUST BE PROPERLY AMENDED WITH ORGANIC MATTER SUCH AS COMPOST AND AGED MANURE. A MINIMUM OF FOUR (4) CUBIC YARDS OF COMPOST PER EACH ONE THOUSAND (1,000) SQUARE FEET OF SOIL SHOULD BE INCORPORATED TO A DEPTH OF AT LEAST FOUR (4) TO SIX (6) INCHES BY ROTOTILLING OR OTHER SUITABLE MEASURE. SOIL AMENDMENTS FOR NATIVE PLANTS AND GRASSES ARE NOT REQUIRED.
- STRUCTURED SOILS THAT INCLUDE ROCK AND SAND TO REDUCE COMPACTION AND INCREASE POROSITY FOR ROOT GROWTH MAY BE REQUIRED WHERE TREE GRATES ARE PROPOSED.

MULCH AND GROUNDCOVERS

- ORGANIC MULCH SUCH AS WOOD/BARK SHALL BE INSTALLED AND MAINTAINED TO A DEPTH OF FOUR (4) INCHES. ROCK MULCH IS DISCOURAGED AS MULCH EXCEPT IN AREAS OF HIGH WINDS OR AREAS PRONE TO EROSION AS EVALUATED BY THE COMMUNITY DEVELOPMENT DEPARTMENT. WHERE ROCK MULCH IS USED, PLACE TO A DEPTH OF THREE (3) INCHES. THE USE OF IMPERMEABLE SHEET PLASTIC AS A WEED BARRIER IS NOT PERMITTED.

PLANT SCHEDULE						
KEY	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	NOTES	HEIGHT/ WIDTH
TREES						
BTC	5	Fagus sylvatica 'Tricolor'	Tricolor Beech	2" cal.	B&B	30' HT., 25' SP.
CAL	4	Catalpa speciosa	Western Catalpa	2.5" cal.	B&B	50' HT., 30' SP.
GLL	4	Tilia flavescens	Glenleven Linden	2.5" cal.	B&B	45' HT., 30' SP.
HAC	2	Celtis occidentalis	Common Hackberry	2.5" cal.	B&B	50' HT., 40' SP.
HFF	7	Carpinus betulus 'Frans Fontaine'	Frans Fontaine Hornbeam	2" cal.	B&B	30' HT., 15' SP.
HWT	8	Acer tataricum 'Garann'	Hot Wings Tatarian Maple	2" cal.	B&B	20' HT., 20' SP.
OGA	5	Pinus nigra 'Oregon Green'	Oregon Green Austrian Pine	8" ht.	B&B	20' HT., 15' SP.
RBU	12	Cercis canadensis	Eastern Redbud	2" cal.	B&B	20' HT., 15' SP.
SBH	4	Picea glauca 'Densata'	Black Hills Spruce	8" ht.	B&B	20' HT., 10' SP.
SHA	2	Gleditsia triacanthos var. inermis 'Shademaster'	Shademaster Honeylocust	2.5" cal.	B&B	50' HT., 35' SP.
SHAD	1	Gleditsia triacanthos var. inermis 'Shademaster'	Shademaster Honeylocust	3" cal.	B&B	50' HT., 35' SP.
TCH	2	Crataegus crusgalli var inermis	Thornless Cockspur Hawthorn	2" cal.	B&B	20' HT., 15' SP.
TOH	6	Crataegus x mordenensis	Toba Hawthorn	2" cal.	B&B	15' HT., 12' SP.
SHRUBS						
AFD	87	Cornus sericea 'Farrow'	Arctic Fire Dogwood	5 gal.	CONTAINER	
ANP	4	Thuja occidentalis 'Art Boe'	North Pole Arborvitae	5 gal.	CONTAINER	
CAC	23	Cotoneaster acutifolius	Peking Cotoneaster	5 gal.	CONTAINER	
ECO	157	Euonymus fortunei 'Colorata'	Purple Leaf Wintercreeper	5 gal.	CONTAINER	
EME	35	Euonymus fortunei	Emerald Gaiety Euonymus	5 gal.	CONTAINER	
FGT	9	Forsythia 'Courtaso'	Forsythia Gold Tide	5 gal.	CONTAINER*	
FQP	19	Chaenomeles japonica 'Cameo'	Cameo Quince	5 gal.	CONTAINER	
GLS	22	Rhus aromatica 'Grow-Low'	Gro-Low Sumac	5 gal.	CONTAINER	
HBG	4	Ilex x meserveae	Boy/Girl Holly	5 gal.	CONTAINER	
LOD	63	Ligustrum vulgare 'Lodense'	Lodense Privet	5 gal.	CONTAINER	
MEJ	9	Juniperus scopulorum 'Medora'	Medora Juniper	5 gal.	CONTAINER	
MUG	11	Pinus mugo	Mugo Pine	5 gal.	CONTAINER	
RAB	45	Ericameria nauseosa	Rabbitbrush	5 gal.	CONTAINER	
RSA	74	Salvia yangii	Russian Sage	5 gal.	CONTAINER	
VLE	17	Viburnum lentago	Nannyberry Viburnum	5 gal.	CONTAINER	
VMM	2	Viburnum burejaeticum 'P017S'	Mini Man Viburnum	5 gal.	CONTAINER	
YEW	29	Taxus x media 'Densiformis'	Dense Spreading Yew	5 gal.	CONTAINER	
PERENNIALS						
BUJ	21	Ajuga reptans	Burgundy Carpet Bugle	1 gal.	CONTAINER*	
DDY	174	Hemerocallis 'Stella D'Oro'	Stella D'oro Dwarf Daylily	1 gal.	CONTAINER*	
GRASSES						
BLO	196	Boutelous gracilis 'Blonde Ambition'	Blonde Ambition Blue Grama	1 gal.	CONTAINER*	
FRG	62	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Grass	1 gal.	CONTAINER*	
HFB	15	Pennisetum alopecuroides 'Little Bunny'	Little Bunny Fountain Grass	1 gal.	CONTAINER	
LAR	63	Elymus arenarius 'Blue Dune'	Blue Dune Lyme Grass	1 gal.	CONTAINER*	
VINES						
HAL	9	Lonicera japonica 'Halliana'	Hall's Honeysuckle	1 gal.	CONTAINER	

NOTES:

* DENOTES DOG FRIENDLY PLANTS

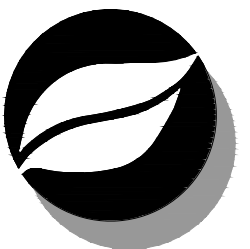
PROJECT NUMBER
65120692

DRAWN BY
KW, RM, MLH

DATE
07/23/2021

REVISIONS

REVISION 1 FEB 10, 2021
REVISION 2 MAR 16, 2021
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COMMUNITIES



PROJECT

**LINCOLN
STATION
APARTMENTS**

LONE TREE, COLORADO
80124

SHEET TITLE
**PLANT
SCHEDULE AND
NOTES**

SHEET NUMBER

18 OF 35

Heritage Hills Filing No. 2, 2nd Amendment, Lots 7A-1, 8A-1, & 8A-2
 Heritage Hills Planned Development
 Planning Area #9
 5.23 Acres
 SIP #SP20-78

PROJECT NUMBER
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DRAWN BY
AC

DATE
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REVISION 3	JUNE 10, 2021
REVISION 4	JULY 6, 2021
REVISION 5	JULY 23, 2021



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PROJECT
LINCOLN STATION APARTMENTS

LONE TREE, COLORADO 80124

SHEET TITLE
IRRIGATION NOTES, SCHEDULE & DETAILS

SHEET NUMBER

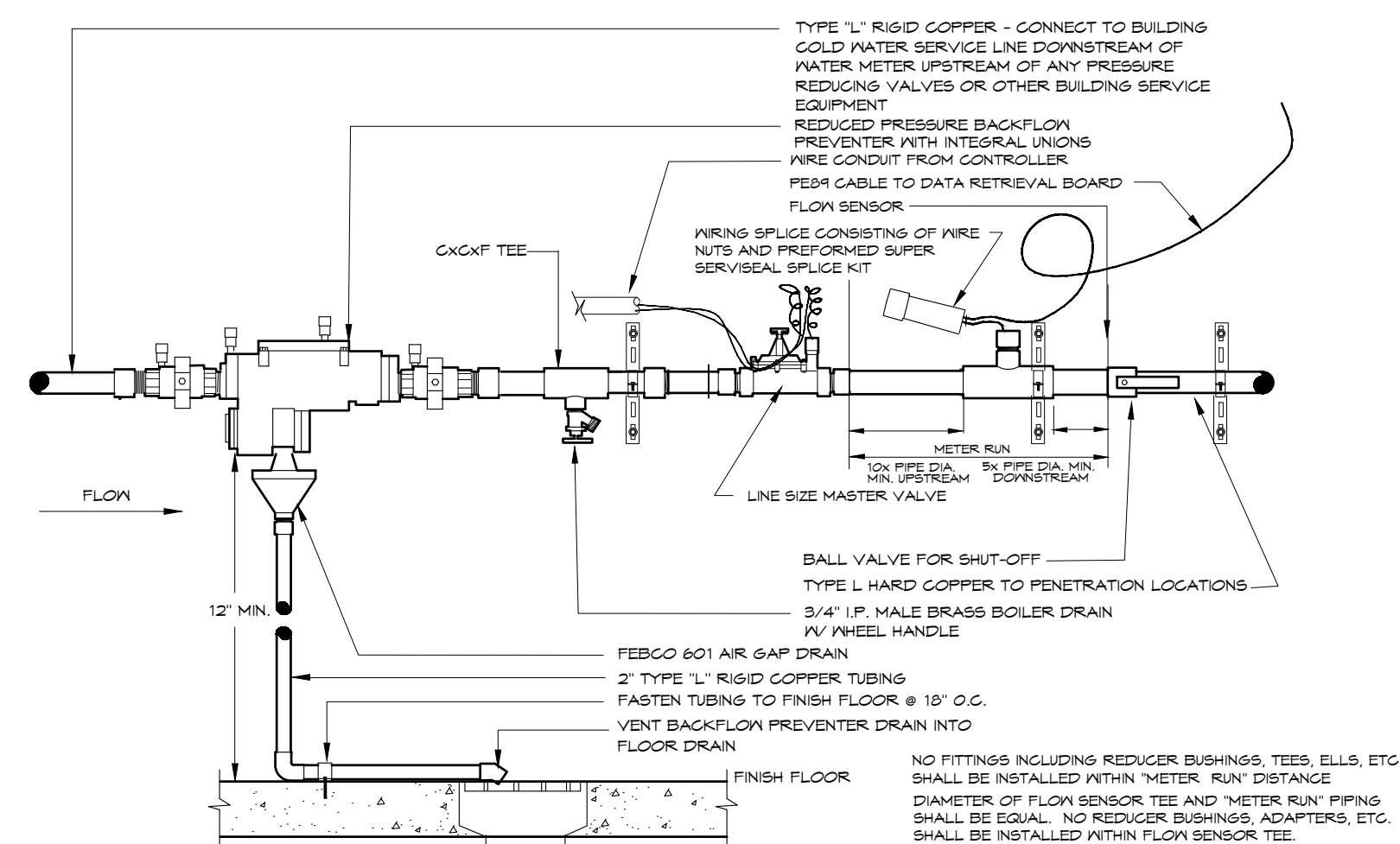
19 OF 35

IRRIGATION SCHEDULE		
SYMBOL	DESCRIPTION	DETAIL NO.
	ELECTRIC CONTROLLER	2
	WEATHER SENSOR DEVICE (RAIN/FREEZE)	3
	PVC MAINLINE - 2-1/2" OR SMALLER	4
	PVC SLEEVING	5
	RP BACKFLOW PREVENTER	1
	FLOW SENSOR	1
	MASTER VALVE	1

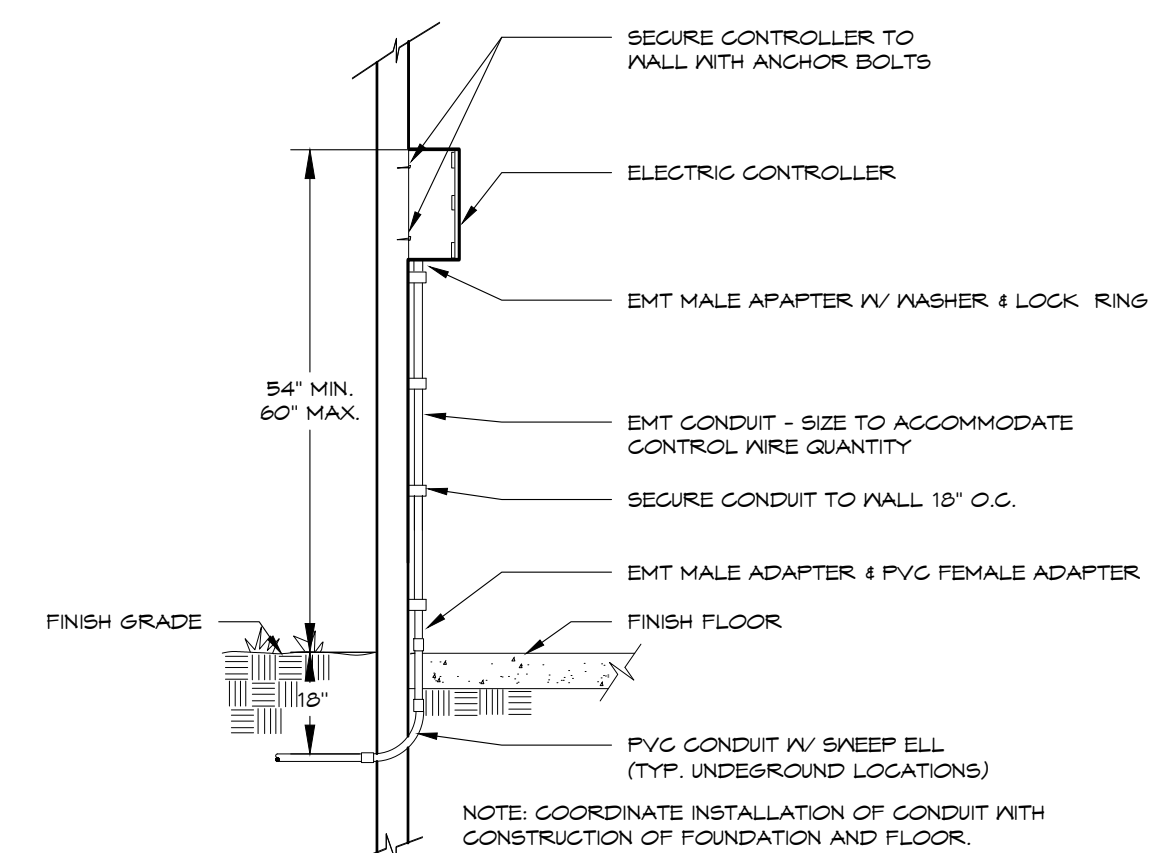
IRRIGATION DEVELOPMENT DESIGN NOTES

- THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE PEAK SEASON IRRIGATION WITHIN AN THREE NIGHT, TEN HOUR PER NIGHT WATERING PERIOD. IRRIGATION SHALL OCCUR BETWEEN THE HOURS OF 8:00 PM AND 6:00 AM.
- THE MAINLINE SYSTEM WILL BE DESIGNED SUCH THAT VELOCITIES WITHIN THE MAINLINE PIPING DO NOT EXCEED FIVE FEET PER SECOND.
- THE MAXIMUM FLOW RATE REQUIRED FOR THE SITE IS 10 GPM. THE STATIC PRESSURE REQUIRED AT THE SITE IS STATED AT EACH POINT OF CONNECTION.
- THE IRRIGATION INFORMATION SHOWN ON THESE PLANS IS CONCEPTUAL.
- IRRIGATION DESIGN APPROACH
 - TURF AREAS
 - SMALL AREAS (25 FEET WIDE OR LESS) SHALL BE IRRIGATED WITH FIXED NOZZLE POP-UP SPRAY HEADS WITH MATCHED PRECIPITATION NOZZLES. NOZZLES SHALL BE SIZES TO PROVIDE HEAD TO HEAD COVERAGE.
 - LARGE TURF AREAS (WIDER THAN 25 FEET) SHALL BE IRRIGATED WITH GEAR DRIVEN ROTOR HEADS WITH A MINIMUM PRECIPITATION RATE OF .45" PER HOUR FOR A FULL CIRCLE HEAD.
 - SHRUB BED AREAS - BED AREAS WITH PLANT MATERIAL ONE GALLON IN SIZE OR LARGER SHALL BE DRIP IRRIGATED.
- SUBSURFACE IRRIGATION - WHERE REQUIRED BY LOCAL CODES, SUBSURFACE IRRIGATION SHALL BE INSTALLED IN SHRUB BEDS AND/OR NATIVE AREAS LESS THAN 6 FT. WIDE.
- IRRIGATION SYSTEM SHALL BE FULLY AUTOMATIC AND INCLUDE A WEATHER SENSING DEVICE THAT INCLUDES RAIN AND FREEZE SENSING.
- ANY IRRIGATION EQUIPMENT MOUNTED TO THE BUILDING SHALL BE PAINTED TO MATCH THE BUILDING.

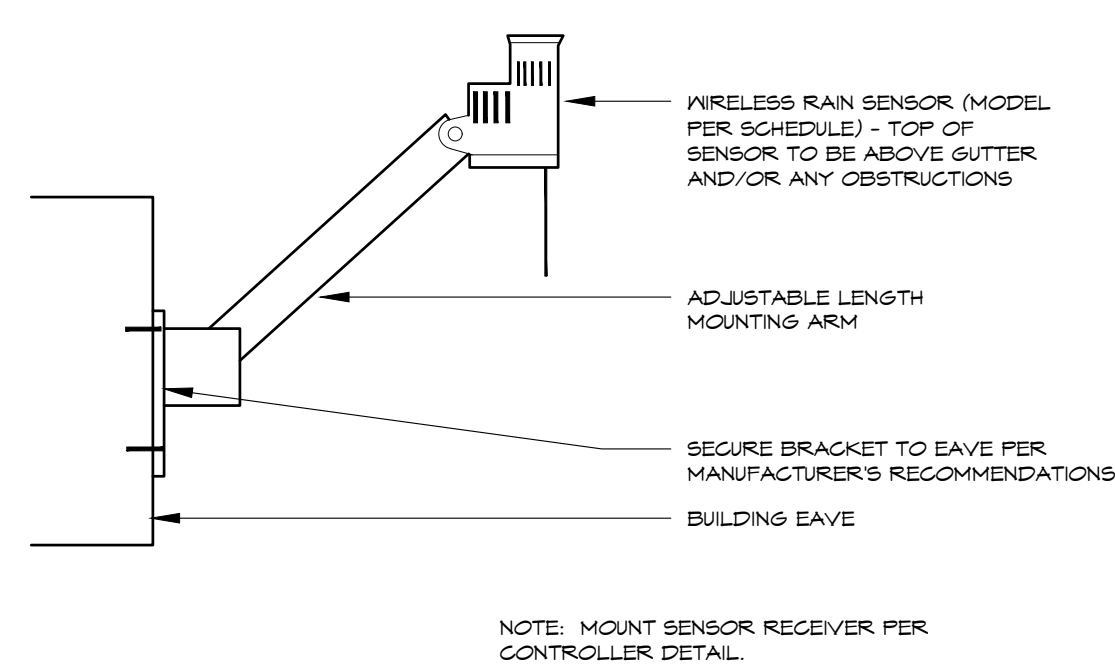
DIRECTORY	
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IRRIGATION NOTES	19
IRRIGATION PLAN OVERALL	20
IRRIGATION PLANS	21 - 24
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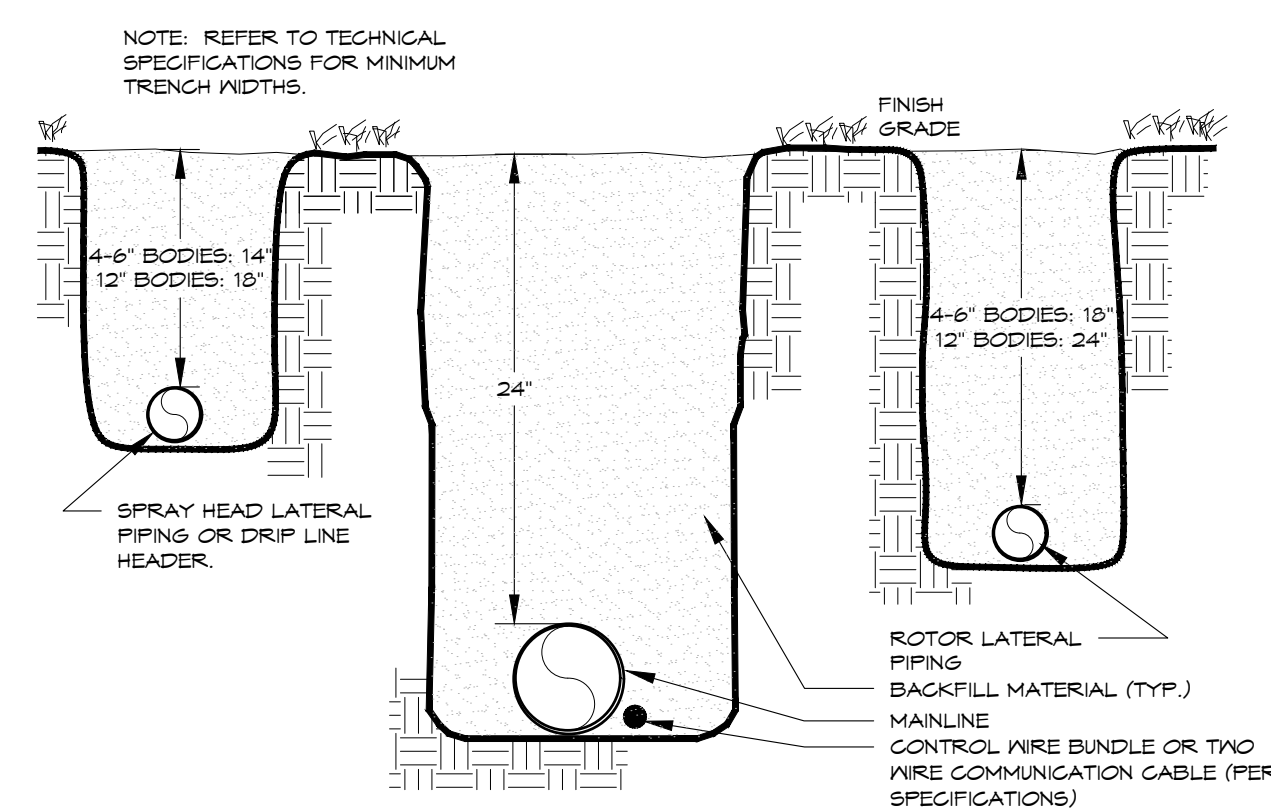
POINT OF CONNECTION



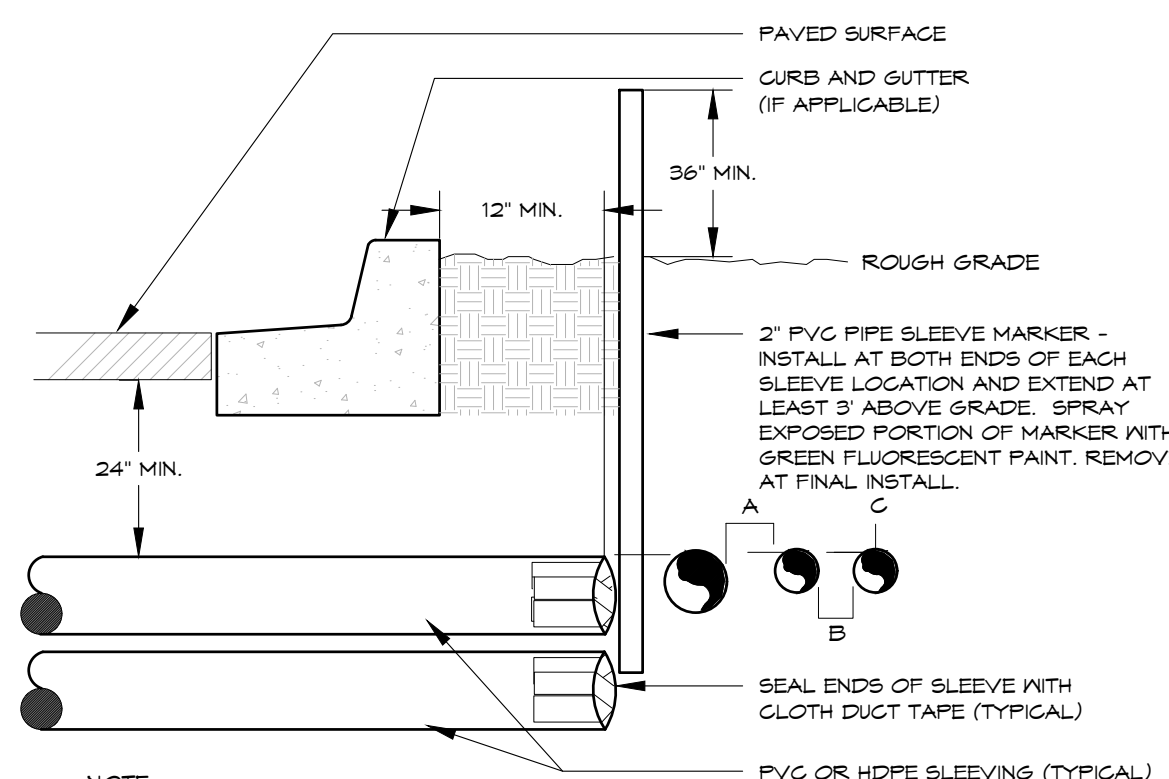
ELECTRIC CONTROLLER INTERIOR WALL MOUNT - FLOOR PENETRATING



WEATHER SENSOR EAVE MOUNTED - Wireless



TRENCH 24" MAINLINE



- NOTE:
- ALL SLEEVE MATERIAL PER IRRIGATION SCHEDULE, SIZE AS NOTED ON PLAN.
 - INSTALL SLEEVES IN SIDE-BY-SIDE CONFIGURATION WHERE MULTIPLE SLEEVES ARE TO BE INSTALLED. SPACE SLEEVES 4" TO 6" APART. DO NOT STACK SLEEVES VERTICALLY.
 - CONTRACTOR TO COORDINATE WITH FLATWORK INSTALLER TO BRAND A "V" IN SIDEWALK OR CURB AT BOTH ENDS OF SLEEVE CROSSING.
 - SLEEVING THROUGH OR UNDER RETAINING WALLS, PLANTER WALLS, POND LINING, OR WATER QUALITY AREAS SHALL BE COORDINATED WITH CIVIL WORK AT APPROXIMATE LOCATIONS SHOWN.
 - AN INDIVIDUAL SLEEVE SHALL CONTAIN NO MORE THAN ONE PIPE OR WIRE BUNDLE.

IRRIGATION SLEEVING

TYPICAL



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 Irrigation Consulting & Water Management
 860 Tabor Street, Suite 200 Lakewood, Colorado 80401
 303.980.5327 www.hydrosystems.kdi.com

Heritage Hills Filing No. 2, 2nd Amendment, Lots 7A-1, 8A-1, & 8A-2
 Heritage Hills Planned Development
 Planning Area #9
 5.23 Acres
 SIP #SP20-78

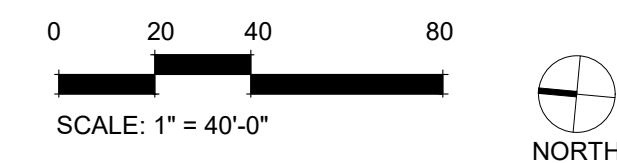
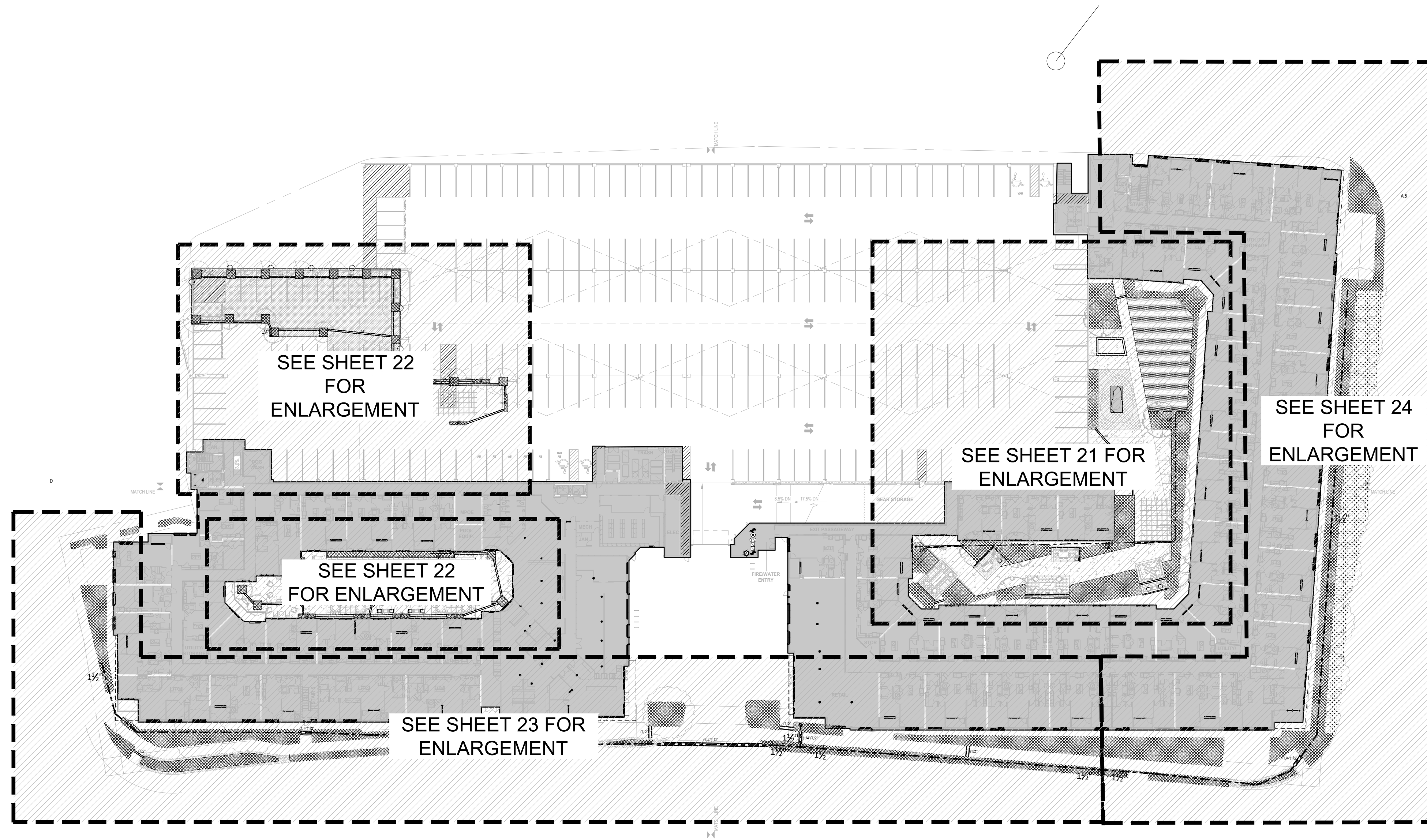
PROJECT NUMBER
65120692

DRAWN BY
AC

DATE
7/23/2021

REVISIONS

REVISION 1	FEB 10, 2021
REVISION 2	MAR 16, 2021
REVISION 3	JUNE 10, 2021
REVISION 4	JULY 6, 2021
REVISION 5	JULY 23, 2021



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PROJECT
LINCOLN STATION APARTMENTS

LONE TREE, COLORADO
 80124

SHEET TITLE
IRRIGATION PLAN OVERALL

SHEET NUMBER

20 OF 35



Heritage Hills Filing No. 2, 2nd Amendment, Lots 7A-1, 8A-1, & 8A-2
 Heritage Hills Planned Development
 Planning Area #9
 5.23 Acres
 SIP #SP20-78

IRRIGATION DESIGN STRATEGY				
HATCH	DESCRIPTION	AREAS < 6'	AREAS 6'-25'	AREAS > 25'
	TURF GRASS	INLINE SUBSURFACE DRIP	6" POPUP SPRAY	6" ROTOR
	NATIVE GRASS	INLINE SUBSURFACE DRIP	12" POPUP SPRAY	12" ROTOR
	TREES & SHRUBS	POINT SOURCE DRIP	POINT SOURCE DRIP	POINT SOURCE DRIP

*SELECTION OF POINT SOURCE DRIP OR INLINE SUBSURFACE DRIP MAY BE DETERMINED BY PLANT DENSITY, GROWTH HABIT OR LOCATION RATHER THAN AREA DIMENSIONS.

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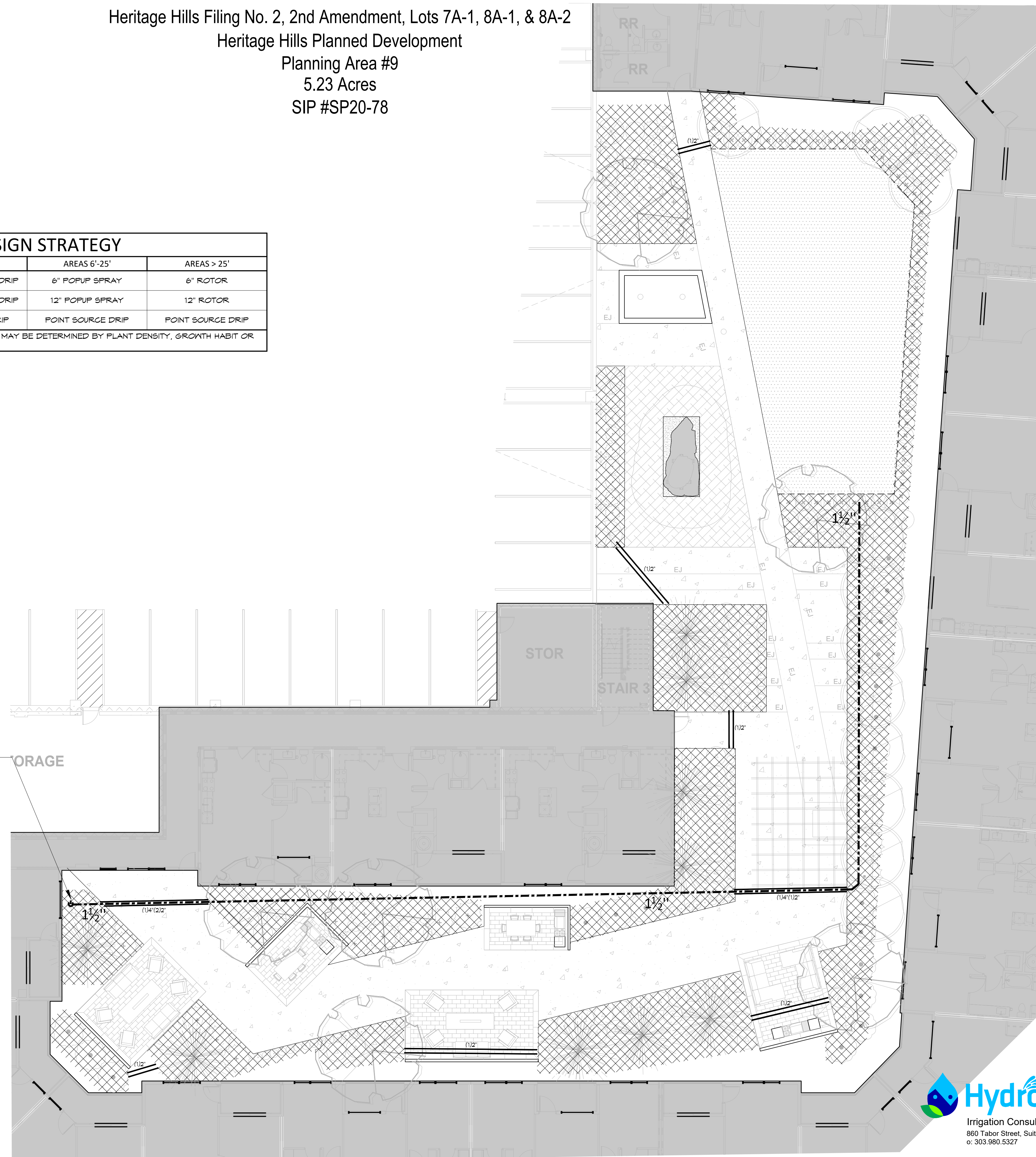
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SHEET TITLE
**IRRIGATION
 ENLARGEMENTS**

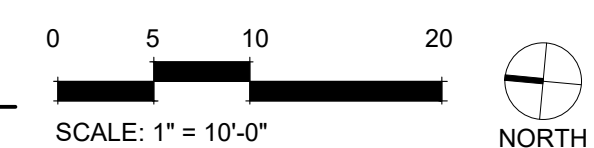
SHEET NUMBER
21 OF 35

POINT OF CONNECTION #1 - 1"
 PEAK FLOW REQUIREMENT: 10 PM. REQUIRED STATIC PRESSURE: 75 PSI MINIMUM
 CONTRACTOR SHALL TIE ONTO 1" COPPER STUB-OUT AT THIS APPROXIMATE LOCATION BY OTHERS
 (REFER TO MECHANICAL - TO BE COORDINATED). TRANSITION TO PVC PIPING A MINIMUM OF 24"
 PAST ANY PLANNED HARD OR PAVED SURFACE. INSTALL ONE GATE VALVE, ONE MANUAL DRAIN
 VALVE, ONE QUICK COUPLER VALVE, AND EXTEND PVC MAINLINE AS SHOWN. (1/2" CONDUIT FOR
 IRRIGATION CONTROL WIRES SHALL BE RUN TO THIS LOCATION ALSO.



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1 MAIN COURTYARD
 Scale: 1" = 10'-0"



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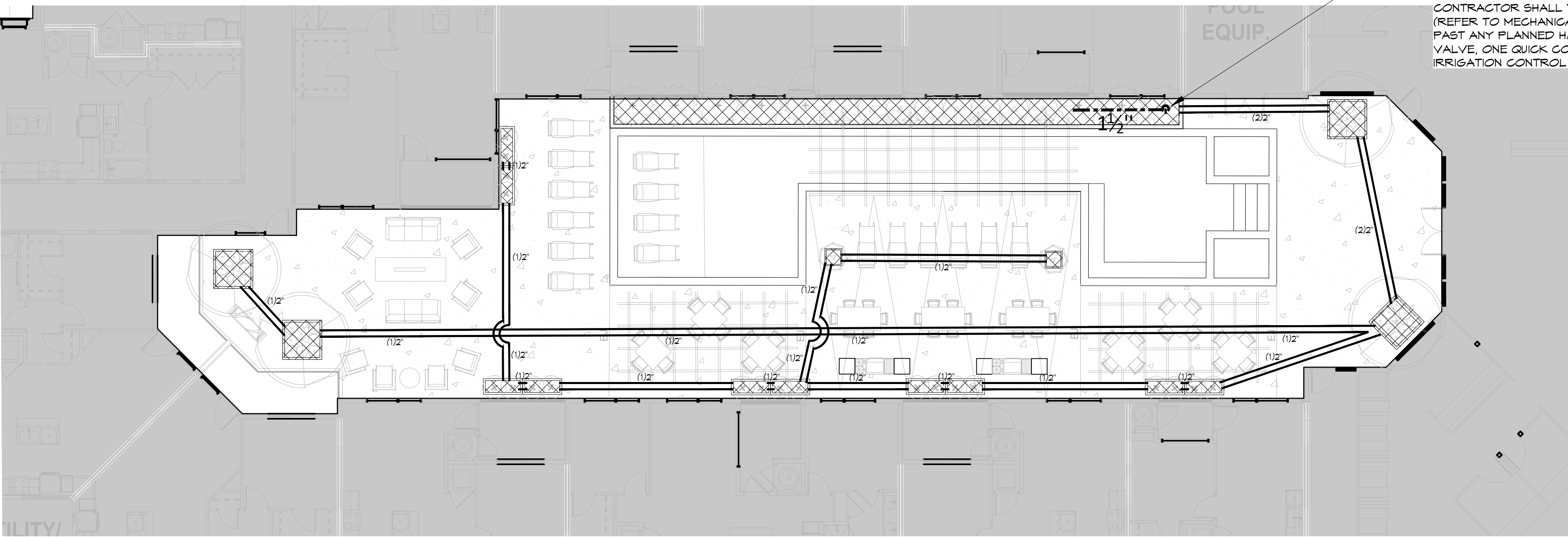
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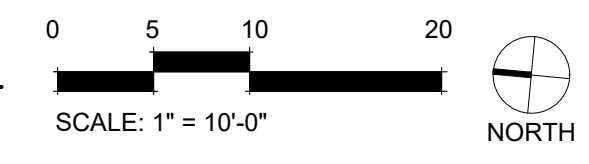
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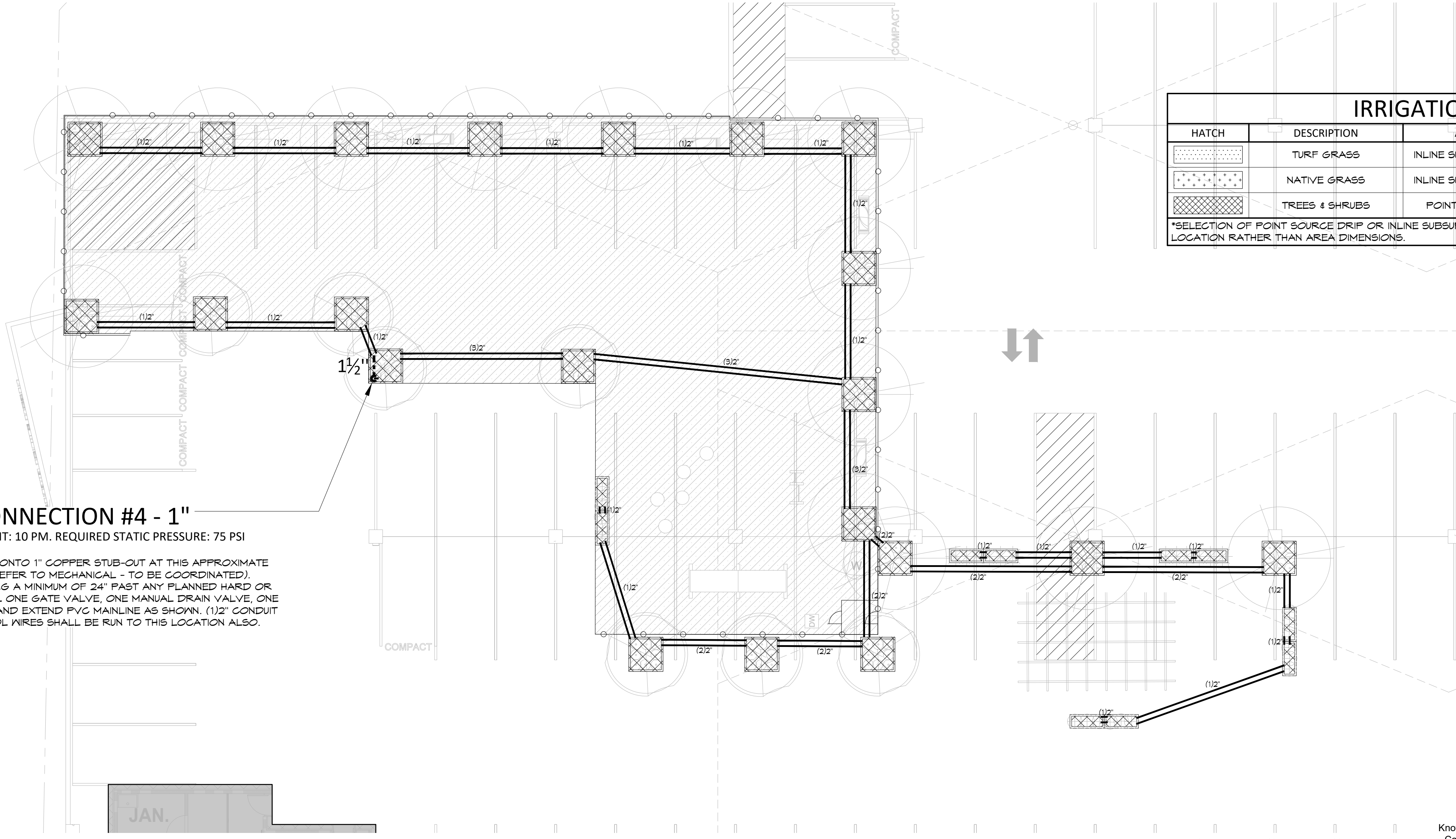
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REVISION 5	JULY 23, 2021



1 POOL COURTYARD
 Scale: 1" = 10'-0"



POINT OF CONNECTION #3 - 1"
 PEAK FLOW REQUIREMENT: 10 PM. REQUIRED STATIC PRESSURE: 75 PSI MINIMUM
 CONTRACTOR SHALL TIE ONTO 1" COPPER STUB-OUT AT THIS APPROXIMATE LOCATION BY OTHERS (REFER TO MECHANICAL - TO BE COORDINATED). TRANSITION TO PVC PIPING A MINIMUM OF 24" PAST ANY PLANNED HARD OR PAVED SURFACE. INSTALL ONE GATE VALVE, ONE MANUAL DRAIN VALVE, ONE QUICK COUPLER VALVE, AND EXTEND PVC MAINLINE AS SHOWN. (1/2" CONDUIT FOR IRRIGATION CONTROL WIRES SHALL BE RUN TO THIS LOCATION ALSO.



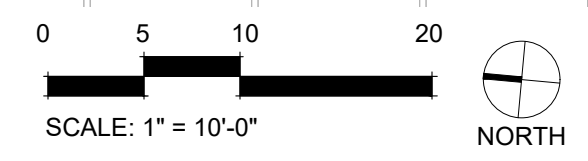
POINT OF CONNECTION #4 - 1"
 PEAK FLOW REQUIREMENT: 10 PM. REQUIRED STATIC PRESSURE: 75 PSI MINIMUM
 CONTRACTOR SHALL TIE ONTO 1" COPPER STUB-OUT AT THIS APPROXIMATE LOCATION BY OTHERS (REFER TO MECHANICAL - TO BE COORDINATED). TRANSITION TO PVC PIPING A MINIMUM OF 24" PAST ANY PLANNED HARD OR PAVED SURFACE. INSTALL ONE GATE VALVE, ONE MANUAL DRAIN VALVE, ONE QUICK COUPLER VALVE, AND EXTEND PVC MAINLINE AS SHOWN. (1/2" CONDUIT FOR IRRIGATION CONTROL WIRES SHALL BE RUN TO THIS LOCATION ALSO.

IRRIGATION DESIGN STRATEGY				
HATCH	DESCRIPTION	AREAS < 6'	AREAS 6'-25'	AREAS > 25'
	TURF GRASS	INLINE SUBSURFACE DRIP	6" POPUP SPRAY	6" ROTOR
	NATIVE GRASS	INLINE SUBSURFACE DRIP	12" POPUP SPRAY	12" ROTOR
	TREES & SHRUBS	POINT SOURCE DRIP	POINT SOURCE DRIP	POINT SOURCE DRIP

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DIRECTORY	
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2 DOG PARK
 Scale: 1" = 10'-0"



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PROJECT
LINCOLN STATION APARTMENTS

LONE TREE, COLORADO
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SHEET TITLE
IRRIGATION ENLARGEMENTS

SHEET NUMBER
22 OF 35

Heritage Hills Filing No. 2, 2nd Amendment, Lots 7A-1, 8A-1, & 8A-2
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LINCOLN STATION APARTMENTS

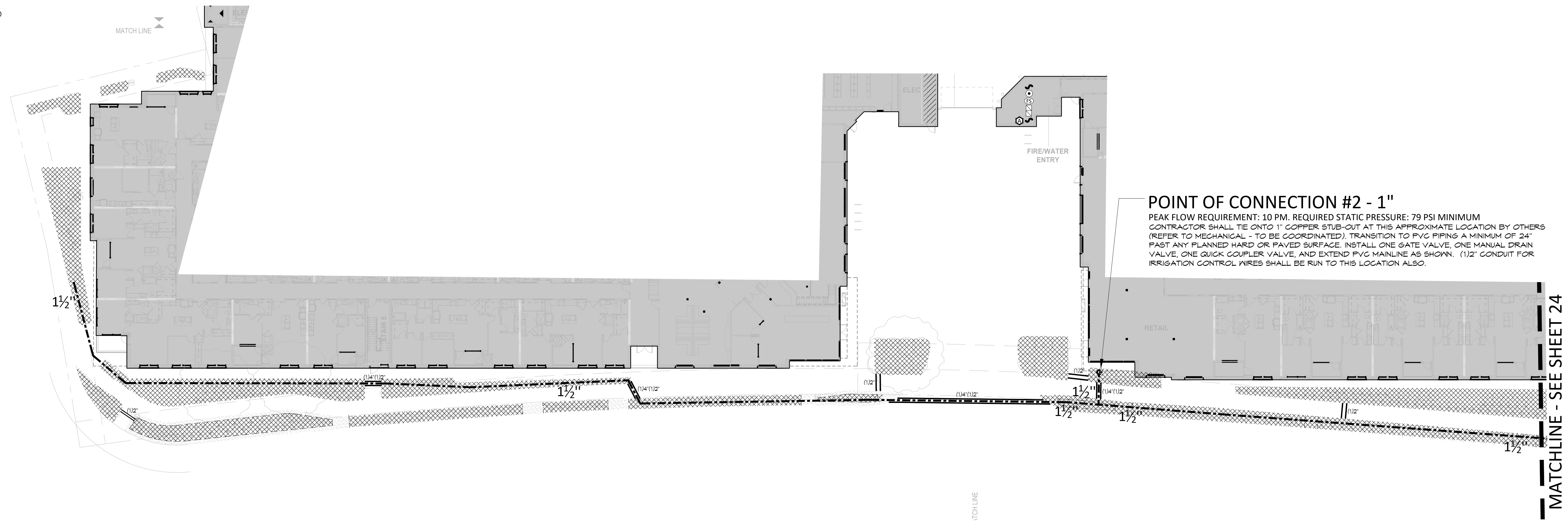
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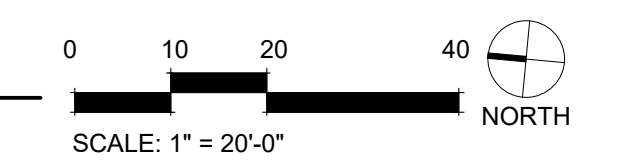
SHEET NUMBER
23 OF 35

IRRIGATION DESIGN STRATEGY				
HATCH	DESCRIPTION	AREAS < 6'	AREAS 6'-25'	AREAS > 25'
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1 ROW
Scale: 1" = 20'-0"



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PROJECT
LINCOLN STATION APARTMENTS

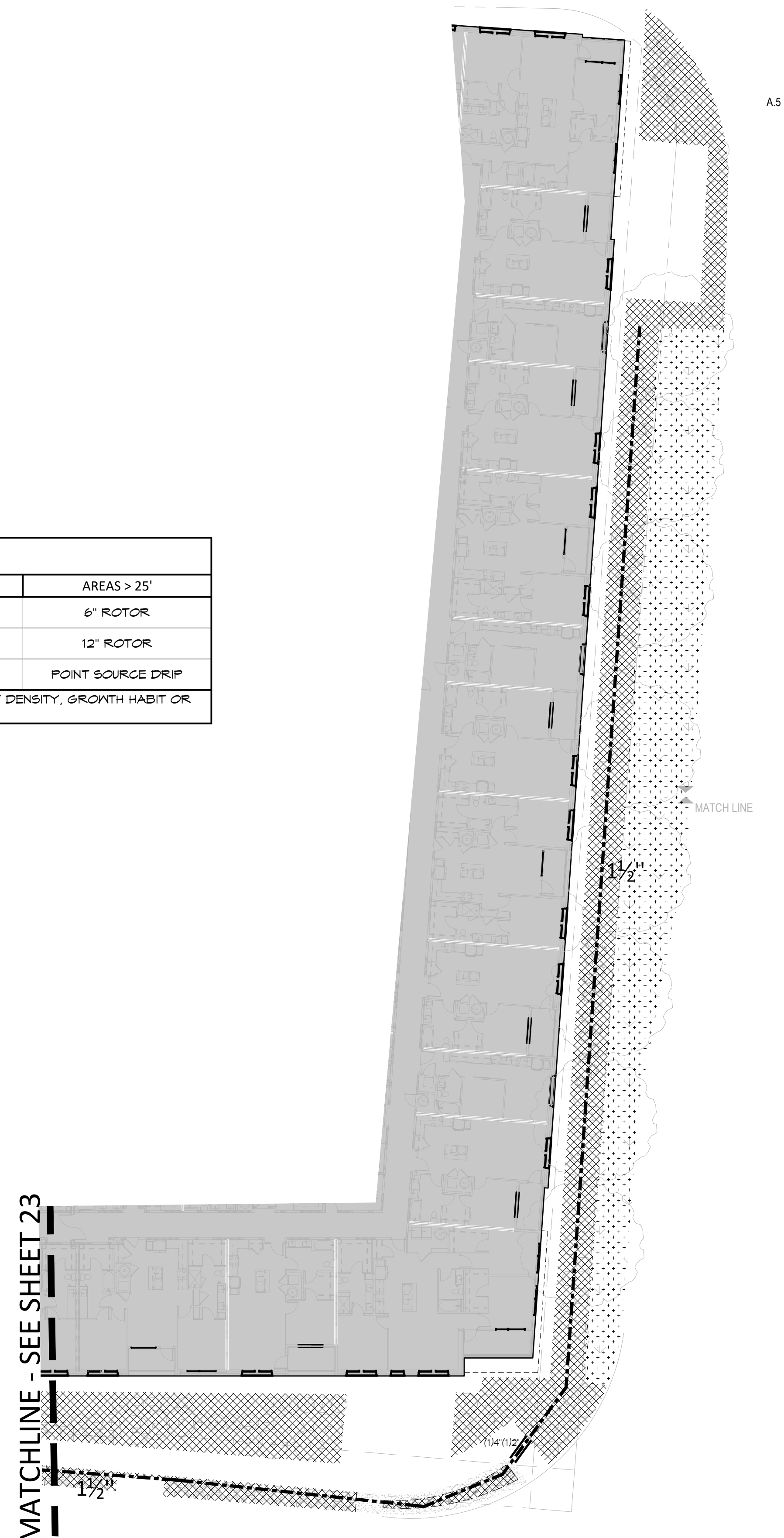
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SHEET TITLE
IRRIGATION ENLARGEMENTS

SHEET NUMBER
24 OF 35

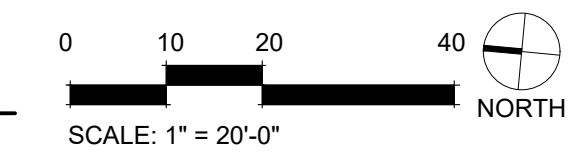
IRRIGATION DESIGN STRATEGY				
HATCH	DESCRIPTION	AREAS < 6'	AREAS 6'-25'	AREAS > 25'
	TURF GRASS	INLINE SUBSURFACE DRIP	6" POPUP SPRAY	6" ROTOR
	NATIVE GRASS	INLINE SUBSURFACE DRIP	12" POPUP SPRAY	12" ROTOR
	TREES & SHRUBS	POINT SOURCE DRIP	POINT SOURCE DRIP	POINT SOURCE DRIP

*SELECTION OF POINT SOURCE DRIP OR INLINE SUBSURFACE DRIP MAY BE DETERMINED BY PLANT DENSITY, GROWTH HABIT OR LOCATION RATHER THAN AREA DIMENSIONS.



DIRECTORY	
IRRIGATION SCHEDULE	19
IRRIGATION NOTES	19
IRRIGATION PLAN OVERALL	20
IRRIGATION PLANS	21 - 24
IRRIGATION DETAILS	19

1 ROW
 Scale: 1" = 20'-0"



Heritage Hills Filing No. 2, 2nd Amendment, Lots 7A-1, 8A-1, & 8A-2
 Heritage Hills Planned Development
 Planning Area #9
 5.23 Acres
 SIP #SP20-78

GENERAL NOTE:

1. CALCULATION GRID FOR PARKING (5FT X 5FT) @ GROUND LEVEL.
2. CALCULATION GRID FOR OTHER (3FT X 3FT) @ GROUND LEVEL.
3. LUMINARIES MOUNTED HEIGHT (MH) ARE MENTIONED IN EACH LABEL.

PROJECT NUMBER
65120692

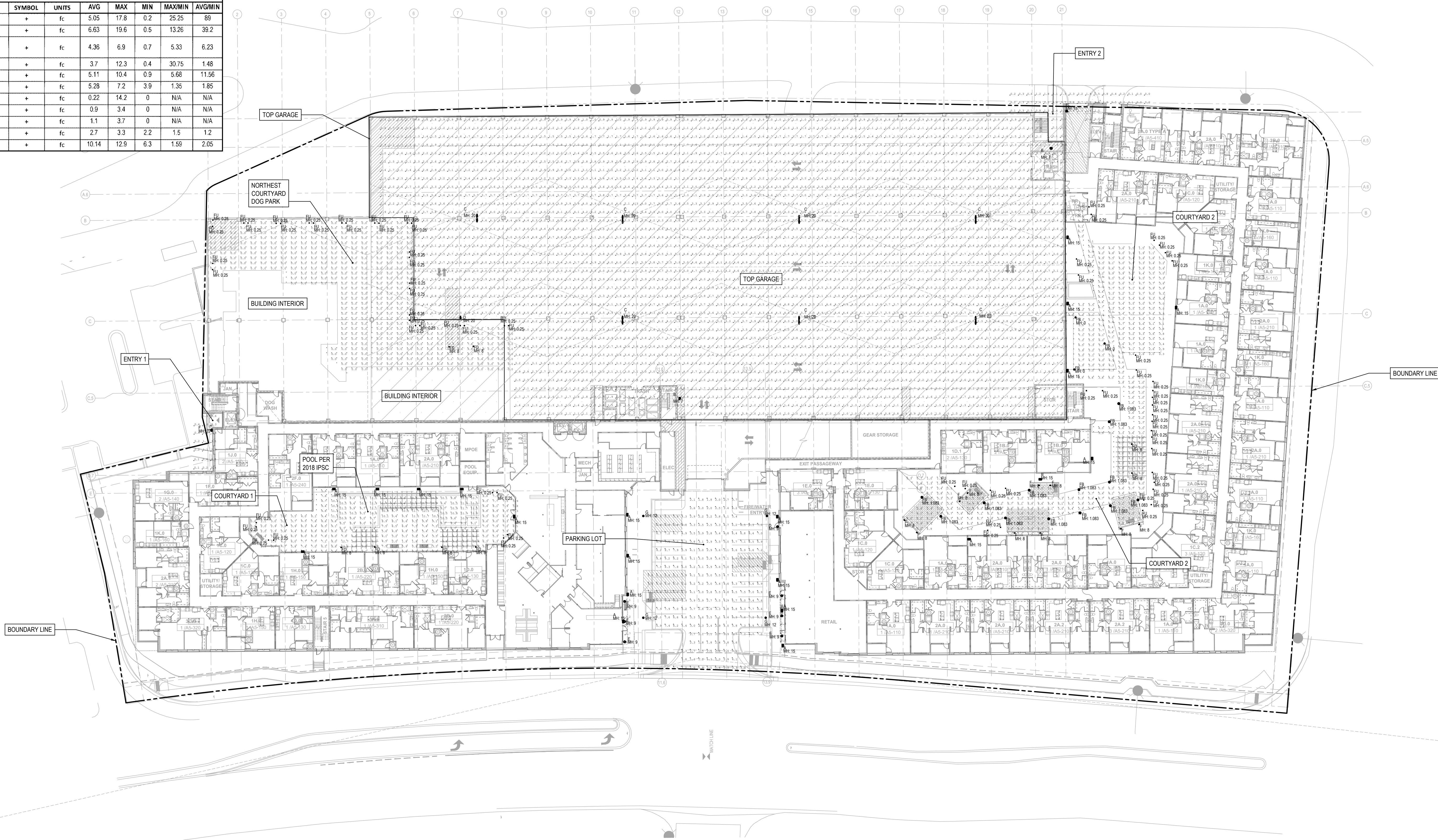
DRAWN BY
NB

DATE
7/06/2021

REVISIONS

REVISION 1 FEB 10, 2021
 REVISION 2 MAR 16, 2021
 REVISION 3 JUNE 10, 2021
 REVISION 4 JULY 6, 2021

STATISTICS						
DESCRIPTION	SYMBOL	UNITS	AVG	MAX	MIN	MAX/MIN
COURTYARD 1	+	fc	5.05	17.8	0.2	25.25
COURTYARD 2	+	fc	6.63	19.6	0.5	13.26
COURTYARD 2 - OPEN AREA	+	fc	4.36	6.9	0.7	5.33
PARKING TOP GARAGE	+	fc	3.7	12.3	0.4	30.75
PARKING LOT	+	fc	5.11	10.4	0.9	5.68
AREA 1	+	fc	5.28	7.2	3.9	1.35
AREA 2	+	fc	0.22	14.2	0	N/A
ENTRY 1	+	fc	0.9	3.4	0	N/A
ENTRY 2	+	fc	1.1	3.7	0	N/A
CANOPIES ENTRIES	+	fc	2.7	3.3	2.2	1.5
POOL	+	fc	10.14	12.9	6.3	1.59



JSE
 Jordan & Skala
 Engineers
 555 17th Street • Suite 700
 Denver, CO 80202
 p. 303.586.2375 • f. 303.586.2376
 Project Number: 2080192
 Drawn By: EJ Checked By: SL

PROJECT
**LINCOLN
 STATION
 APARTMENTS**

LONE TREE, COLORADO
80124

SHEET TITLE
 SITE
 PHOTOMETRIC
 PLAN

SHEET NUMBER

25 OF 35

Heritage Hills Filing No. 2, 2nd Amendment, Lots 7A-1, 8A-1, & 8A-2
 Heritage Hills Planned Development
 Planning Area #9
 5.23 Acres
 SIP #SP20-78

PROJECT NUMBER
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LANDSCAPE LIGHT FIXTURE SCHEDULE					
LABEL	QTY	MANUFACTURER CATALOG NO.	DISTRIBUTION TYPE	DESCRIPTION	LED WATTAGE
FA	10	ARCHITECTURAL AREA LIGHTING CY1-15-4K7-1-4D-R	-	WALLPACK	LED 17.3W
FB	13	HUBBELL KLV190_3L4KUV_BL-H80BL	-	POLE	LED 5.3W
FD	8	HUBBELL LTC-3RD-W-10L40K8WD-DM1-S-BL	WD	WLLPACK	LED11.9W
FS	3	HUBBEL LT V83FF-WW-12L4K	SP,NF,WW	IN GRADE	LED 13.8W
FU	69	KLV.202	-	FEATURE LIGHTING	LED 6.8W

Cypher™ – CY1 Accent Scale

FEATURES

- Integral Battery Backup Option
- 360° Light Distribution
- Adjust to Side While Luminous Front Option
- ES Type I, II, III & IV Distributions
- Wall, Case, Spot and Flood Distributions
- Multiple Facia Options and Finishes
- 5-10W dimming
- IP-66 Housing & Optical System
- 120-277V
- 3000K, 4000K & 5000K CCT
- USDA Energy Protection
- Facia Forms I, E and F are ADA compliant for use in low mounting height applications (80 inches or less)
- ESL approved, operating at 3000K and warmer CCT's

ORDERING CODE

Series Output CCT(s) Model Main Distribution Secondary Distribution Voltage Housing Finish Facia Form Luminous Front Facia Panel Control Options

STREET OUTPUT (Base)

1 2 3 4 5 6 7 8 9 10 11 12

BASE HOUSING FINISH

81 Black Glass Smooth
 82 Black Matte Textured
 83 Clear Glass Smooth
 84 Clear Glass Matte Textured
 85 Light Gray Glass Smooth
 86 Light Gray Glass Matte Textured
 87 White Glass Smooth
 88 White Glass Matte Textured
 89 Custom Color
 90 Custom Color

FACIA FORM

1 Flat
 2 Flange/Wedge
 3 Rounded Edge
 4 C
 5 Cylindrical
 6 Cylindrical with
 7 Custom Building Material Mount
 8 Custom Mount
 9 Custom Mount

ARCHITECTURAL AREA LIGHTING
 17500 Redwood Street | City of Industry | CA 91746
 P: 626.962.5666 | F: 626.962.2495 | www.hubbell.com
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TYPE F

Traditional KLV190
 12 Volt Die-Cast Aluminum, LED
 revision 2/11/15 • KLV190_spec.pdf

Job: _____
Location: _____
Project: _____
Category: _____

ORDERING GUIDE

ORDERING INFORMATION

Finish* **Source** **Finish**

KLV190SLKUVBL 5.2W, 3 LED's, 3000K* Alum/Black

KLV190SLKUVBL 5.2W, 3 LED's, 4200K* Alum/Black

KLV190SLKUVDB 5.2W, 3 LED's, 4200K* Dark Bronze

KLV190SLKUVDB 5.2W, 3 LED's, 4200K* Alum/Black

KLV190SLKUVGR 5.2W, 3 LED's, 5100K* Alum/Vend Green

KLV190SLKUVGR 5.2W, 3 LED's, 4200K* Alum/Vend Green

KLV190SLKUVGR 5.2W, 3 LED's, 5100K* Alum/Vend Green

Specifications

Hood: Span aluminum with low copper alloy aluminum die-cast reflector and fringe assembly. The hood is paired to order and the reflector is always painted white. The hood reflector assembly is removable with a no tool stainless steel snap latch. Hood is available in three styles: Pagoda, Cone, and Mushroom.

Shim: 1" schedule 40 aluminum pipe with 1/2" NPT at bottom plus solid brass lock for secure mounting.

Optical System: A total of 3 LED emitters configured in a rectangular array centered together as a module. Available in 3000K, 4200K and 5100K.

Driver: Constant current electronic driver. Available in 12V input, 4071, starting temperature. All drivers are Underwriters Laboratories recognized.

Finish: Each luminaire receives a fade and abrasion resistant, electrocoat applied, thermally cured, high-solids isocyanate (IG) polyurethane powdercoat finish. Standard colors include (BL) Black, (BR) Dark Bronze, (WH) White, (GR) Platinum Silver, (SG) Stealth Gray, (LG) Light Gray, and (CG) Custom Color (include RAL).

Certification: UL listed in U.S. and Canadian safety standards for wet locations.

Ordering Code

81 Black
 82 Bronze
 83 White
 84 Platinum Silver
 85 Stealth Gray
 86 Custom

TYPE FB

resolite

LTC-3RDW
 LITESTRY 3' ROUND CYLINDER

ORDERING GUIDE

ORDERING INFORMATION

Finish* **Source** **Finish**

LTC-3RDWBL 11.9W, 3 LED's, 3000K* Alum/Black

LTC-3RDWDB 11.9W, 3 LED's, 4200K* Alum/Black

LTC-3RDWGR 11.9W, 3 LED's, 5100K* Alum/Vend Green

LTC-3RDWGR 11.9W, 3 LED's, 4200K* Alum/Vend Green

LTC-3RDWGR 11.9W, 3 LED's, 5100K* Alum/Vend Green

Specifications

Hood: Span aluminum with low copper alloy aluminum die-cast reflector and fringe assembly. The hood is paired to order and the reflector is always painted white. The hood reflector assembly is removable with a no tool stainless steel snap latch. Hood is available in three styles: Pagoda, Cone, and Mushroom.

Shim: 1" schedule 40 aluminum pipe with 1/2" NPT at bottom plus solid brass lock for secure mounting.

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Driver: Constant current electronic driver. Available in 12V input, 4071, starting temperature. All drivers are Underwriters Laboratories recognized.

Finish: Each luminaire receives a fade and abrasion resistant, electrocoat applied, thermally cured, high-solids isocyanate (IG) polyurethane powdercoat finish. Standard colors include (BL) Black, (BR) Dark Bronze, (WH) White, (GR) Platinum Silver, (SG) Stealth Gray, (LG) Light Gray, and (CG) Custom Color (include RAL).

Certification: UL listed in U.S. and Canadian safety standards for wet locations.

Ordering Code

81 Black
 82 Bronze
 83 White
 84 Platinum Silver
 85 Stealth Gray
 86 Custom

TYPE FD

KIM LIGHTING

Lightvault® 8 Flat Frame LTV8FF

ORDERING GUIDE

ORDERING INFORMATION

Finish* **Source** **Finish**

LTV8FFBL 11.9W, 3 LED's, 3000K* Alum/Black

LTV8FFDB 11.9W, 3 LED's, 4200K* Alum/Black

LTV8FFGR 11.9W, 3 LED's, 5100K* Alum/Vend Green

LTV8FFGR 11.9W, 3 LED's, 4200K* Alum/Vend Green

LTV8FFGR 11.9W, 3 LED's, 5100K* Alum/Vend Green

Specifications

Hood: Span aluminum with low copper alloy aluminum die-cast reflector and fringe assembly. The hood is paired to order and the reflector is always painted white. The hood reflector assembly is removable with a no tool stainless steel snap latch. Hood is available in three styles: Pagoda, Cone, and Mushroom.

Shim: 1" schedule 40 aluminum pipe with 1/2" NPT at bottom plus solid brass lock for secure mounting.

Optical System: A total of 3 LED emitters configured in a rectangular array centered together as a module. Available in 3000K, 4200K and 5100K.

Driver: Constant current electronic driver. Available in 12V input, 4071, starting temperature. All drivers are Underwriters Laboratories recognized.

Finish: Each luminaire receives a fade and abrasion resistant, electrocoat applied, thermally cured, high-solids isocyanate (IG) polyurethane powdercoat finish. Standard colors include (BL) Black, (BR) Dark Bronze, (WH) White, (GR) Platinum Silver, (SG) Stealth Gray, (LG) Light Gray, and (CG) Custom Color (include RAL).

Certification: UL listed in U.S. and Canadian safety standards for wet locations.

Ordering Code

81 Black
 82 Bronze
 83 White
 84 Platinum Silver
 85 Stealth Gray
 86 Custom

TYPE FB

KIM LIGHTING

Bullet 12V KLV202

ORDERING GUIDE

ORDERING INFORMATION

Finish* **Source** **Finish**

KLV202BL 6.8W, 1 LED, 3000K* Alum/Black

KLV202DB 6.8W, 1 LED, 4200K* Alum/Black

KLV202GR 6.8W, 1 LED, 5100K* Alum/Vend Green

KLV202GR 6.8W, 1 LED, 4200K* Alum/Vend Green

KLV202GR 6.8W, 1 LED, 5100K* Alum/Vend Green

Specifications

Hood: Span aluminum with low copper alloy aluminum die-cast reflector and fringe assembly. The hood is paired to order and the reflector is always painted white. The hood reflector assembly is removable with a no tool stainless steel snap latch. Hood is available in three styles: Pagoda, Cone, and Mushroom.

Shim: 1" schedule 40 aluminum pipe with 1/2" NPT at bottom plus solid brass lock for secure mounting.

Optical System: A total of 1 LED emitter configured in a rectangular array centered together as a module. Available in 3000K, 4200K and 5100K.

Driver: Constant current electronic driver. Available in 12V input, 4071, starting temperature. All drivers are Underwriters Laboratories recognized.

Finish: Each luminaire receives a fade and abrasion resistant, electrocoat applied, thermally cured, high-solids isocyanate (IG) polyurethane powdercoat finish. Standard colors include (BL) Black, (BR) Dark Bronze, (WH) White, (GR) Platinum Silver, (SG) Stealth Gray, (LG) Light Gray, and (CG) Custom Color (include RAL).

Certification: UL listed in U.S. and Canadian safety standards for wet locations.

Ordering Code

81 Black
 82 Bronze
 83 White
 84 Platinum Silver
 85 Stealth Gray
 86 Custom

TYPE FU

PROJECT

LINCOLN STATION APARTMENTS

LONE TREE, COLORADO
80124

SHEET TITLE

LIGHT SPECIFICATIONS

SHEET NUMBER

27 OF 35

Heritage Hills Filing No. 2, 2nd Amendment, Lots 7A-1, 8A-1, & 8A-2

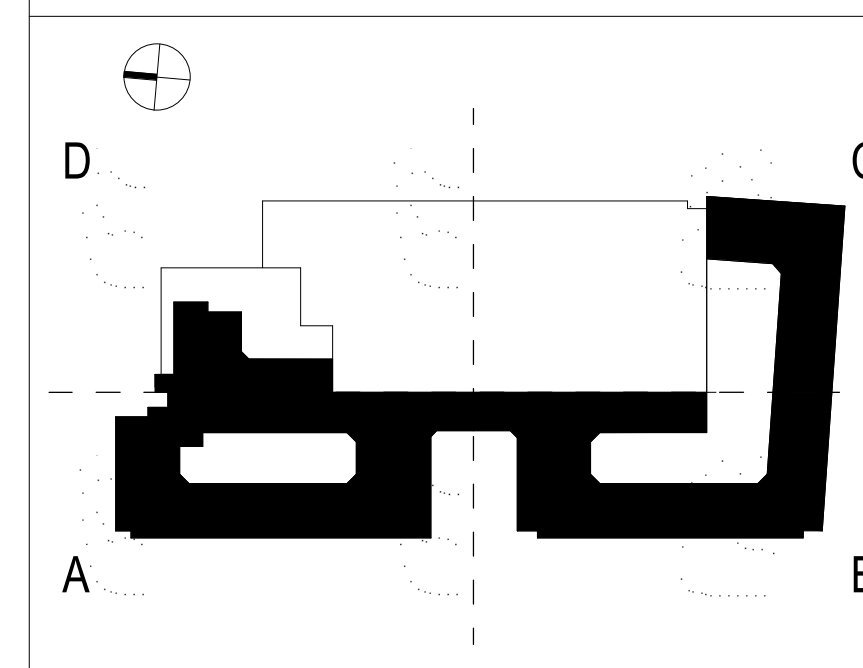
Heritage Hills Planned Development

Planning Area #9

5.23 Acres

SIP #SP20-78

SITE KEY PLAN



PROJECT NUMBER
200617

DATE
7/06/2021

REVISIONS

REVISION 1	FEB 10, 2021
REVISION 2	MAR 16, 2021
REVISION 3	JUNE 10, 2021
REVISION 4	JULY 6, 2021

ELEVATION LEGEND

	BRICK - RUNNING COLOR: MEDIUM GREY
	COLOR 1 - FIBER CEMENT PANEL COLOR: OFF WHITE
	COLOR 2 - FIBER CEMENT PANEL COLOR: GRAY
	COLOR 3 - FIBER CEMENT PANEL COLOR: BLACK
	COLOR 4 - FIBER CEMENT PANEL COLOR: TAN
	COLOR 1 - TRIM, FACIA, EAVES COLOR: OFF WHITE
	COLOR 3 - TRIM, FACIA, EAVES COLOR: BLACK
	COLOR 3 - METAL AWNINGS & HANDRAILS COLOR: BLACK
	FIBER CEMENT LAP SIDING COLOR: OFF WHITE
	FIBER CEMENT LAP SIDING COLOR: GRAY
	FIBER CEMENT LAP SIDING COLOR: BLACK
	FAUX WOOD PANEL / LAP SIDING COLOR: TAN
	BRAKE METAL COLOR: BLACK

KEYNOTES

#	DESCRIPTION
1	BRICK - RUNNING
2	PANEL SYSTEM - (OFF WHITE)
3	PANEL SYSTEM - (GRAY)
4	PANEL SYSTEM - (DARK GRAY)
5	PANEL SYSTEM - (BEIGE 1)
6	PANEL SYSTEM - (BEIGE 2)
7	PANEL SYSTEM - (BEIGE 3)
8	PANEL SYSTEM - (BEIGE 4)
9	HORIZONTAL LAP SIDING - (OFF WHITE)
10	HORIZONTAL LAP SIDING - (GRAY)
11	HORIZONTAL LAP SIDING - (DARK GRAY)
12	HORIZONTAL LAP SIDING - (COLOR TO MATCH BRICK)
13	HORIZONTAL LAP SIDING - (WOODTONE)
14	GAS METER
15	FIBER CEMENT TRIM
16	METAL AWNING - (BLACK)
17	METAL HANDRAIL - (BLACK)
18	VINYL WINDOW - (WHITE)
19	VINYL WINDOW - (BLACK)
20	BUILDING ENTRY
21	PANEL SYSTEM - WOODTONE
25	STOREFRONT
26	COLUMN
27	ROWLOCK, TO MATCH ADJACENT BRICK SOLDIER COURSE - TO MATCH ADJACENT BRICK
28	BRICK SOLDIER
29	MECHANICAL EQUIPMENT BEYOND
30	PARKING GARAGE OVERHEAD DOOR
31	LOADING OVERHEAD COILING DOOR
32	GLASS HANDRAIL
33	SCUPPER
34	TRANSFORMER

ELEVATION NOTES

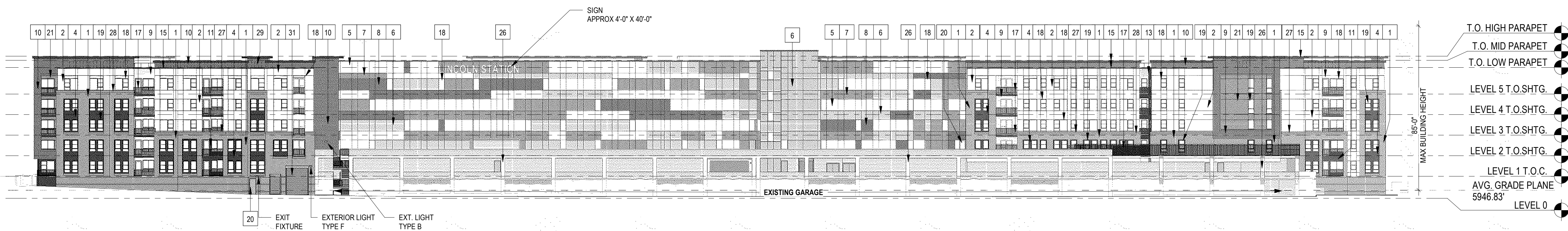
1. ALL CONDENSERS WILL BE ROOF MOUNTED, AS ALLOWED BY CODE, AND WILL BE SCREENED FROM VIEW.



SOUTH ELEVATION OVERALL

SCALE: 1" = 30'-0"

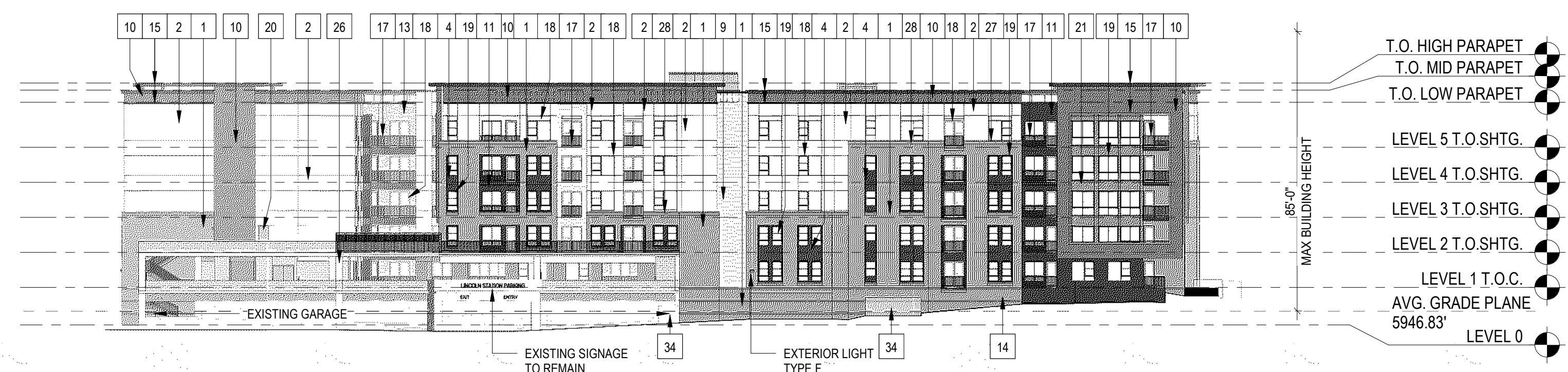
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EAST ELEVATION OVERALL

SCALE: 1" = 30'-0"

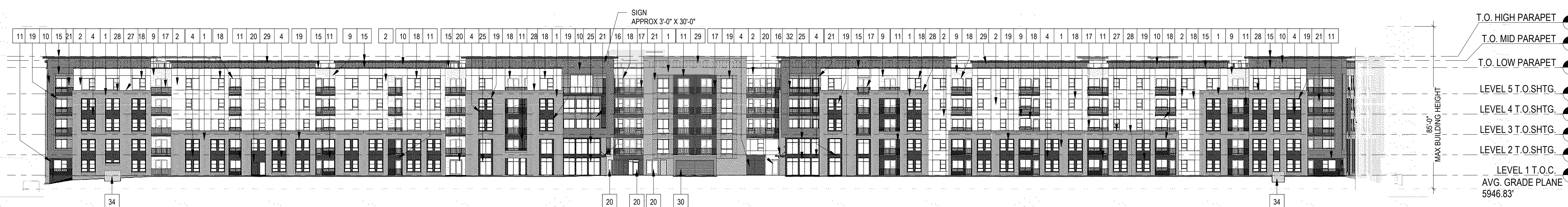
3



NORTH ELEVATION OVERALL

SCALE: 1" = 30'-0"

2



WEST ELEVATION OVERALL

SCALE: 1" = 30'-0"

1



KTGY - ARCHITECTURE + PLANNING
820 16TH STREET, SUITE 500
DENVER, CO 80202
(303) 825-5400
CONTACT: Jennafer Dauwalter
jdauwalter@ktgy.com

PREPARED FOR CENTURY COMMUNITIES

PROJECT

LINCOLN STATION APARTMENTS

LONE TREE, COLORADO 80124

OVERALL BUILDING ELEVATIONS

SHEET NUMBER

Heritage Hills Filing No. 2, 2nd Amendment, Lots 7A-1, 8A-1, & 8A-2
 Heritage Hills Planned Development
 Planning Area #9
 5.23 Acres
 SIP #SP20-78

PROJECT NUMBER
200617

DATE
7/06/2021

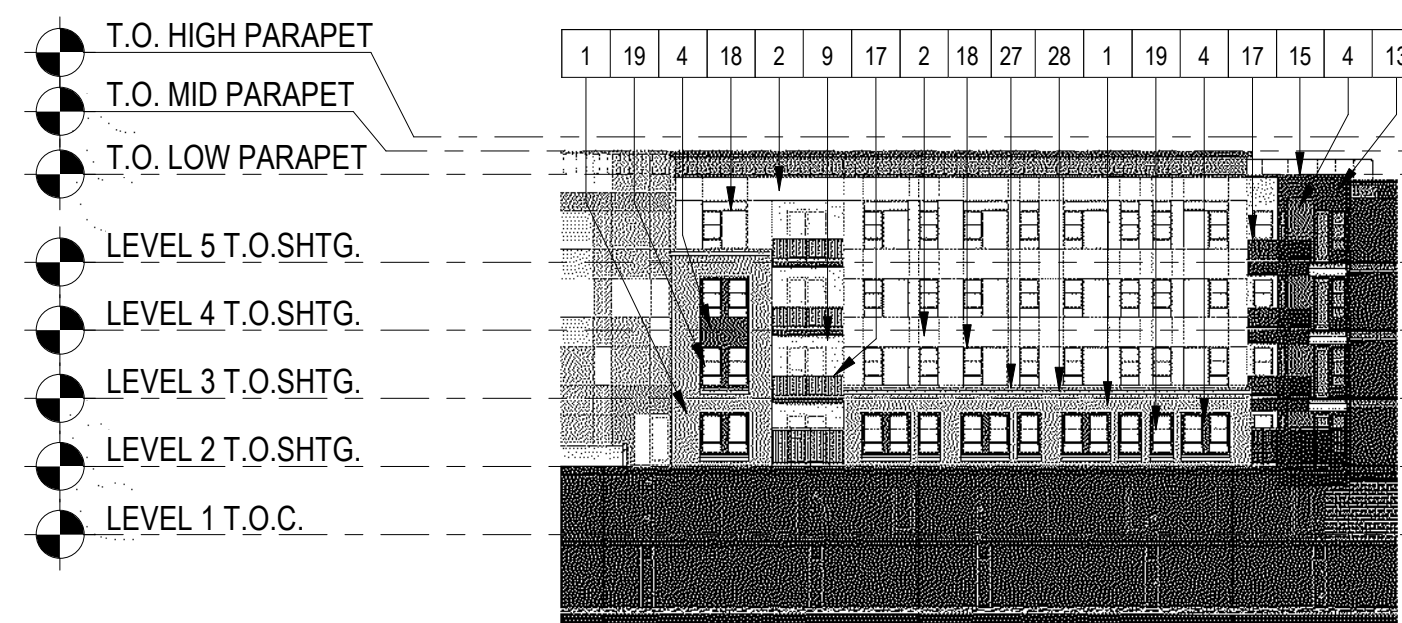
REVISIONS
 REVISION 1 FEB 10, 2021
 REVISION 2 MAR 16, 2021
 REVISION 3 JUNE 10, 2021
 REVISION 4 JULY 6, 2021

ELEVATION LEGEND	
	BRICK - RUNNING COLOR: MEDIUM GREY
	COLOR 1 - FIBER CEMENT PANEL COLOR: OFF WHITE
	COLOR 2 - FIBER CEMENT PANEL COLOR: GRAY
	COLOR 3 - FIBER CEMENT PANEL COLOR: BLACK
	COLOR 4 - FIBER CEMENT PANEL COLOR: TAN
	COLOR 1 - TRIM, FACIA, EAVES COLOR: OFF WHITE
	COLOR 3 - TRIM, FACIA, EAVES COLOR: BLACK
	COLOR 3 - METAL AWNINGS & HANDRAILS COLOR: BLACK
	FIBER CEMENT LAP SIDING COLOR: OFF WHITE
	FIBER CEMENT LAP SIDING COLOR: GRAY
	FIBER CEMENT LAP SIDING COLOR: BLACK
	FAUX WOOD PANEL / LAP SIDING COLOR: TAN
	BRAKE METAL COLOR: BLACK

#	KEYNOTES
1	BRICK - RUNNING
2	PANEL SYSTEM - (OFF WHITE)
3	PANEL SYSTEM - (GRAY)
4	PANEL SYSTEM - (DARK GRAY)
5	PANEL SYSTEM - (BEIGE 1)
6	PANEL SYSTEM - (BEIGE 2)
7	PANEL SYSTEM - (BEIGE 3)
8	PANEL SYSTEM - (BEIGE 4)
9	HORIZONTAL LAP SIDING - (OFF WHITE)
10	HORIZONTAL LAP SIDING - (GRAY)
11	HORIZONTAL LAP SIDING - (DARK GRAY)
12	HORIZONTAL LAP SIDING - (COLOR TO MATCH BRICK)
13	HORIZONTAL LAP SIDING - (WOODTONE)
14	GAS METER
15	FIBER CEMENT TRIM
16	METAL AWNING - (BLACK)
17	METAL HANDRAIL - (BLACK)
18	VINYL WINDOW - (WHITE)
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20	BUILDING ENTRY
21	PANEL SYSTEM - WOODTONE
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26	COLUMN
27	ROWLOCK, TO MATCH ADJACENT BRICK SOLDIER COURSE - TO MATCH ADJACENT BRICK
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32	GLASS HANDRAIL
33	SCUPPER
34	TRANSFORMER

ELEVATION NOTES

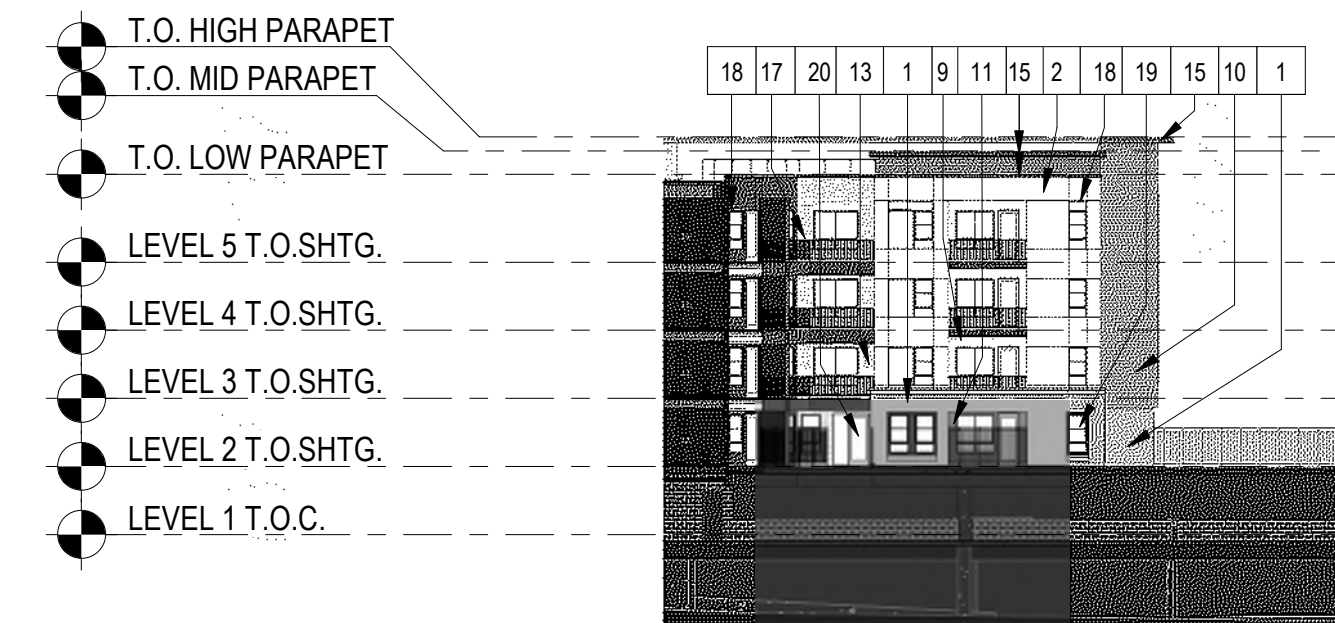
1. ALL CONDENSERS WILL BE ROOF MOUNTED, AS ALLOWED BY CODE, AND WILL BE SCREENED FROM VIEW.



NORTHEAST COURTYARD - WEST ELEVATION

SCALE:
1" = 30'-0"

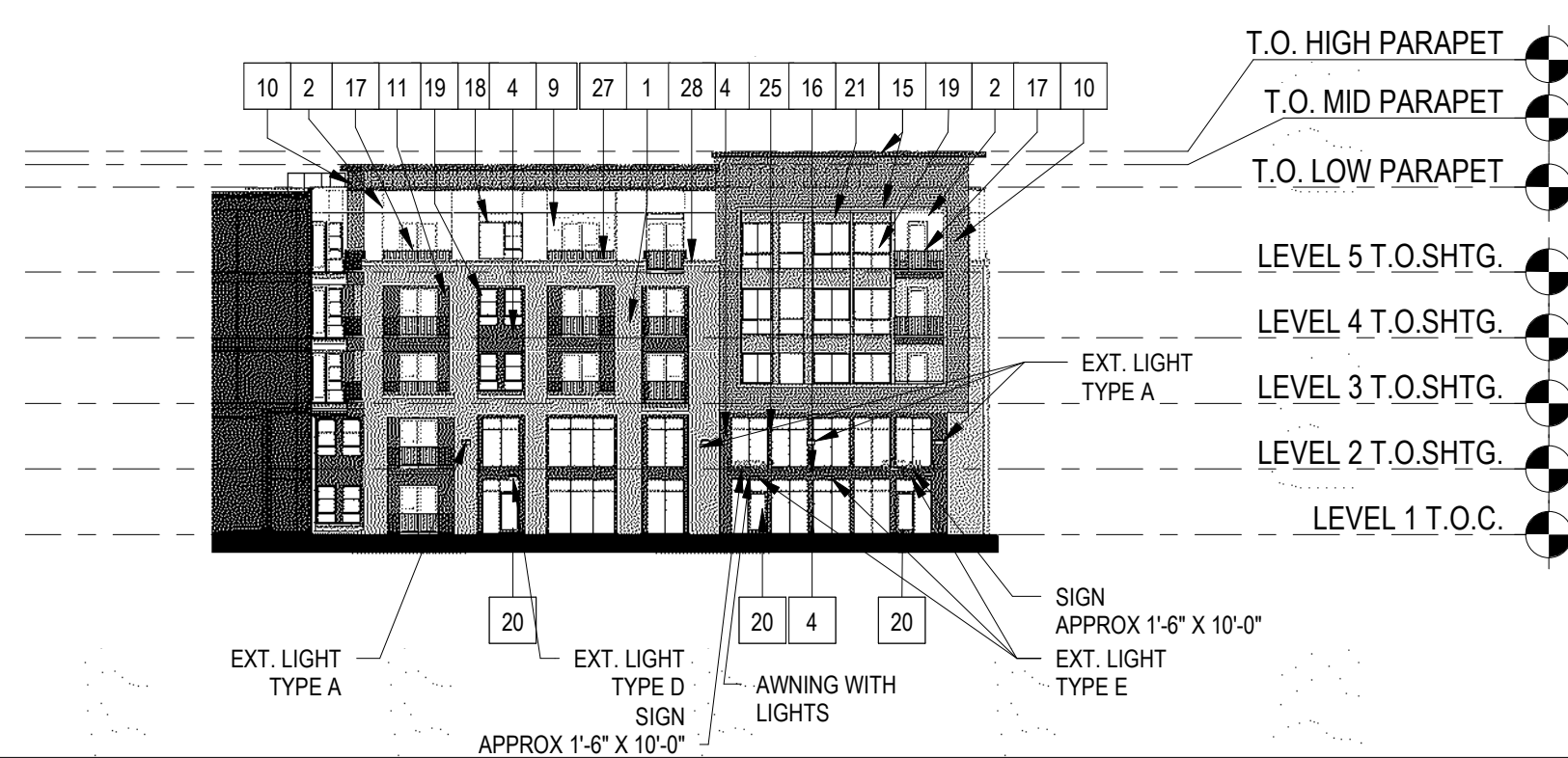
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NORTHEAST COURTYARD - NORTH ELEVATION

SCALE:
1" = 30'-0"

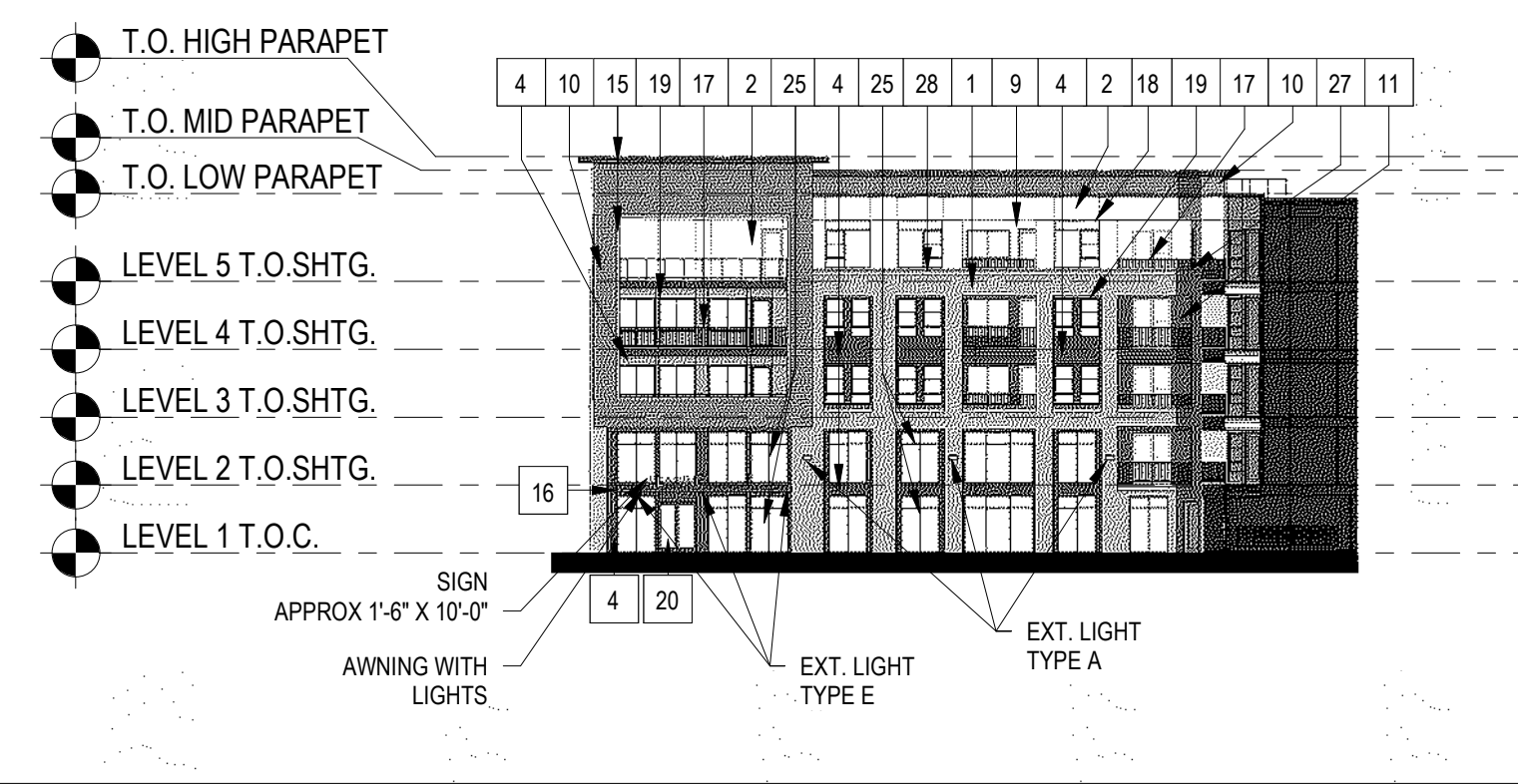
3



PRIVATE DRIVE - SOUTH ELEVATION

SCALE:
1" = 30'-0"

2



PRIVATE DRIVE - NORTH ELEVATION

SCALE:
1" = 30'-0"

1

KTGY - ARCHITECTURE + PLANNING
 820 16TH STREET, SUITE 500
 DENVER, CO 80202
 (303) 825-5400
 CONTACT: Jennafer Dauwalter
 jdauwalter@ktgy.com

PREPARED FOR CENTURY COMMUNITIES

PROJECT

LINCOLN STATION APARTMENTS

LONE TREE, COLORADO
80124

NORTHEAST COURTYARD & PRIVATE DRIVE ELEVATIONS

SHEET NUMBER

Heritage Hills Filing No. 2, 2nd Amendment, Lots 7A-1, 8A-1, & 8A-2
 Heritage Hills Planned Development
 Planning Area #9
 5.23 Acres
 SIP #SP20-78

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ELEVATION LEGEND

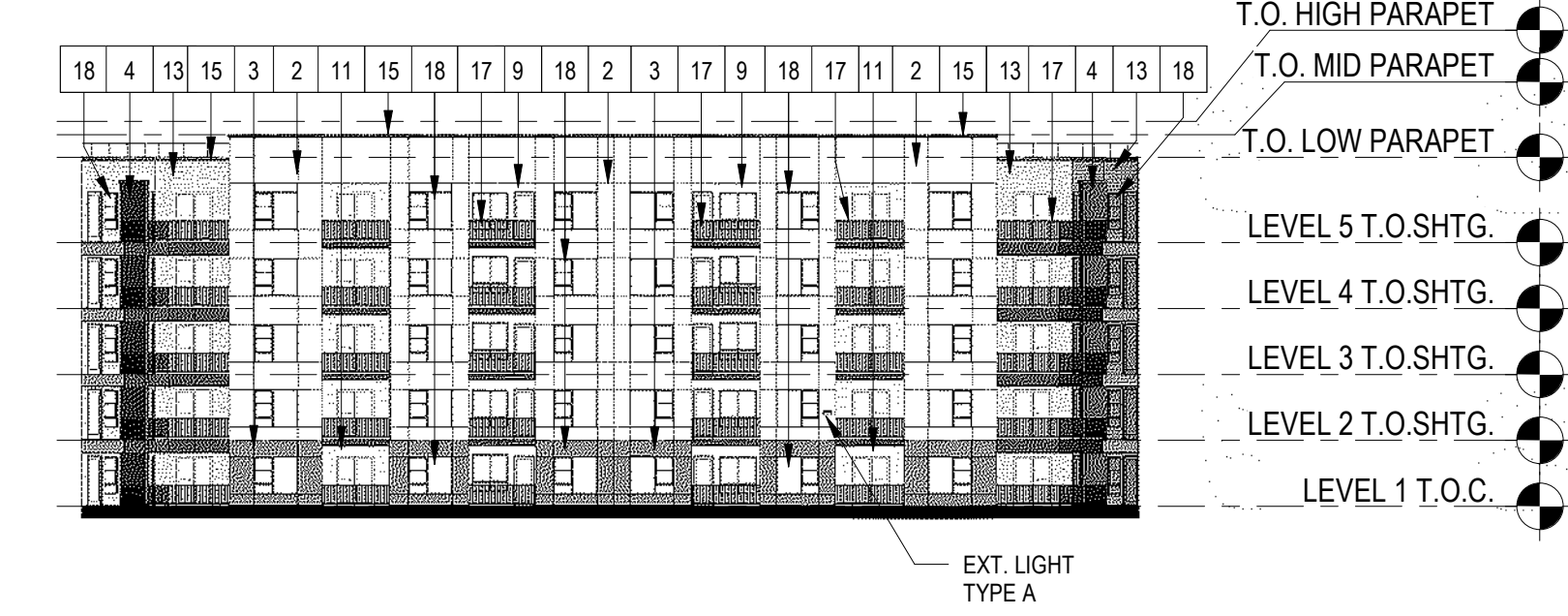
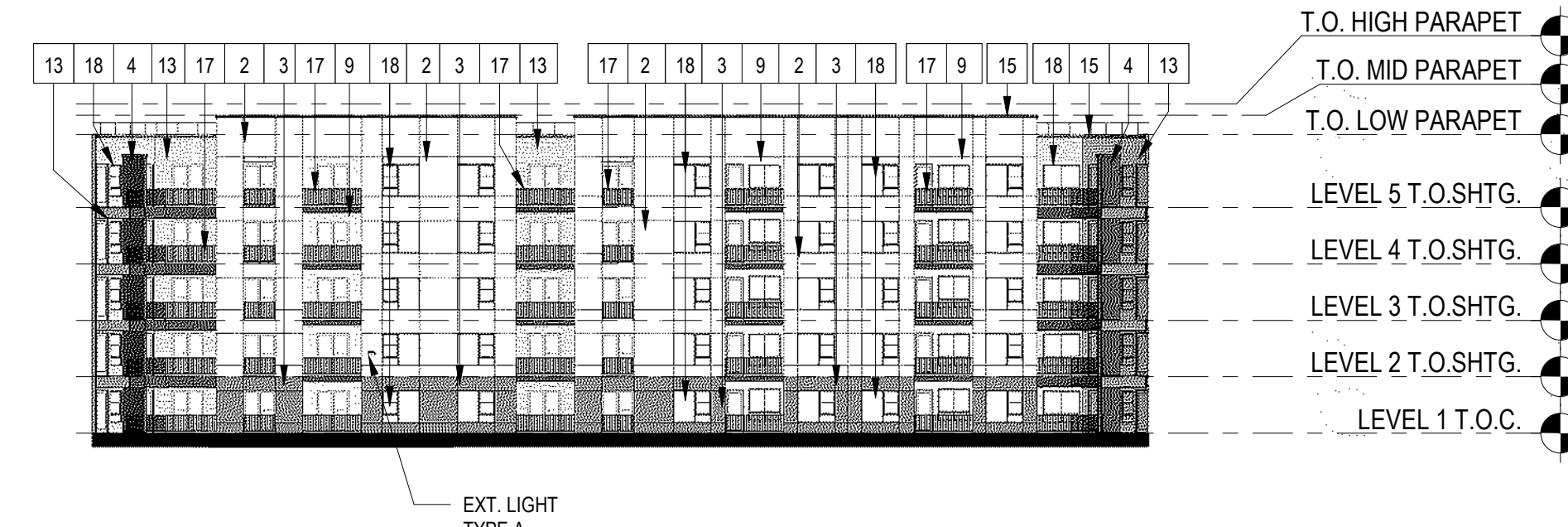
	BRICK - RUNNING COLOR: MEDIUM GREY
	COLOR 1 - FIBER CEMENT PANEL COLOR: OFF WHITE
	COLOR 2 - FIBER CEMENT PANEL COLOR: GRAY
	COLOR 3 - FIBER CEMENT PANEL COLOR: BLACK
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	COLOR 1 - TRIM, FACIA, EAVES COLOR: OFF WHITE
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	FIBER CEMENT LAP SIDING COLOR: OFF WHITE
	FIBER CEMENT LAP SIDING COLOR: GRAY
	FIBER CEMENT LAP SIDING COLOR: BLACK
	FAUX WOOD PANEL / LAP SIDING COLOR: TAN
	BRAKE METAL COLOR: BLACK

KEYNOTES

#	DESCRIPTION
1	BRICK - RUNNING
2	PANEL SYSTEM - (OFF WHITE)
3	PANEL SYSTEM - (GRAY)
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5	PANEL SYSTEM - (BEIGE 1)
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7	PANEL SYSTEM - (BEIGE 3)
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12	HORIZONTAL LAP SIDING - (COLOR TO MATCH BRICK)
13	HORIZONTAL LAP SIDING - (WOODTONE)
14	GAS METER
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17	METAL HANDRAIL - (BLACK)
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27	ROWLOCK, TO MATCH ADJACENT BRICK SOLDIER COURSE - TO MATCH ADJACENT BRICK
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34	TRANSFORMER

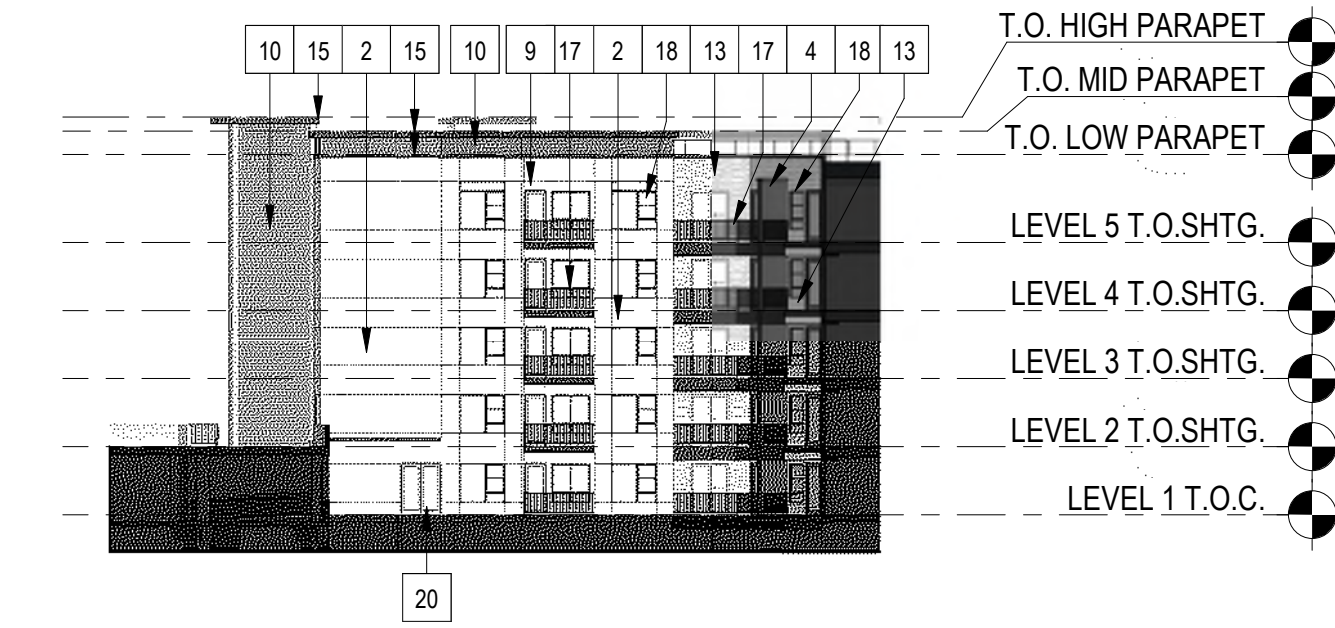
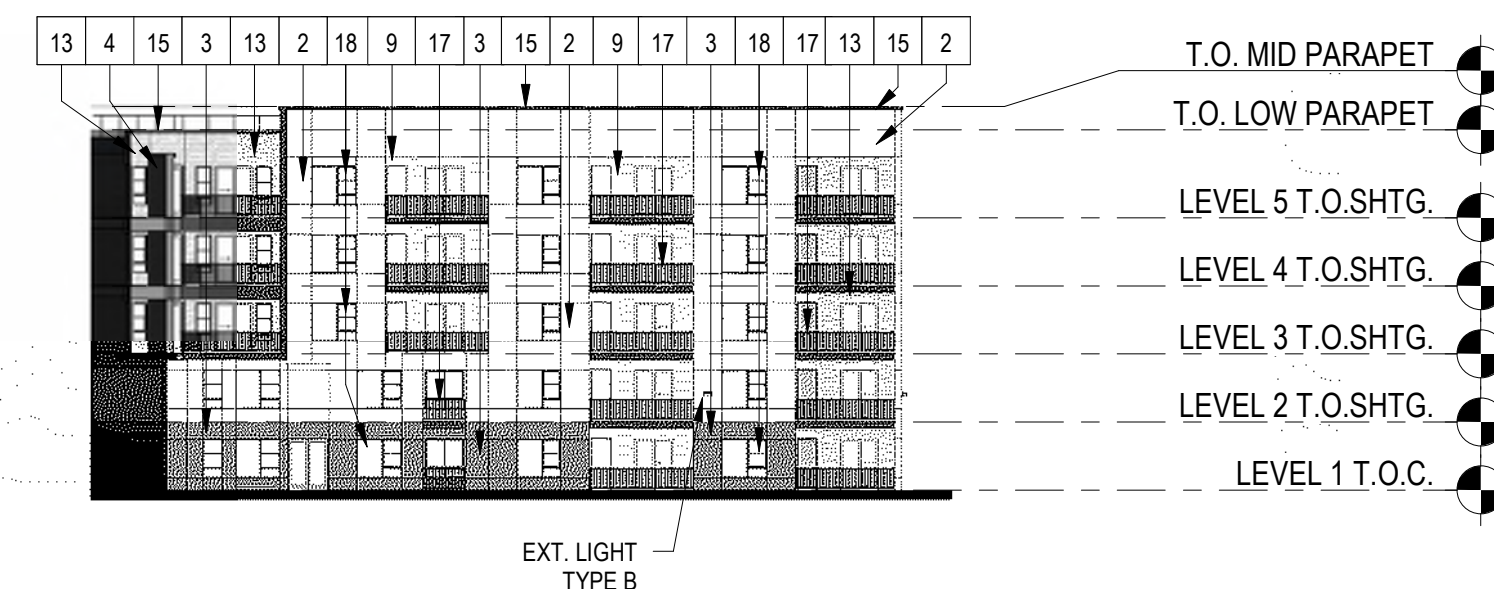
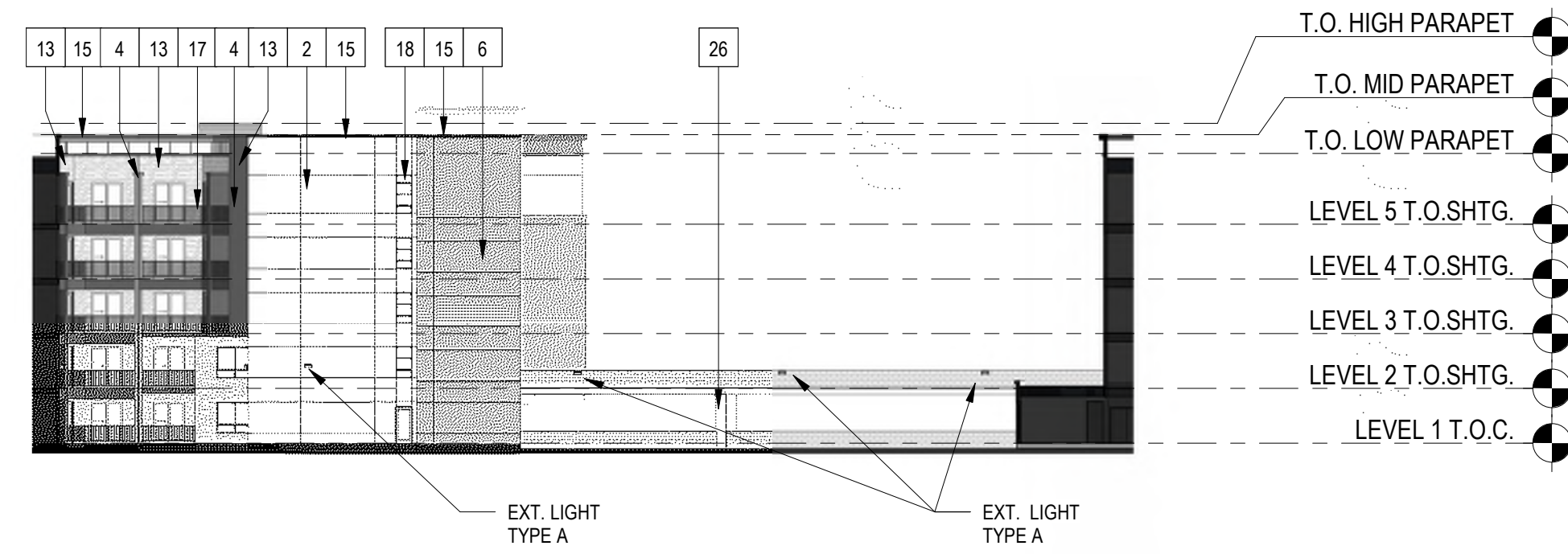
ELEVATION NOTES

1. ALL CONDENSERS WILL BE ROOF MOUNTED, AS ALLOWED BY CODE, AND WILL BE SCREENED FROM VIEW.



SOUTH COURTYARD - SOUTH ELEVATION SCALE: 1" = 30'-0" 9

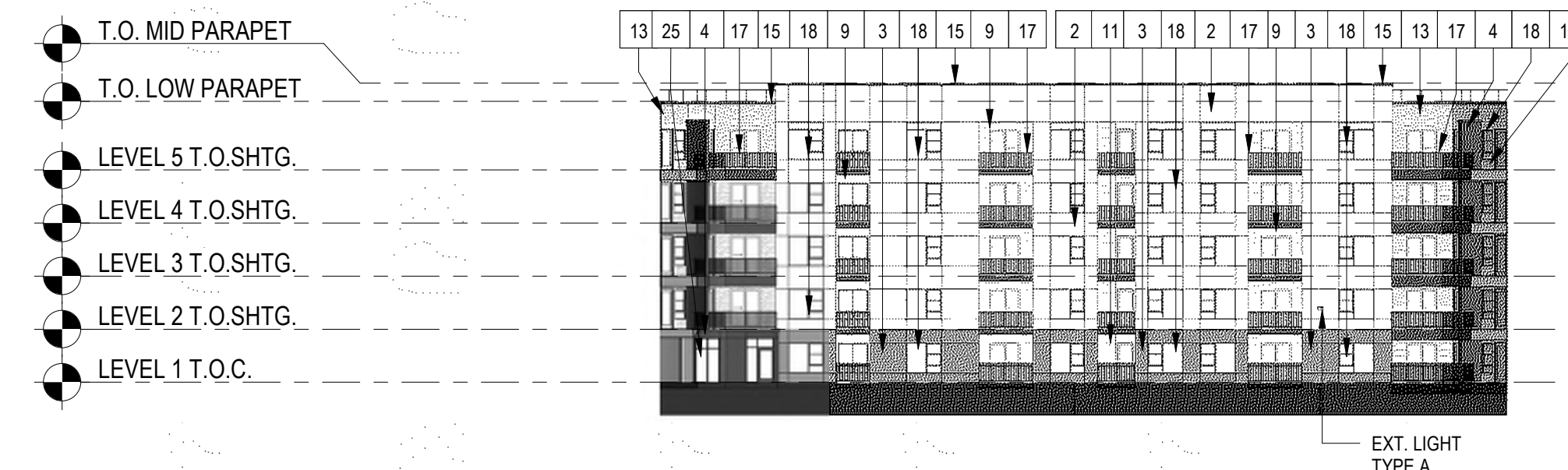
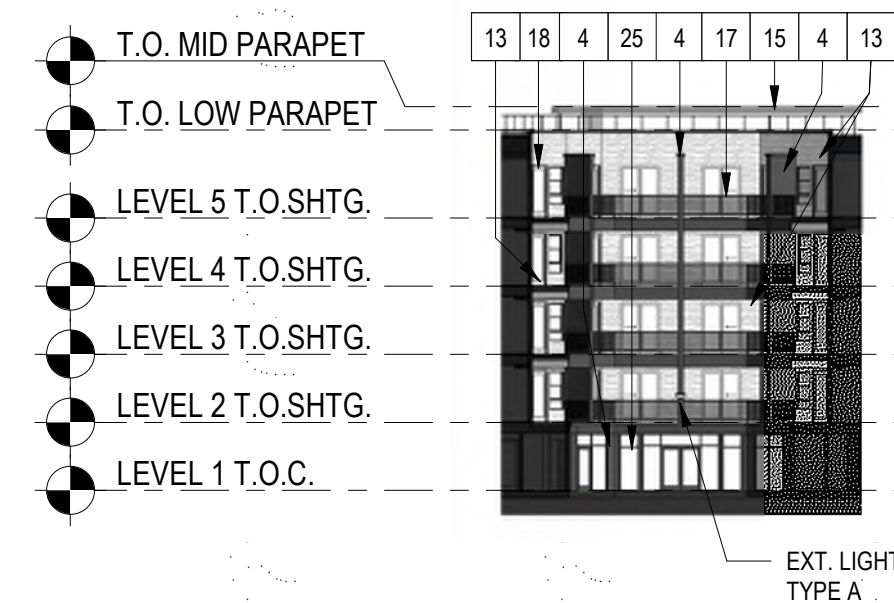
SOUTH COURTYARD - WEST ELEVATION SCALE: 1" = 30'-0" 8



SOUTH COURTYARD - NORTH ELEVATION SCALE: 1" = 30'-0" 7

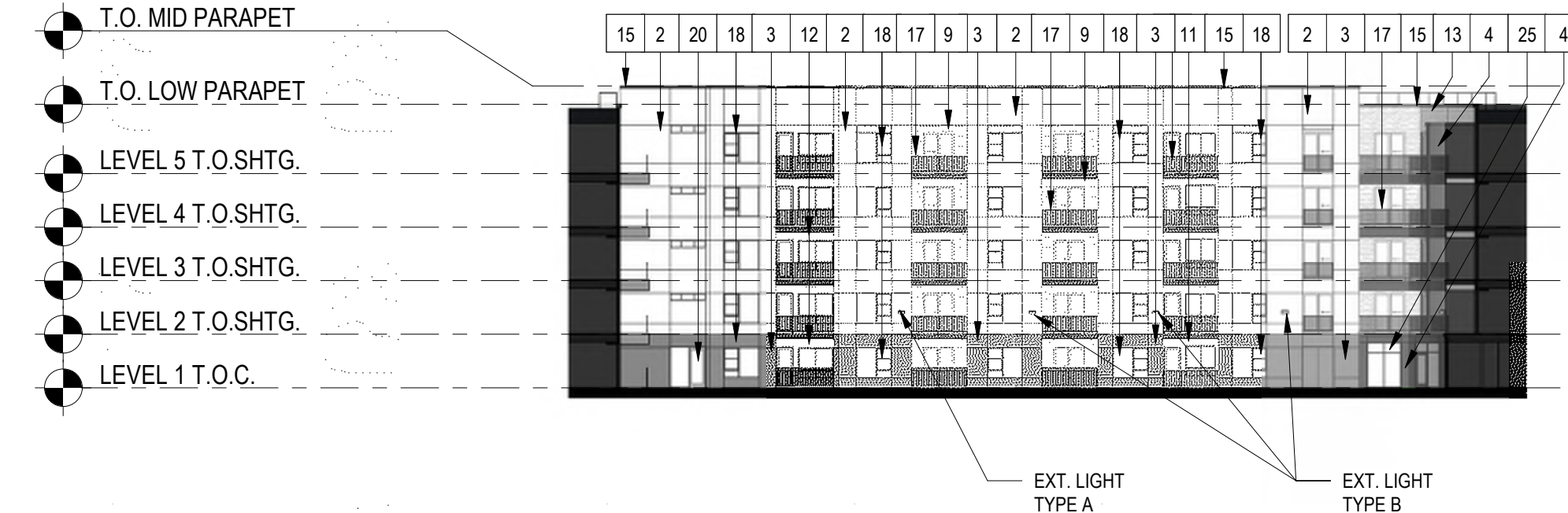
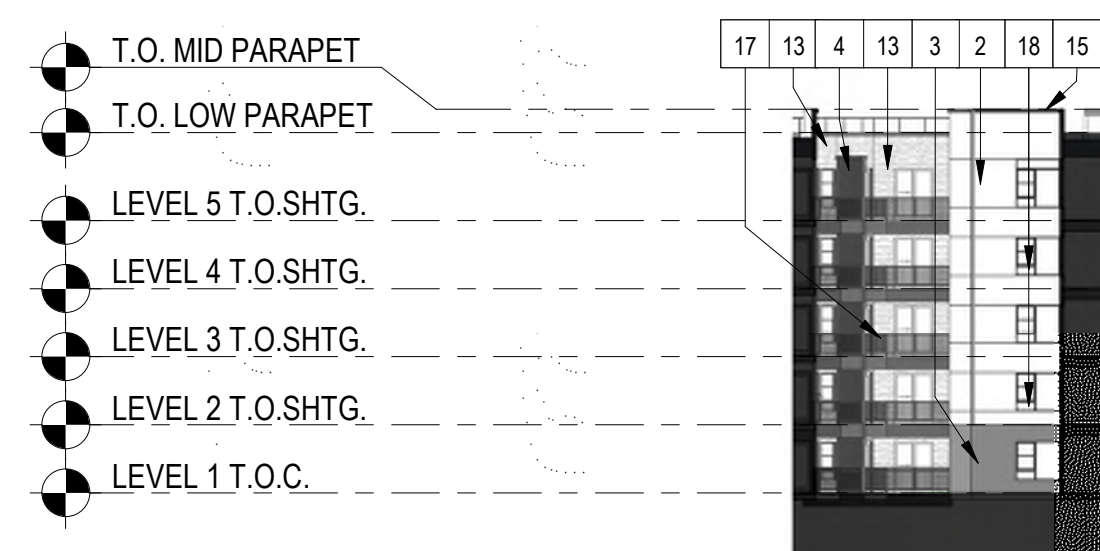
SOUTH COURTYARD - PARTIAL EAST ELEV 1 SCALE: 1" = 30'-0" 6

SOUTH COURTYARD - PARTIAL EAST ELEV 2 SCALE: 1" = 30'-0" 5



NORTH COURTYARD - SOUTH ELEVATION SCALE: 1" = 30'-0" 4

NORTH COURTYARD - WEST ELEVATION SCALE: 1" = 30'-0" 3



NORTH COURTYARD - NORTH ELEVATION SCALE: 1" = 30'-0" 2

NORTH COURTYARD - EAST ELEVATION SCALE: 1" = 30'-0" 1



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PREPARED FOR CENTURY COMMUNITIES

PROJECT

LINCOLN STATION APARTMENTS

LONE TREE, COLORADO 80124

NORTH & SOUTH COURTYARD ELEVATIONS

SHEET NUMBER

Heritage Hills Filing No. 2, 2nd Amendment, Lots 7A-1, 8A-1, & 8A-2
Heritage Hills Planned Development
Planning Area #9
5.23 Acres
SIP #SP20-78

PROJECT NUMBER
200617

DATE
7/06/2021

REVISIONS

REVISION 1 FEB 10, 2021
REVISION 2 MAR 16, 2021
REVISION 3 JUNE 10, 2021
REVISION 4 JULY 6, 2021



PARK MEADOWS DRIVE SOUTHWEST CORNER



PARK MEADOWS DRIVE NORTHWEST CORNER



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RENDERINGS

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NORTH SIDE



LINCOLN STATION NORTHEAST SIDE



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PARK MEADOWS DRIVE PRIVATE DRIVE



LINCOLN STATION SOUTHEAST CORNER



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PARK MEADOWS DRIVE AT PRIVATE DRIVE LOOKING TOWARDS LEASING



NORTH COURTYARD LOOKING SOUTH



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NORTHEAST COURTYARD/DOG PARK



SOUTH COURTYARD LOOKING WEST



SOUTH COURTYARD LOOKING NORTH



SOUTH COURTYARD LOOKING SOUTH



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