



Development Permit Panel

**Council Chambers, City Hall
6911 No. 3 Road**

**Wednesday, May 13, 2020
3:30 p.m.**

MINUTES

*Motion to adopt the **minutes** of the Development Permit Panel meeting held on April 29, 2020.*



1. **GENERAL COMPLIANCE – REQUEST BY 0989705 B.C. LTD. FOR A GENERAL COMPLIANCE RULING AT 5333 NO. 3 Road (FORMERLY 7960 ALDERBRIDGE WAY AND 5333 & 5411 NO. 3 ROAD)**

(File Ref. No.: DP 16-740262) (REDMS No. 6431988 v. 2)

APPLICANT: 0989705 B.C. Ltd.

PROPERTY LOCATION: 5333 No. 3 Road (formerly 7960 Alderbridge Way and 5333 & 5411 No. 3 Road)

Director's Recommendations

That the attached plans to change cladding materials on the building elevations, as well as changes to parking, bicycle facilities and electrical service areas, be considered to be in General Compliance with the approved Development Permit (DP 16-740262).



2. **DEVELOPMENT PERMIT 18-821292**

(REDMS No. 6445244)

APPLICANT: Pinnacle Living (Capstan Village) Lands Inc.

PROPERTY LOCATION: 3208 and 3211 Carscallen Road

ITEM

Director's Recommendations

That a Development Permit be issued which would:

1. *permit the construction of a single-tower high-density residential building, consisting of 207 dwelling units, including 41 affordable housing units, at 3208 Carscallen Road on a lot zoned "Residential/Limited Commercial and Artist Residential Tenancy Studio Units (ZMU25) Capstan Village (City Centre)";*
2. *permit the construction of a two-tower, mixed-use, high-density building including retail and café/restaurant space, 131 hotel rooms and 115 residential units in the south tower, and retail and office space in the north tower, at 3211 Carscallen Road on a lot zoned "Residential/Limited Commercial and Artist Residential Tenancy Studio Units (ZMU25) Capstan Village (City Centre)"; and*
3. *vary the provisions of Richmond Zoning Bylaw 8500 to:*
 - (a) *increase the maximum permitted balcony projection for balconies into required setbacks at 3208 Carscallen Road and 3211 Carscallen Road, from 1.0 m to 1.7 m; and*
 - (b) *increase the maximum permitted projection for architectural features into required setbacks at 3208 Carscallen Road and 3211 Carscallen Road from 0.6 m to 1.7 m.*



3. DEVELOPMENT PERMIT 19-853070
(REDMS No. 6434781)

APPLICANT: Eric Law Architect Inc.

PROPERTY LOCATION: 9091 and 9111 No. 2 Road

Director's Recommendations

That a Development Permit be issued which would:

1. *permit the construction of eight townhouse units at 9091 and 9111 No. 2 Road on a site zoned "Low Density Townhouses (RTL4)"; and*
2. *vary the provisions of Richmond Zoning Bylaw 8500 to:*
 - (a) *reduce the minimum lot width from 50.0 m to 40.7 m;*
 - (b) *reduce the minimum front yard setback from 6.0 m to 4.5 m; and*
 - (c) *Increase the allowable small car parking spaces from 42% (8 spaces).*



ITEM

4. **DEVELOPMENT VARIANCE 19-869780**
(REDMS No. 6405804)

APPLICANT: Omicron Architecture Engineering Construction Ltd.

PROPERTY LOCATION: 8011 Zylmans Way & 15111 Williams Road

Director's Recommendations

That a Development Variance Permit be issued which would vary the provisions of Richmond Zoning Bylaw 8500 to increase the maximum height as measured from the finished foundation slab elevation for Building #1 from 13.0 m to 15.4 m to the top of the building parapet and 17.4 m to the top of the building rooftop equipment.



5. **New Business**

6. **Date of Next Meeting: May 27, 2020**

ADJOURNMENT



**Development Permit Panel
Wednesday, April 29, 2020**

Time: 3:30 p.m.
Place: Council Chambers
Richmond City Hall
Present: Joe Erceg, Chair
Cecilia Achiam, General Manager, Community Safety
Milton Chan, Director, Engineering

The meeting was called to order at 3:30 p.m.

Minutes

It was moved and seconded
That the minutes of the meeting of the Development Permit Panel held on March 11, 2020 be adopted.

CARRIED

1. DEVELOPMENT PERMIT 19-876699
(REDMS No. 6415132 v. 3)

APPLICANT: Oval 8 Holdings Ltd.

PROPERTY LOCATION: 6899 Pearson Way

INTENT OF PERMIT:

1. Permit the construction of a child care facility at 6899 Pearson Way on a site zoned “High Rise Apartment and Olympic Oval (ZMU4) – Oval Village (City Centre)”; and

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2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - (a) decrease the minimum rear (northeast) setback from 3 m to 0.4 m;
 - (b) decrease the minimum side (northwest) setback abutting 6811 Pearson Way from 3 m to 0.4 m;
 - (c) increase the maximum lot coverage for buildings from 45% to 55%;
 - (d) remove the requirement for an on-site loading bay; and
 - (e) increase the maximum height of a fence from 2.4 m to 3.9 m.

Applicant's Comments

Brian Wakelin, Public Architecture and Communication, with the aid of a visual presentation (copy on file, City Clerk's Office), provided background information on the proposed development, highlighting the following:

- the proposed child care facility is part of several amenities provided in the overall "River Green" development;
- the design of the one-storey building and proposed landscaping reflects the area's historical built form and landscape and considers its site context, including the adjacent Environmentally Sensitive Area (ESA) to the east of the subject site;
- the proposed child care facility is intended for two distinct children's age groups and informs the programming of the indoor and outdoor spaces of the facility;
- the railroad heritage of the area is expressed in the proposed landscaping along the River Road frontage including, among others, the provision of pedestrian amenities commemorating the railroad;
- the children's play area in the courtyard will receive adequate sun exposure;
- children's drop-off areas are located at the front of the building's main entrance on the west side and in the underground parkade which is accessed on the north side;
- an elevator will provide accessibility from the Pearson Way sidewalk and the underground parkade to the main floor of the building;
- there is connectivity between the subject site and the adjacent ESA and the boardwalk to the east and continuity of the street wall of the subject site and Lot 12 to the west;
- the children's play area provides various play opportunities appropriate for the two children's age groups; and
- the project aims to achieve a sustainability target of LEED Silver Equivalency certification.

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In reply to a query from the Panel, Mr. Wakelin acknowledged that the proposed height variance of the proposed fence on the east side was requested to comply with child care facility regulations.

Staff Comments

Wayne Craig, Director, Development, noted that (i) there is a Servicing Agreement for frontage works associated with the project along Pearson Way, (ii) staff support the proposed variances which are the result of the site context, the project's interface with the City-owned wooded lot to the northeast, the constrained site size, and the provision of an on-site loading bay on the access easement on the adjacent site to the north, (iii) the child care facility will be transferred by the developer to the City prior to the occupancy of the adjacent development to the north, (iv) the project will be connected to the Oval Village District Energy Utility (DEU), and (v) the project design has been reviewed by the City's child care and facilities staff and Vancouver Coastal Health staff to confirm child care licencing requirements.

In reply to a query from the Panel, Mr. Craig confirmed that the proposed variances are consistent with the master planning of the overall River Green development.

Gallery Comments

None.

Correspondence

None.

Panel Decision

It was moved and seconded

That a Development Permit be issued which would:

1. *permit the construction of a child care facility at 6899 Pearson Way on a site zoned "High Rise Apartment and Olympic Oval (ZMU4) – Oval Village (City Centre)"; and*
2. *vary the provisions of Richmond Zoning Bylaw 8500 to:*
 - (a) *decrease the minimum rear (northeast) setback from 3 m to 0.4 m;*
 - (b) *decrease the minimum side (northwest) setback abutting 6811 Pearson Way from 3 m to 0.4 m;*
 - (c) *increase the maximum lot coverage for buildings from 45% to 55%;*
 - (d) *remove the requirement for an on-site loading bay; and*
 - (e) *increase the maximum height of a fence from 2.4 m to 3.9 m.*

CARRIED

3.

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2. **DEVELOPMENT PERMIT 18-817925**

(REDMS No. 6405038)

APPLICANT: Wensley Architecture Ltd.

PROPERTY LOCATION: 13020 Delf Place

INTENT OF PERMIT:

Permit the construction of a single-storey building with drive-through restaurant use at 13020 Delf Place on a site zoned “Industrial Business Park (IB1)”.

Applicant’s Comments

Gordon Wylie, representative of Great-West Life Realty Advisors, provided background information on the proposed development, noting that the primary purpose of the proposed drive-through restaurant building is to provide a needed amenity in the area.

Staff Comments

Mr. Craig noted that (i) the proposal is consistent with the zoning application presented to Council, (ii) there is a Servicing Agreement associated with the project for frontage improvements along the two street frontages of the proposed development and for installation of a marked crosswalk along Jacombs Road at the intersection of Jacombs Road and Delf Place, (iii) a traffic impact assessment for the project was submitted by the applicant at rezoning stage, (iv) the acoustical report submitted by the applicant confirms that the project complies with the City’s Noise Regulation Bylaw, (v) there is a legal agreement to secure the participation of the proposed drive-through business in the City’s Adopt-a-Street Program to ensure that Jacombs Road is free of litter and trash, and (vi) one electric vehicle (EV) station and one parking space equipped with a 240-volt electric outlet will be provided on the site.

In reply to queries from the Panel, Mr. Craig advised that (i) the traffic impact assessment confirms that the anticipated flow of vehicular traffic in the area including and drive-through vehicle queueing area could be accommodated by the existing road network and proposed site layout, (ii) the development permit proposal is consistent with what was presented at rezoning stage, and (iii) the 240-volt electrical outlet installed for one parking stall will allow the future installation of an additional charging station.

Panel Discussion

In reply to queries from the Panel, Barry Weih, Wensley Architecture Ltd., confirmed that (i) the proposed and future EV charging stations could be used by the drive-through restaurant employees and the public, and (ii) the proposed garbage and recycling area is located away from residential areas and will be screened.

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Gallery Comments

None.

Correspondence

None.

Panel Decision

It was moved and seconded

That a Development Permit be issued which would permit the construction of a single-storey building with drive-through restaurant use at 13020 Delf Place on a site zoned "Industrial Business Park (IB1)".

CARRIED

3. DEVELOPMENT PERMIT 18-826280

(REDMS No. 6345235)

APPLICANT: Gradual Architecture Inc.

PROPERTY LOCATION: 4100 Vanguard Road

INTENT OF PERMIT:

Permit the development of a 927 m² light industrial building at 4100 Vanguard Road on a site zoned "Industrial Retail (IR1)".

Applicant's Comments

Ian Guan, Gradual Architecture Inc., with the aid of a visual presentation (copy on file, City Clerk's Office), provided background information on the proposed development, highlighting the following:

- the proposed site layout, i.e., surface parking lot at the front and the two-storey light industrial building at the rear, provides easy access for vehicles and bicycles into the site;
- the proposed industrial building will be set back 10 feet from the east property line to address the residential uses to the east of the subject site;
- the shadow analysis indicates that the proposed two-storey industrial building will result in minimal shadowing to the residential properties to the east as there is a large existing hedge that will be retained to the east;
- there are no overlook concerns for the adjacent residential properties to the east due to the screening provided by the existing tall hedge along the east property line;
- warehouse and office spaces are provided in the two-storey industrial building,

5.

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- windows and openings will be installed only on the front (west) façade of the building to avoid potential overlook and privacy concerns for neighbouring properties, particularly for residential properties to the east;
- varying materials and colours are proposed for the front façade to provide visual interest; and
- rooftop mechanical units will be installed on the west portion of the building away from residential properties and will be screened.

Patricia Campbell, PMG Landscape Architects, briefed the Panel on the main landscape features of the project, noting that (i) plantings, hedges and trees are proposed on the front (west) side, (ii) permeable paving treatment is proposed for the pedestrian pathway to the site, and (iii) the 10-foot buffer zone along the east side of the property will be landscaped.

In reply to queries from the Panel, Ms. Campbell acknowledged that (i) the climbing vine proposed to grow on the trellis structure mounted to the east building wall is shade tolerant, and (ii) the mature hedge along the east property line provides visual screening to the residential properties to the east.

In reply to a query from the Panel, Mr. Guan confirmed that the proposed building will be occupied by a single tenant.

In reply to a further query from the Panel regarding the appropriate size of trees proposed to be planted on-site considering their small number, Ms. Campbell advised that the caliper of trees to be installed on the site could be upsized.

Direction was then given to staff to work with the applicant to increase the caliper of trees to be planted on-site prior to the application moving forward for Council consideration.

Staff Comments

Mr. Craig noted that (i) there is a Servicing Agreement for frontage improvements along Vanguard Road, (ii) two Level 2 EV charging stations will be provided in the parking area, and (iii) a legal agreement will be secured to ensure that a 10 percent total energy savings beyond the minimum BC Building Code 2018 requirements will be implemented with the project.

Gallery Comments

None.

Correspondence

None.

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Panel Decision

It was moved and seconded

That a Development Permit be issued which would permit the development of a 927 m² light industrial building at 4100 Vanguard Road on a site zoned "Industrial Retail (IRI)".

CARRIED

4. DEVELOPMENT PERMIT 18-829204

(REDMS No. 6407865)

APPLICANT: Fougere Architecture Inc.

PROPERTY LOCATION: 9391, 9393 and 9411 No. 2 Road

INTENT OF PERMIT:

1. Permit the construction of 11 townhouse units at 9391, 9393 and 9411 No. 2 Road on a site zoned "Medium Density Townhouses (RTM2); and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - (a) reduce the front yard setback from 6.0 m to 5.05 m; and
 - (b) increase the allowable small car parking spaces from 0 to 20% (5 spaces).

Applicant's Comments

Wayne Fougere, Fougere Architecture Inc., with the aid of a visual presentation (copy on file, City Clerk's Office), provided background information on the proposed development, highlighting the following:

- the proposed development includes 11 family-oriented townhouse units and one secondary unit;
- three-storey units front onto No. 2 Road, with the exception of the northernmost unit which is two storeys, and two-storey duplexes are sited at the rear (west side), adjacent to single-family homes;
- significant trees along the north property line and smaller trees along the west property line are proposed to be retained;
- the proposed architectural styles for the project include a "brownstone" rowhouse concept with "modern farmhouse" finish;
- proposed primary exterior building materials include, among others, brick cladding and board and batten;
- permeable paving treatment is proposed for prominent areas on the site and parking stalls;

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- internal pedestrian pathways are proposed; and
- the common outdoor amenity area includes, among others, a children's play area, bicycle racks and seating;

In reply to queries from the Panel, Mr. Fougere acknowledged that (i) the rear yards of the rear townhouse units will be raised by two feet, (ii) the proposed front yard setback variance will result in a larger rear yard setback, (iii) future developments to the north will be allowed access through the site, and (iv) significant measures are being adopted to protect the roots of retained trees along the north property line during construction.

Staff Comments

Mr. Craig noted that (i) there is a Servicing Agreement for frontage works and bus stop upgrades, (ii) the proposed front yard setback variance is consistent with Official Community Plan (OCP) guidelines which support a reduced front yard setback where a larger rear yard setback is provided, (iii) an acoustical report was provided by the applicant which indicates that interior noise standards in the OCP will be achieved, and (iv) the proposed small car parking variance will allow more side-by-side arrangements in parking garages.

Gallery Comments

None.

Correspondence

None.

Panel Decision

It was moved and seconded

That a Development Permit be issued which would:

1. *permit the construction of 11 townhouse units at 9391, 9393 and 9411 No. 2 Road on a site zoned "Medium Density Townhouses (RTM2); and*
2. *vary the provisions of Richmond Zoning Bylaw 8500 to:*
 - (a) *reduce the front yard setback from 6.0 m to 5.05 m; and*
 - (b) *increase the allowable small car parking spaces from 0 to 20% (5 spaces).*

CARRIED

5. Date of Next Meeting: May 13, 2020

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6. Adjournment

It was moved and seconded

That the meeting be adjourned at 4:30 p.m.

CARRIED

Certified a true and correct copy of the Minutes of the meeting of the Development Permit Panel of the Council of the City of Richmond held on Wednesday, April 29, 2020.

Joe Erceg
Chair

Rustico Agawin
Committee Clerk



City of
Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: April 20, 2020

From: Wayne Craig
Director, Development

File: DP 16-740262

Re: **Application by 0989705 B.C. Ltd. for a Development Permit at 5333 No. 3 Road
(formerly 7960 Alderbridge Way and 5333 & 5411 No. 3 Road)**

Staff Recommendation

That the attached plans to change cladding materials on the building elevations, as well as changes to parking, bicycle facilities and electrical service areas, be considered to be in General Compliance with the approved Development Permit (DP 16-740262).

A handwritten signature in black ink, appearing to read "Wayne Craig".

Wayne Craig
Director, Development
(604-247-4625)

WC:sb
Att. 3

Staff Report

Origin

0989705 B.C. Ltd. has requested a General Compliance ruling regarding changes to the approved Development Permit (DP 16-740262) for a 14-storey, 18,720 m² (201,500 ft²), mixed-use development at 5333 No. 3 Road (formerly 7960 Alderbridge Way and 5333 & 5411 No. 3 Road) on a site zoned “City Centre High Density Mixed Use (ZMU34) – Lansdowne Village” (Attachment 1). The project includes six residential towers and one office tower located above a large podium that includes interior parking and service areas, and commercial spaces facing the public realm on the north, south, east and west sides of the development. This Development Permit was endorsed by the Development Permit Panel on August 8, 2018, and was issued and the associated rezoning bylaw adopted (RZ 15-692485) by Council on November 13, 2018.

This staff report summarizes proposed modifications to the approved Development Permit including changes to the cladding materials on the building elevations as well as changes to parking, bicycle facilities and electrical service areas.

Background

Development surrounding the subject site is as follows:

To the North: Across Alderbridge Way, existing, low-scale, commercial development.

To the East: Across No. 3 Road, the Lansdowne Mall site, which is subject to an Official Community Plan (OCP) amendment application to adjust the land use designation (CP 15-717017). This application is under staff review.

To the South: Across the future, new east-west road, existing low- and medium-scale commercial development. The lots at 5591, 5631, 5651 and 5671 No. 3 Road are subject to a rezoning application (RZ 17-779262) for a mixed-use development that is at 3rd reading. These lots are also subject to a Development Permit application (DP 18-829141) that is under staff review and will be the subject of separate reporting. The lot at 5551 No. 3 Road is not part of the development site to the south.

To the West: Across the existing City lane, existing low-scale commercial and light industrial development with surface parking. The property at 5520 Minoru Boulevard (located to the south-west of the subject site) is subject to a rezoning application for a mixed-use development (RZ 16-744658). The application is under staff review.

Staff Comments

The proposed changes to the scheme attached to this report are in general compliance with the original approved Development Permit (Attachment 2). In addition, the modified proposal (Attachment 3) complies with the intent of applicable sections of the Official Community Plan (OCP), the City Centre Area Plan (CCAP), and is in compliance with the “City Centre High Density Mixed Use (ZMU34) – Lansdowne Village” zone.

Analysis

Proposed Changes to Building Elevations

Custom profile metal panel cladding is proposed on the six residential buildings to replace heavier weight terracotta panels. The finish and custom relief profile remain the same. The heavier and more fragile terracotta material would have required increased structural support to meet seismic requirements, which would have resulted in increased thermal bridging. This revision is requested to avoid significant seismic requirements and to increase building envelope thermal performance.

Architectural louvres at the top of the storefront glazing of commercial spaces at the ground level are proposed to be reduced in size and lowered in height with spandrel panels proposed above the louvres. This revision is requested to accommodate the mechanical design within the commercial units.

Painted concrete canopies are proposed over top floor residential balconies facing the internal courtyard at level 9 of buildings A, B and C and level 14 of buildings E and F are proposed to replace steel framed glass canopies. This revision is requested to match the top floor residential balconies facing the streets on all six residential buildings.

These proposed changes will improve the overall form and character of the building design.

Proposed Changes to Parking

Proposed changes to the provision of on-site parking are a result of efficiencies in the parking structure layout that facilitate the additional parking spaces proposed to be provided. The efficiencies were enabled through the applicant working with BC Hydro to refine and reduce the SRW needs for BC Hydro equipment and re-organizing the layout of parking and bicycle storage.

Approved DP 16-740262 provided 1,142 on-site parking spaces overall and did not include any tandem parking spaces. The proposal provides 1,257 on-site parking spaces overall, an increase of 115 parking spaces. The proposal includes 108 additional residential parking spaces, 84 of which are proposed to be provided in a tandem arrangement. The parking spaces being provided in tandem arrangement enables the project to further exceed the minimum parking requirements. The proposed parking provision complies with Richmond Zoning Bylaw 8500 and the changes are supported by the Transportation Department.

Proposed changes to the number and type of parking spaces are summarized in Table 1. Changes to the development's parking provision include the parking layout of the three levels of underground parking, increasing the number of resident and commercial parking spaces, introducing tandem parking, and increasing the size of the accessible parking spaces to meet the new zoning bylaw standard. With the introduction of tandem parking, the owner is required to enter into a legal agreement requiring that every pair of tandem parking spaces be assigned to the same dwelling unit and that tandem parking area be used for parking only and not to be converted to habitable space.

Table 1: Summary of Proposed Changes to Parking

	Bylaw Requirement	DP 16-740262 staff report	Proposed	Change from DP staff report
Parking Spaces	City Centre Zone 1 with TDMs: Residential: 542 Market Rental: 83 Affordable Housing: 27 Visitor (shared): 90 Commercial: 224 Office: 133 Car Share: 4 Total: 1,013	City Centre Zone 1 with TDMs: Residential: 548 Market Rental: 83 Affordable Housing: 27 Visitor (shared): 90 Commercial: 225 Office: 255 Car Share: 4 Total: 1,142	City Centre Zone 1 with TDMs: Residential: 656 Market Rental: 83 Affordable Housing: 27 Visitor (shared): 90 Commercial: 232 Office: 255 Car Share: 4 Total: 1,257	No change 108 space increase No change No change No change 7 space increase No change No change 115 space increase
Accessible spaces	Min 2 %	2% (28 spaces)	2% (27 spaces) and increased in size to meet new standard	1 space decrease
Small Car Spaces	Max. 50%	27% (303 spaces)	34% (428 spaces)	125 space increase
Tandem Spaces	Permitted	None	84 spaces	84 space increase

Proposed Changes to Bicycle Facilities

The secure class 2 bicycle storage spaces are proposed to be redistributed within the parking structure. There is no change to the number of class 2 bicycle storage spaces. The bicycle maintenance room for building A is proposed to be relocated next to the proposed bicycle storage room for building A. This revision is requested to accommodate the proposed parking changes and to provide a more efficient layout and distribution of bicycle storage spaces. Transportation staff have reviewed and support the proposed changes.

Proposed Changes to Electrical Service Areas

The BC Hydro equipment (Vista switch and LPT) and access layout area is proposed to be increased in size at the ground level, and clearance below is proposed to be reduced in depth. The main electrical switch room is proposed to be relocated to the ground floor from level 3. These revisions are requested to meet revised BC Hydro servicing requirements and have been reviewed by Transportation staff with no impacts identified on pedestrian circulation.

Conclusions

0989705 B.C. Ltd. has requested a General Compliance ruling for proposed changes to the cladding materials on the building elevations as well as changes to parking, bicycle facilities and electrical service areas.

Staff have no objection to the proposed revisions. Staff recommends support of this General Compliance request for the proposed changes to the approved Development Permit.



Sara Badyal
Planner 2
(604-276-4282)

SB:blg

Attachments:

Attachment 1: Context Map

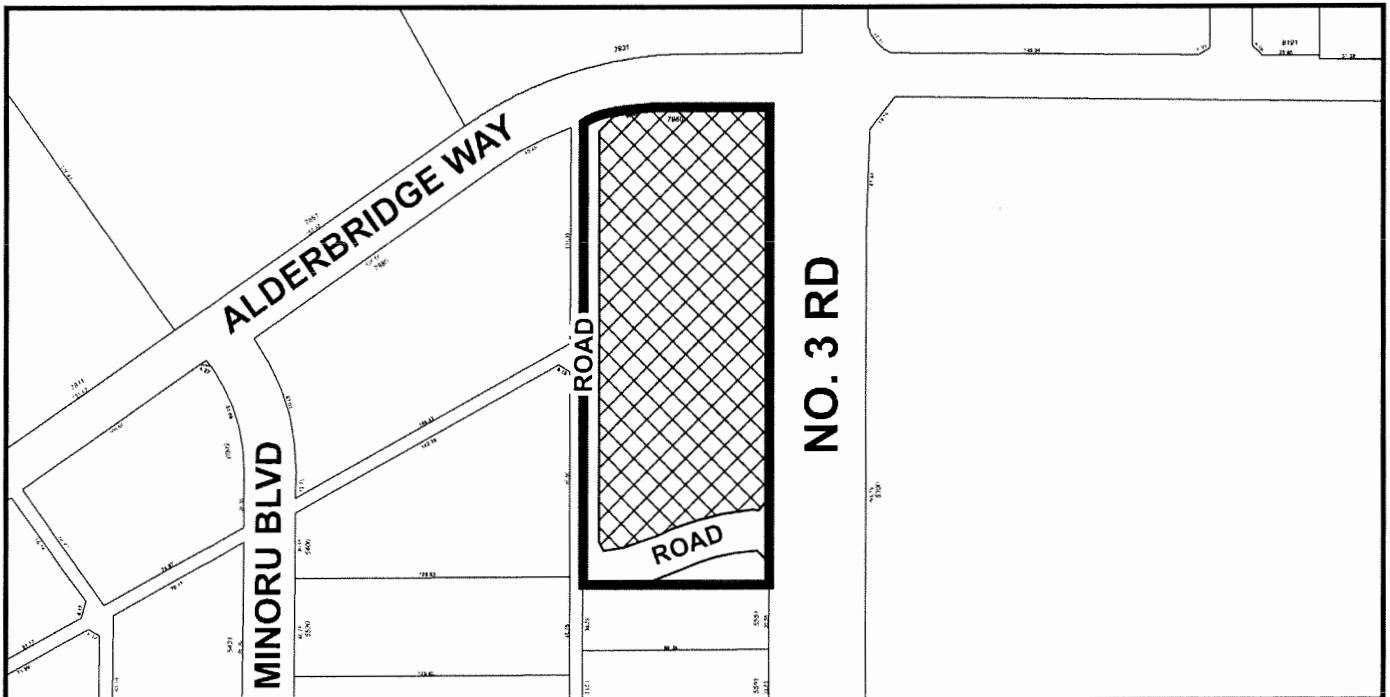
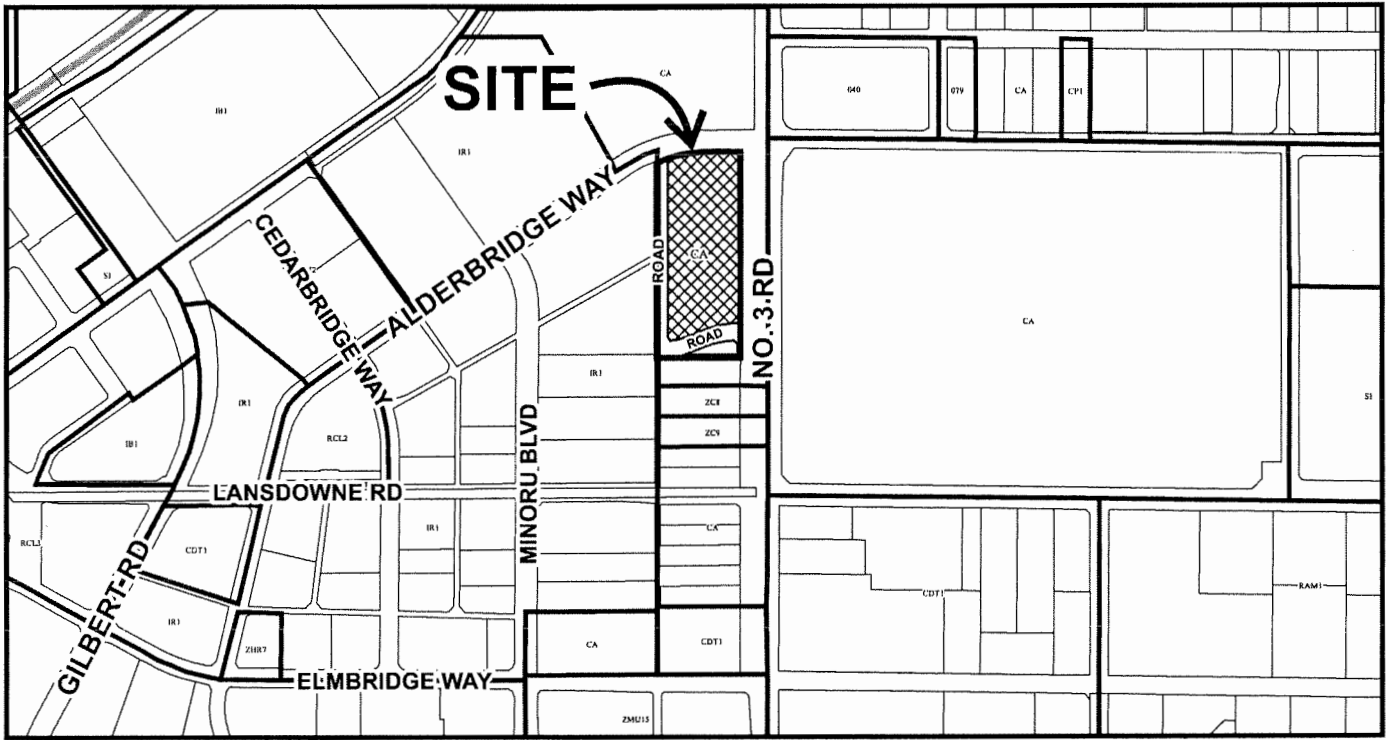
Attachment 2: Relevant Approved Development Permit Plans

Attachment 3: Proposed New Development Permit Plans

Prior to forwarding this application to Council for approval, the owner is required to register a tandem parking legal agreement on title requiring that where two parking spaces are provided in a tandem arrangement, both parking spaces must be assigned to the same dwelling unit for the sole purpose of vehicle parking and prohibiting conversion of any of this area into habitable space including without limitation general storage purposes



City of Richmond



DP 16-740262

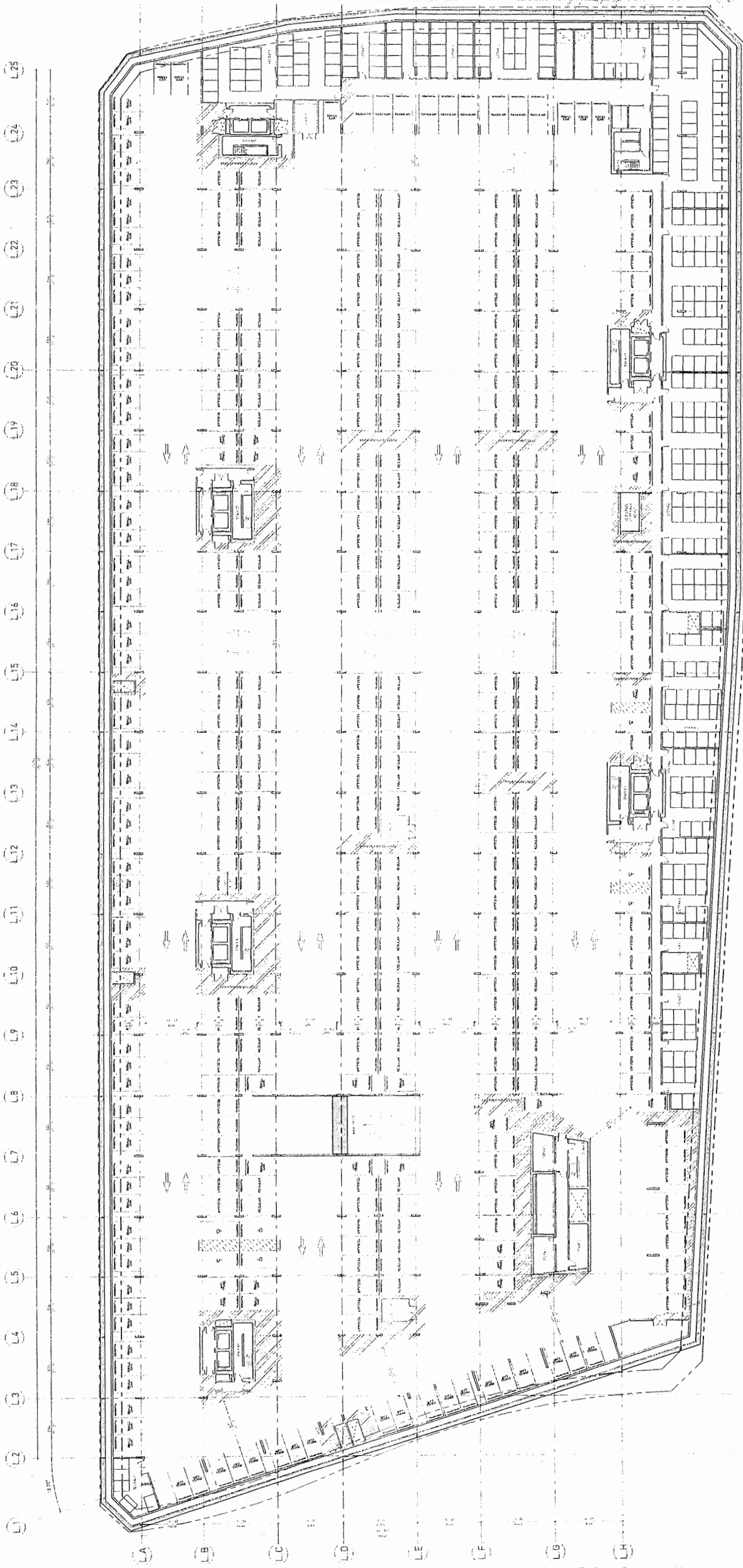
Original Date: 08/18/16
Revision Date: 10/03/18
Note: Dimensions are in METRES



450 WASHINGTON AVE
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REGISTERED PROFESSIONAL ARCHITECTS
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DP 16-740262 #2



REVISIONS
NO. DATE REVISION
BY VERSION



7960 ALDERBRIDGE
WAY

DEVELOPMENT PERMIT

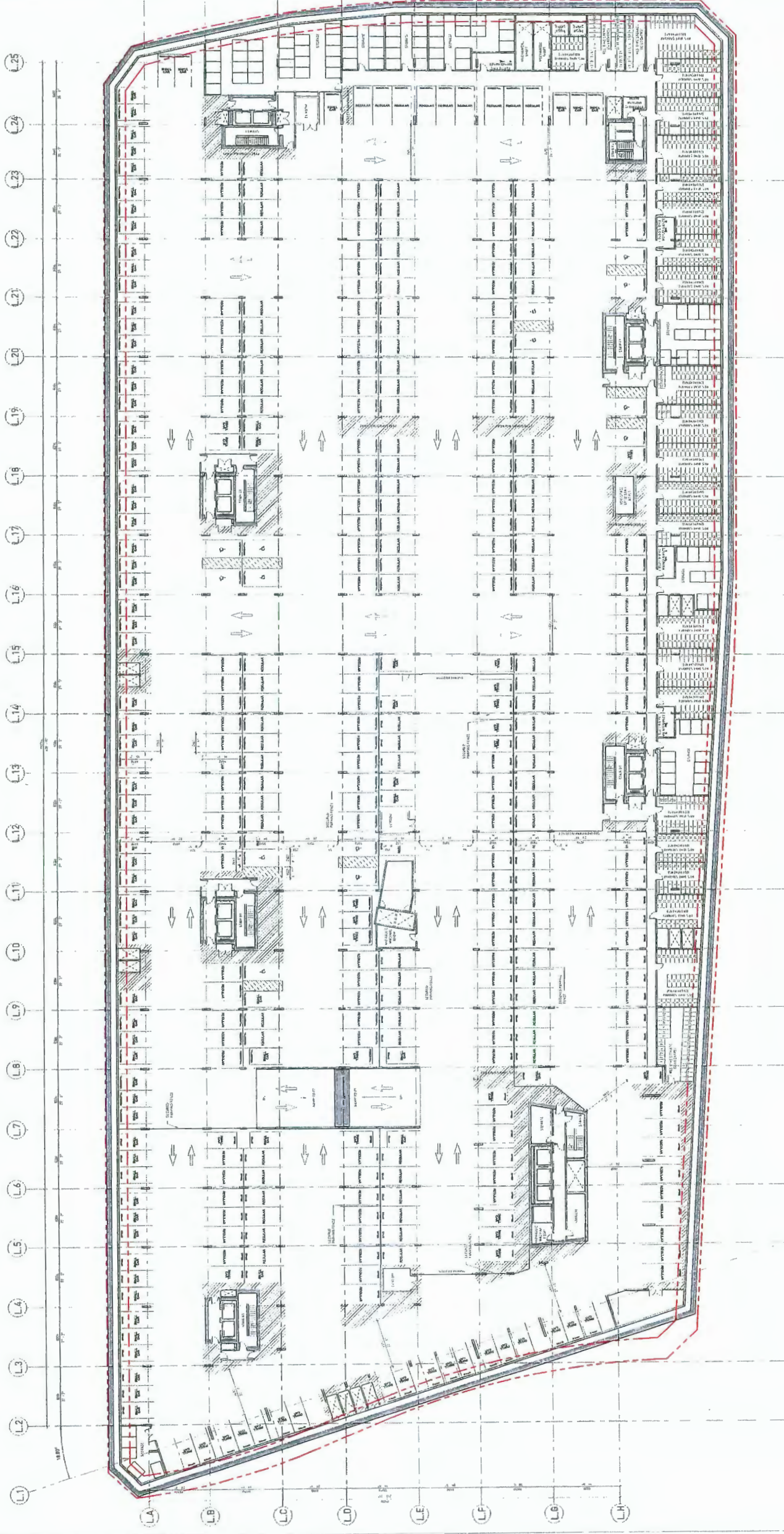
LEVEL PL-3 PLAN

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DP 16-740262 #3



NO.	DATE	DESCRIPTION	ISSUED FOR
01	05/20/16	ISSUED FOR PERMIT	



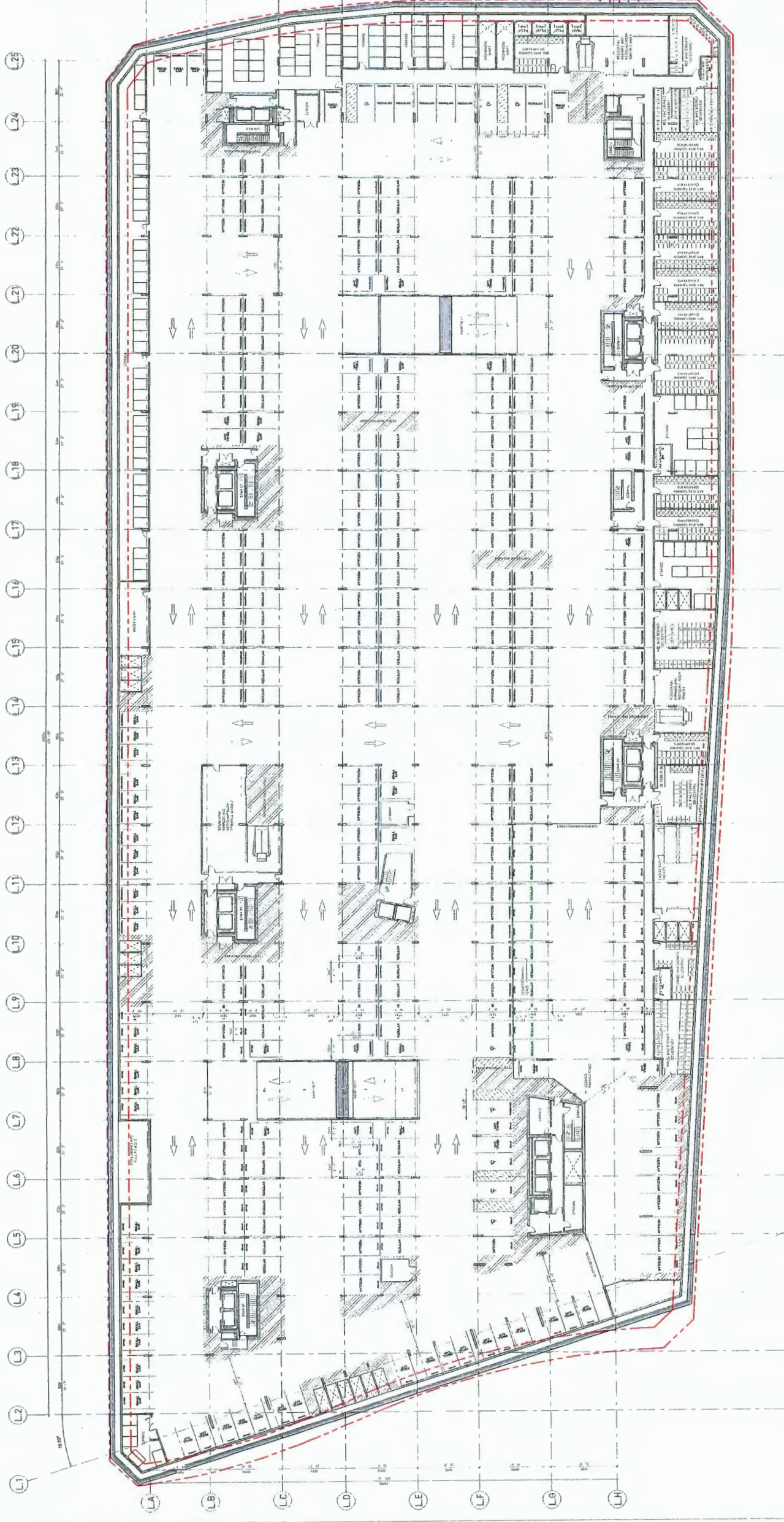
7960 ALDERBRIDGE WAY

DEVELOPMENT PERMIT

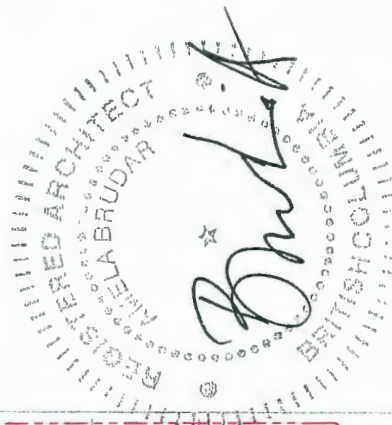
LEVEL PL-2 PLAN

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DP 16-740262 #4



NO	DATE	DESCRIPTION	DESIGNED BY
01	05/28/16	ISSUED FOR DP	



7940 ALDERBRIDGE
 WAY
 DEVELOPMENT PERMIT
 LEVEL PL-1 PLAN

DATE: 05/28/16
 DRAWN BY: DMB
 CHECKED BY: DMB
 SCALE: 1/8"=1'-0"
 JOB NUMBER: 17020

gbl

G. BIL ARCHITECTS INC.
TEL: 416.779.1218
4160 SHEPPARD AVENUE EAST, SUITE 204
MARKHAM, ONTARIO L3R 9V4
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REGISTRATION NO. 23310
PROFESSIONAL DESIGNERS
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DP 16-740262 #16

ALDERBRIDGE WAY

NEW NORTH-SOUTH ROAD

NEW EAST-WEST ROAD

NO. 3 ROAD

REVISIONS	DATE	DESCRIPTION	DESIGNED BY
01	1/22/2018	ISSUED FOR DP	



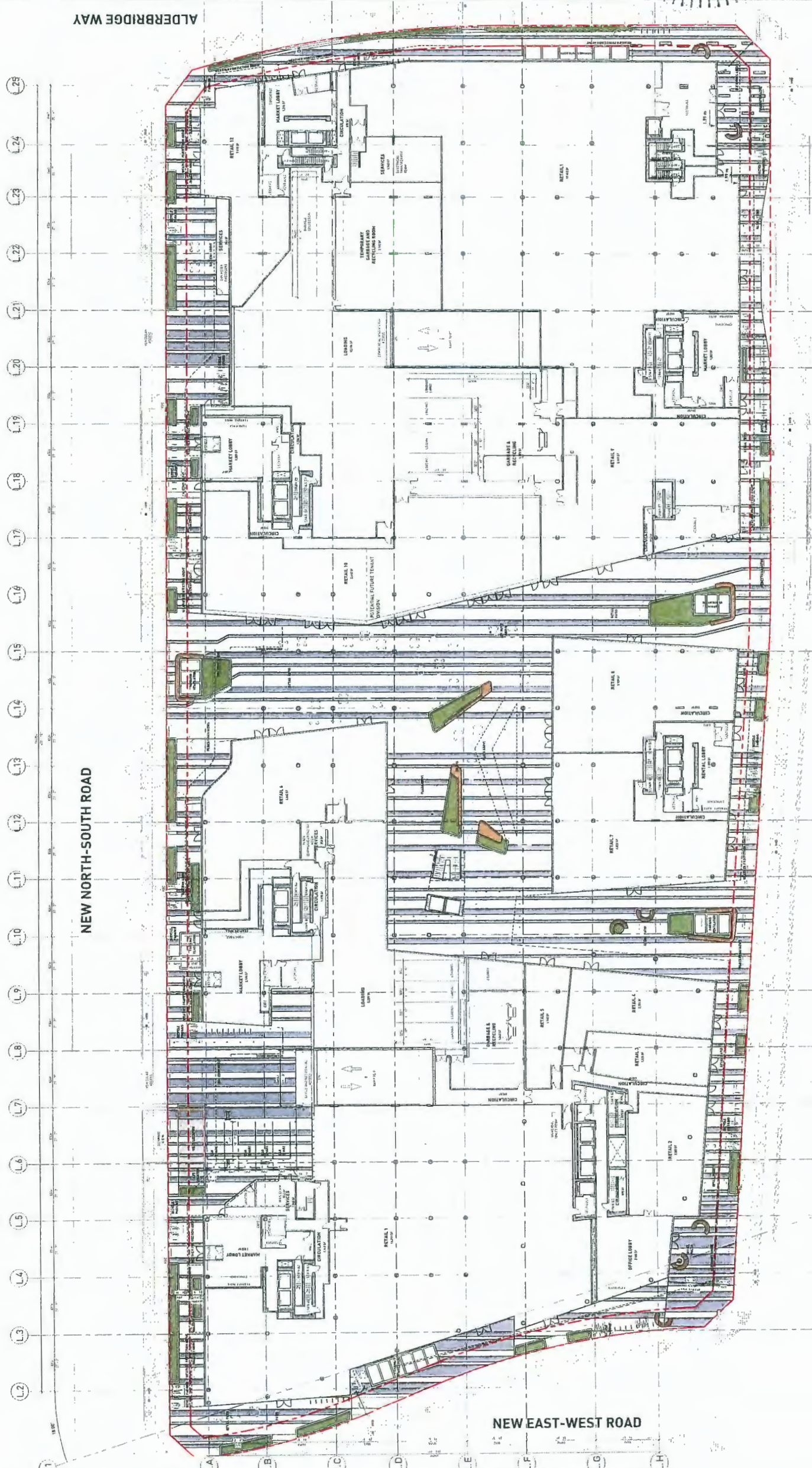
7960 ALDERBRIDGE
WAY

DEVELOPMENT PERMIT

LEVEL 1 PLAN

DATE: 1/22/2018
DRAWN BY: [Signature]
CHECKED BY: [Signature]
SCALE: 1:32
JOB NUMBER: 17020

A.3.01

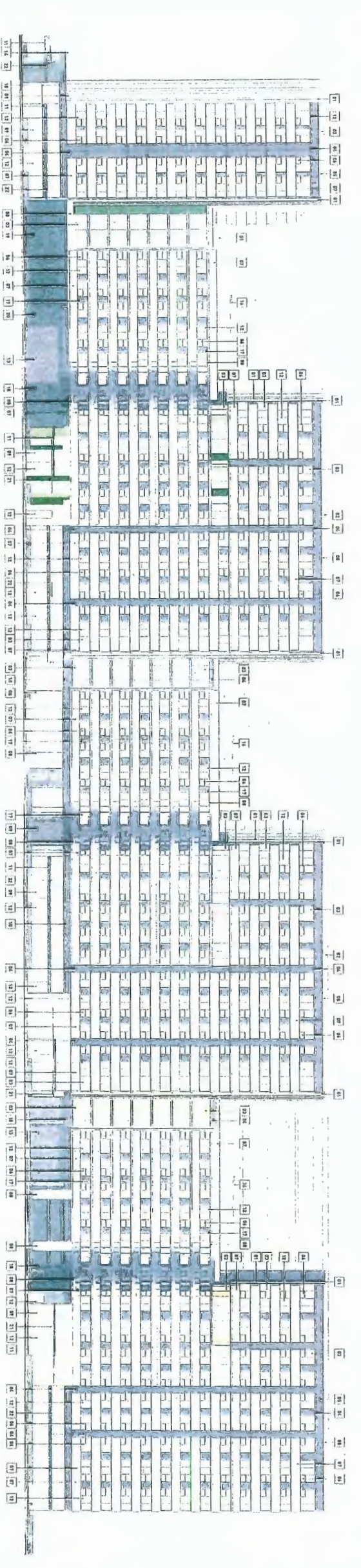
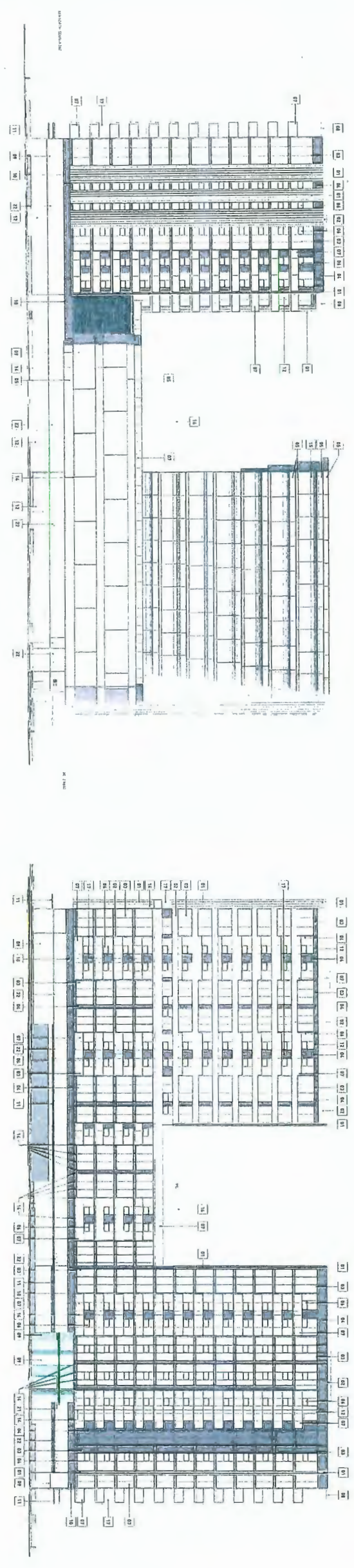
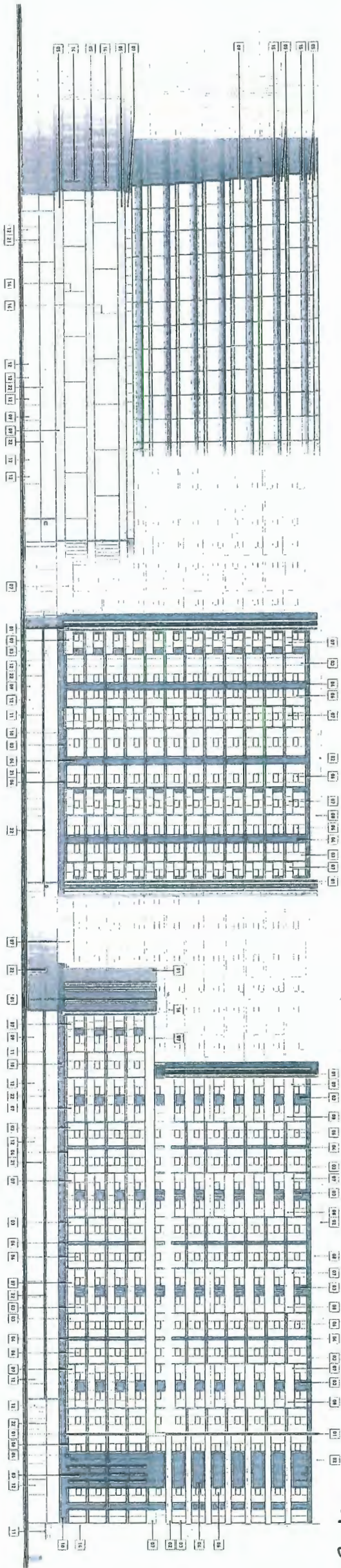


DP 16-740262

#28

gbl

gbl ARCHITECTS INC.
 755, 101, 201, 1114
 VANCOUVER, BC CANADA V6J 1A8 TEL: 604 271 1214
 1000-1000 AVENUE OF THE STARS, SUITE 1000
 CALGARY, ALBERTA T2C 1E1 CANADA TEL: 403 243 1214
 KETPLAN



REVISIONS

NO	DATE	REVISION
01	1/20/20	DATE SHOWN AS P

MATERIAL LIST

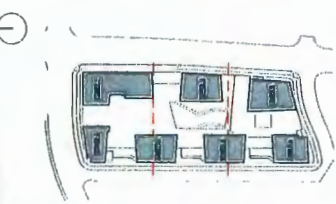
NO	Description	Color
01	Exterior Cladding	White Board
02	Interior Cladding	White Board
03	Window Frame	White
04	Window Sill	White
05	Window Head	White
06	Window Jamb	White
07	Window Pane	White
08	Window Glazing	White
09	Window Sealant	White
10	Window Hardware	White
11	Window Trim	White
12	Window Detail	White
13	Window Finish	White
14	Window Installation	White
15	Window Maintenance	White
16	Window Replacement	White
17	Window Upgrade	White
18	Window Repair	White
19	Window Inspection	White
20	Window Certification	White



7950 ALDERBRIDGE
 WAY
 DEVELOPMENT PERMIT
 ELEVATIONS

DATE: 1/20/20
 CHECKED BY: [Signature]
 SCALE: 1/8" = 1'-0"
 JOB NUMBER: 17020

A5.00



NO.	DATE	REVISION	DESCRIPTION	DESIGNER/DP
01	02/27/14		ISSUED FOR DP	

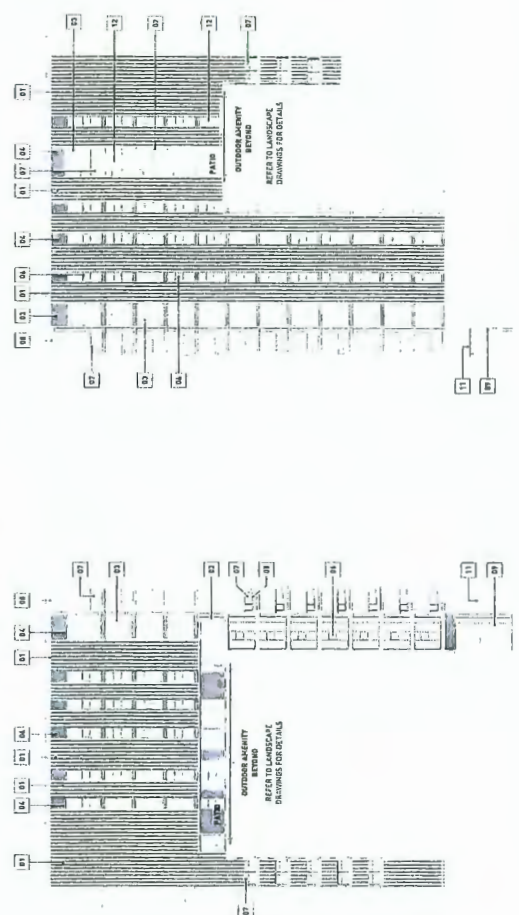
MATERIAL LIST	
NO.	DESCRIPTION
1	Concrete
2	Steel Decking
3	Rebar
4	Formwork
5	Formwork Liner
6	Formwork Bracing
7	Formwork Ties
8	Formwork Clips
9	Formwork Screws
10	Formwork Nails
11	Formwork Washers
12	Formwork Gaskets
13	Formwork Sealant
14	Formwork Grease
15	Formwork Release Agent
16	Formwork Lubricant
17	Formwork Adhesive
18	Formwork Sealant
19	Formwork Grease
20	Formwork Release Agent
21	Formwork Lubricant
22	Formwork Adhesive
23	Formwork Sealant
24	Formwork Grease
25	Formwork Release Agent
26	Formwork Lubricant
27	Formwork Adhesive
28	Formwork Sealant
29	Formwork Grease
30	Formwork Release Agent
31	Formwork Lubricant
32	Formwork Adhesive
33	Formwork Sealant
34	Formwork Grease
35	Formwork Release Agent
36	Formwork Lubricant
37	Formwork Adhesive
38	Formwork Sealant
39	Formwork Grease
40	Formwork Release Agent
41	Formwork Lubricant
42	Formwork Adhesive
43	Formwork Sealant
44	Formwork Grease
45	Formwork Release Agent
46	Formwork Lubricant
47	Formwork Adhesive
48	Formwork Sealant
49	Formwork Grease
50	Formwork Release Agent
51	Formwork Lubricant
52	Formwork Adhesive
53	Formwork Sealant
54	Formwork Grease
55	Formwork Release Agent
56	Formwork Lubricant
57	Formwork Adhesive
58	Formwork Sealant
59	Formwork Grease
60	Formwork Release Agent
61	Formwork Lubricant
62	Formwork Adhesive
63	Formwork Sealant
64	Formwork Grease
65	Formwork Release Agent
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67	Formwork Adhesive
68	Formwork Sealant
69	Formwork Grease
70	Formwork Release Agent
71	Formwork Lubricant
72	Formwork Adhesive
73	Formwork Sealant
74	Formwork Grease
75	Formwork Release Agent
76	Formwork Lubricant
77	Formwork Adhesive
78	Formwork Sealant
79	Formwork Grease
80	Formwork Release Agent
81	Formwork Lubricant
82	Formwork Adhesive
83	Formwork Sealant
84	Formwork Grease
85	Formwork Release Agent
86	Formwork Lubricant
87	Formwork Adhesive
88	Formwork Sealant
89	Formwork Grease
90	Formwork Release Agent
91	Formwork Lubricant
92	Formwork Adhesive
93	Formwork Sealant
94	Formwork Grease
95	Formwork Release Agent
96	Formwork Lubricant
97	Formwork Adhesive
98	Formwork Sealant
99	Formwork Grease
100	Formwork Release Agent

ALL DIMENSIONS ARE IN FEET AND INCHES. ALL
 SQUARE DIMENSIONS TO DIM LINE UNLESS
 OTHERWISE NOTED.

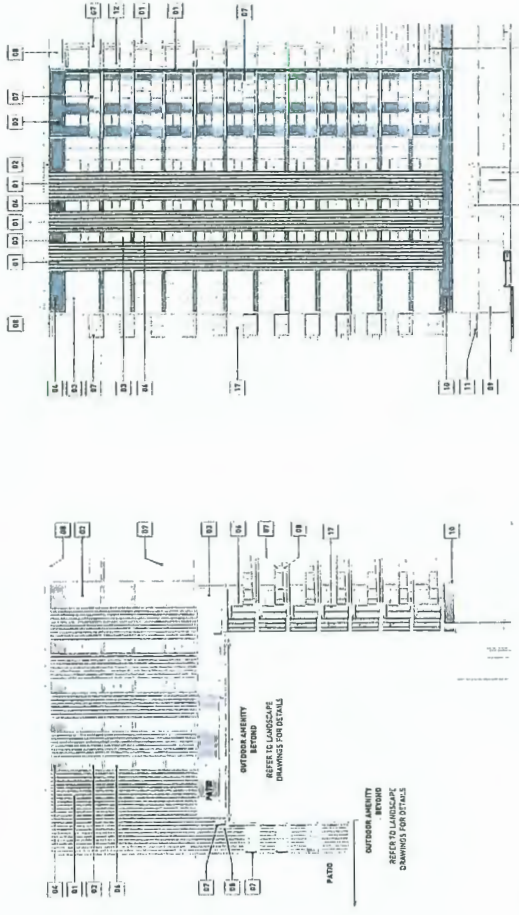


7960 ALDERBRIDGE
 WAY
 DEVELOPMENT PERMIT
 ELEVATIONS
 TOWERS A AND B
 DATE: 02/27/14
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 SCALE: 1/8"=1'-0"
 JOB NUMBER: 17020

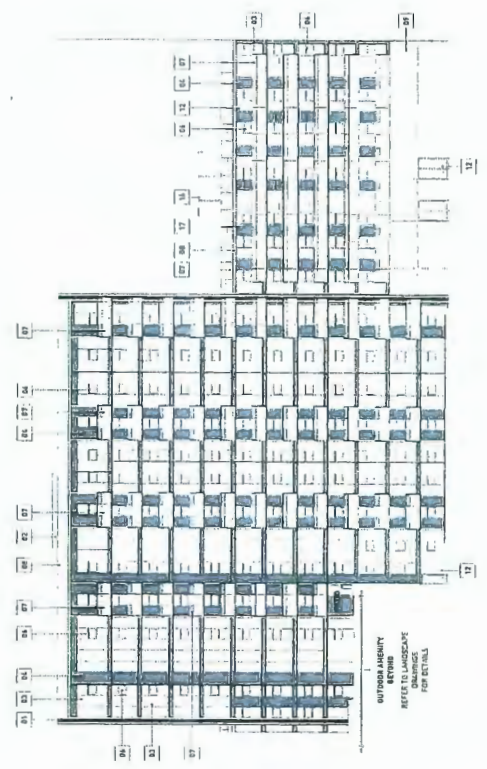
DP 16-740262 #30



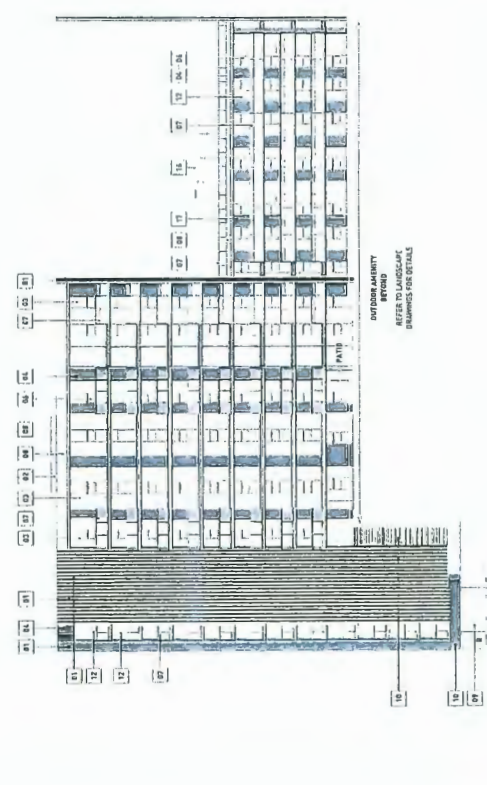
TOWER A - NORTH ELEVATION
1/8"=1'-0"



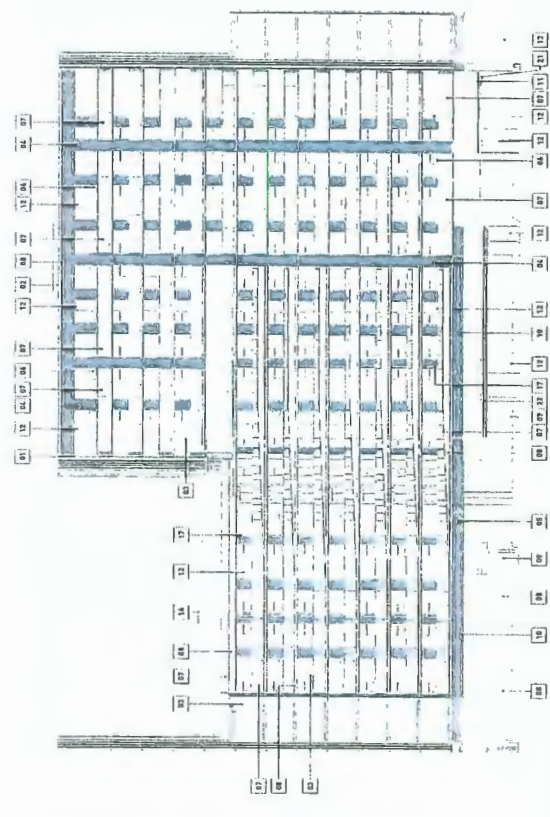
TOWER A - SOUTH ELEVATION
1/8"=1'-0"



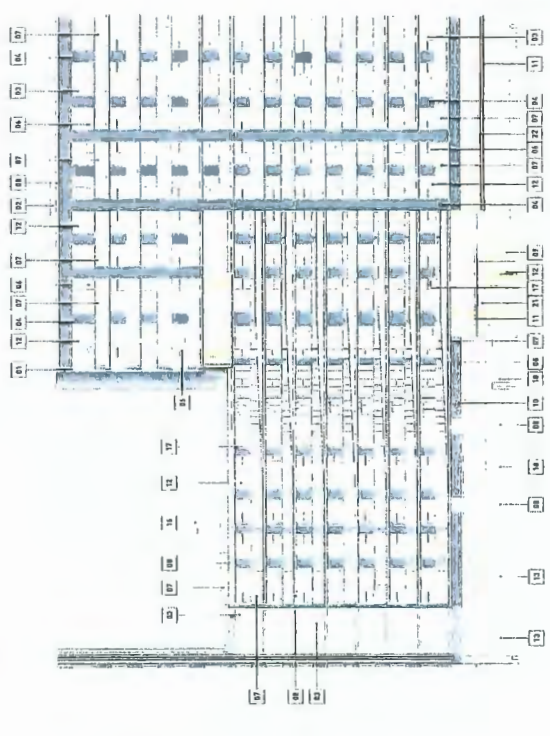
TOWER B - EAST ELEVATION
1/8"=1'-0"



TOWER B - WEST ELEVATION
1/8"=1'-0"



TOWER A - WEST ELEVATION
1/8"=1'-0"



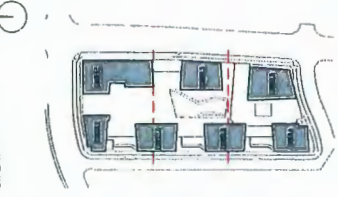
TOWER B - NORTH ELEVATION
1/8"=1'-0"

DP 16-740262 #31

gbi

GBI ARCHITECTS INC
 135 EAST 17th AVENUE
 SUITE 200
 DENVER, CO 80202
 TEL: 303.733.1188
 FAX: 303.733.1179
 WWW.GBIARCHITECTS.COM

KEYPLAN



REVISIONS

NO	DATE	DESCRIPTION
01	10/20/14	ISSUED FOR DP

MATERIAL LIST

#	Description	Color
01	Handrails	White (Brushed)
02	Handrails	White (Brushed)
03	Handrails	White (Brushed)
04	Handrails	White (Brushed)
05	Handrails	White (Brushed)
06	Handrails	White (Brushed)
07	Handrails	White (Brushed)
08	Handrails	White (Brushed)
09	Handrails	White (Brushed)
10	Handrails	White (Brushed)
11	Handrails	White (Brushed)
12	Handrails	White (Brushed)
13	Handrails	White (Brushed)
14	Handrails	White (Brushed)
15	Handrails	White (Brushed)
16	Handrails	White (Brushed)
17	Handrails	White (Brushed)
18	Handrails	White (Brushed)
19	Handrails	White (Brushed)
20	Handrails	White (Brushed)
21	Handrails	White (Brushed)
22	Handrails	White (Brushed)
23	Handrails	White (Brushed)
24	Handrails	White (Brushed)
25	Handrails	White (Brushed)
26	Handrails	White (Brushed)
27	Handrails	White (Brushed)

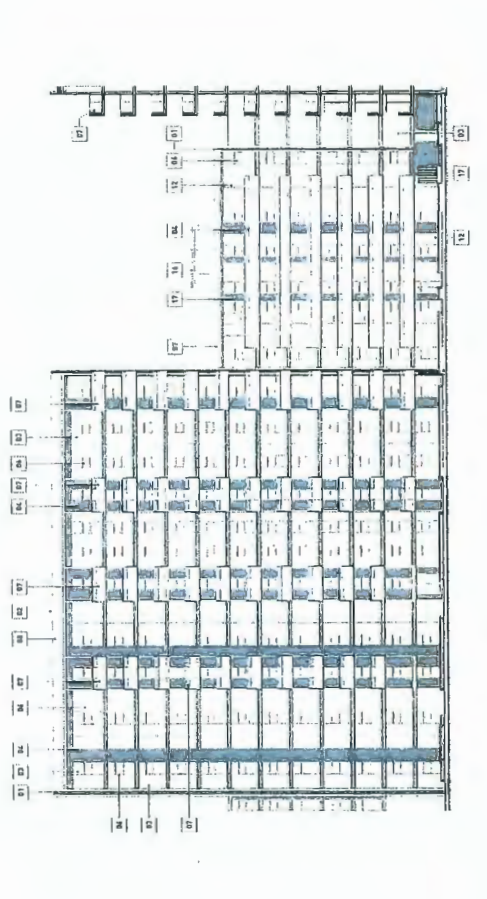
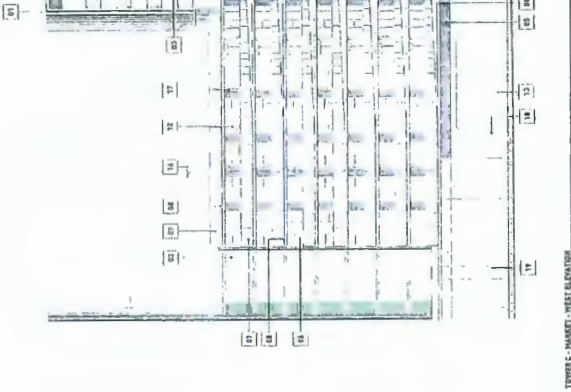
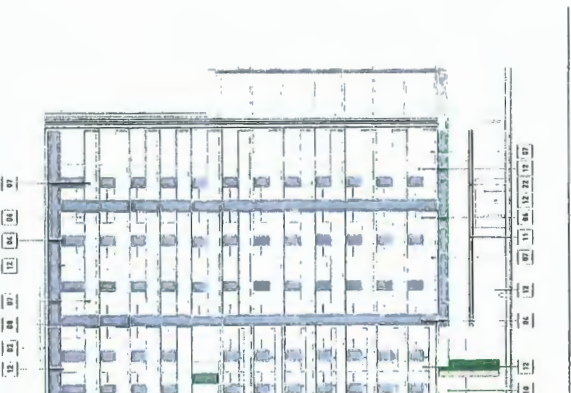
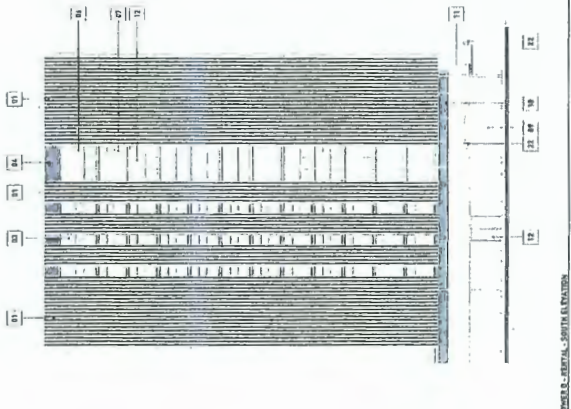
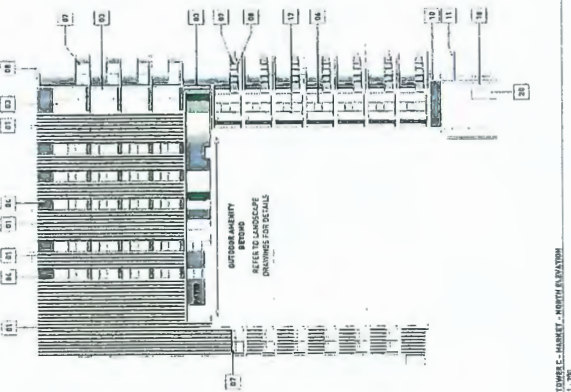
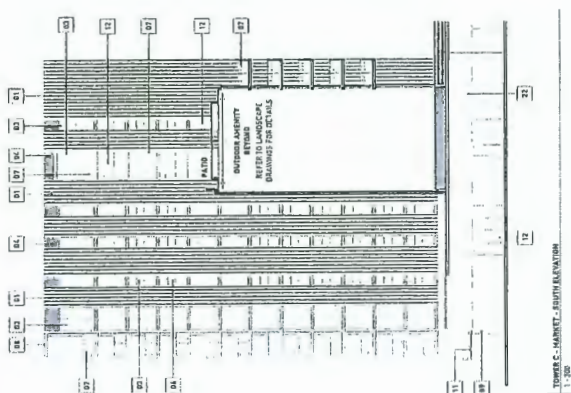
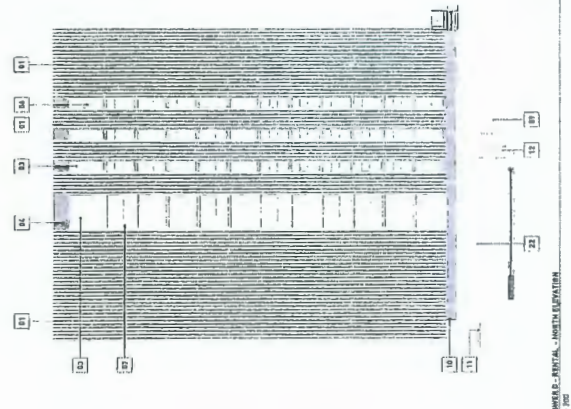
NOTE: MATERIAL SAMPLES FOR CONCEPT ONLY. ALL SPECIFICATIONS SUBJECT TO OWNER PERMIT APPLICATION PRACTICES.



7960 ALDERBRIDGE WAY
 DEVELOPMENT PERMIT
 ELEVATIONS
 TOWERS C AND D

DATE: 10/20/14
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 SCALE: 1/8" = 1'-0"
 JOB NUMBER: 17020

A5.12

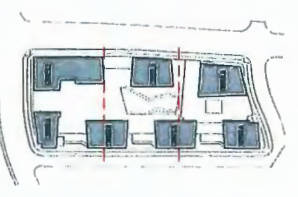


DP 16-740262 #32

gbl

G.B.L. ARCHITECTS, INC.
 155 EAST 15TH AVENUE
 WASHINGTON, DC 20004-1078
 TEL: 405.725.1159
 FAX: 405.725.0775
 WWW: GBLARCHITECTS.COM

NSYPLAN



NO.	DATE	DESCRIPTION	DESIGNED BY
01			

NO.	DESCRIPTION	QTY
01	1/2" x 1/2" x 1/2" Gypsum Board	
02	1/2" x 1/2" x 1/2" Gypsum Board	
03	1/2" x 1/2" x 1/2" Gypsum Board	
04	1/2" x 1/2" x 1/2" Gypsum Board	
05	1/2" x 1/2" x 1/2" Gypsum Board	
06	1/2" x 1/2" x 1/2" Gypsum Board	
07	1/2" x 1/2" x 1/2" Gypsum Board	
08	1/2" x 1/2" x 1/2" Gypsum Board	
09	1/2" x 1/2" x 1/2" Gypsum Board	
10	1/2" x 1/2" x 1/2" Gypsum Board	
11	1/2" x 1/2" x 1/2" Gypsum Board	
12	1/2" x 1/2" x 1/2" Gypsum Board	
13	1/2" x 1/2" x 1/2" Gypsum Board	
14	1/2" x 1/2" x 1/2" Gypsum Board	
15	1/2" x 1/2" x 1/2" Gypsum Board	
16	1/2" x 1/2" x 1/2" Gypsum Board	
17	1/2" x 1/2" x 1/2" Gypsum Board	
18	1/2" x 1/2" x 1/2" Gypsum Board	
19	1/2" x 1/2" x 1/2" Gypsum Board	
20	1/2" x 1/2" x 1/2" Gypsum Board	
21	1/2" x 1/2" x 1/2" Gypsum Board	
22	1/2" x 1/2" x 1/2" Gypsum Board	
23	1/2" x 1/2" x 1/2" Gypsum Board	
24	1/2" x 1/2" x 1/2" Gypsum Board	
25	1/2" x 1/2" x 1/2" Gypsum Board	
26	1/2" x 1/2" x 1/2" Gypsum Board	
27	1/2" x 1/2" x 1/2" Gypsum Board	
28	1/2" x 1/2" x 1/2" Gypsum Board	
29	1/2" x 1/2" x 1/2" Gypsum Board	
30	1/2" x 1/2" x 1/2" Gypsum Board	
31	1/2" x 1/2" x 1/2" Gypsum Board	
32	1/2" x 1/2" x 1/2" Gypsum Board	
33	1/2" x 1/2" x 1/2" Gypsum Board	
34	1/2" x 1/2" x 1/2" Gypsum Board	
35	1/2" x 1/2" x 1/2" Gypsum Board	
36	1/2" x 1/2" x 1/2" Gypsum Board	
37	1/2" x 1/2" x 1/2" Gypsum Board	
38	1/2" x 1/2" x 1/2" Gypsum Board	
39	1/2" x 1/2" x 1/2" Gypsum Board	
40	1/2" x 1/2" x 1/2" Gypsum Board	
41	1/2" x 1/2" x 1/2" Gypsum Board	
42	1/2" x 1/2" x 1/2" Gypsum Board	
43	1/2" x 1/2" x 1/2" Gypsum Board	
44	1/2" x 1/2" x 1/2" Gypsum Board	
45	1/2" x 1/2" x 1/2" Gypsum Board	
46	1/2" x 1/2" x 1/2" Gypsum Board	
47	1/2" x 1/2" x 1/2" Gypsum Board	
48	1/2" x 1/2" x 1/2" Gypsum Board	
49	1/2" x 1/2" x 1/2" Gypsum Board	
50	1/2" x 1/2" x 1/2" Gypsum Board	

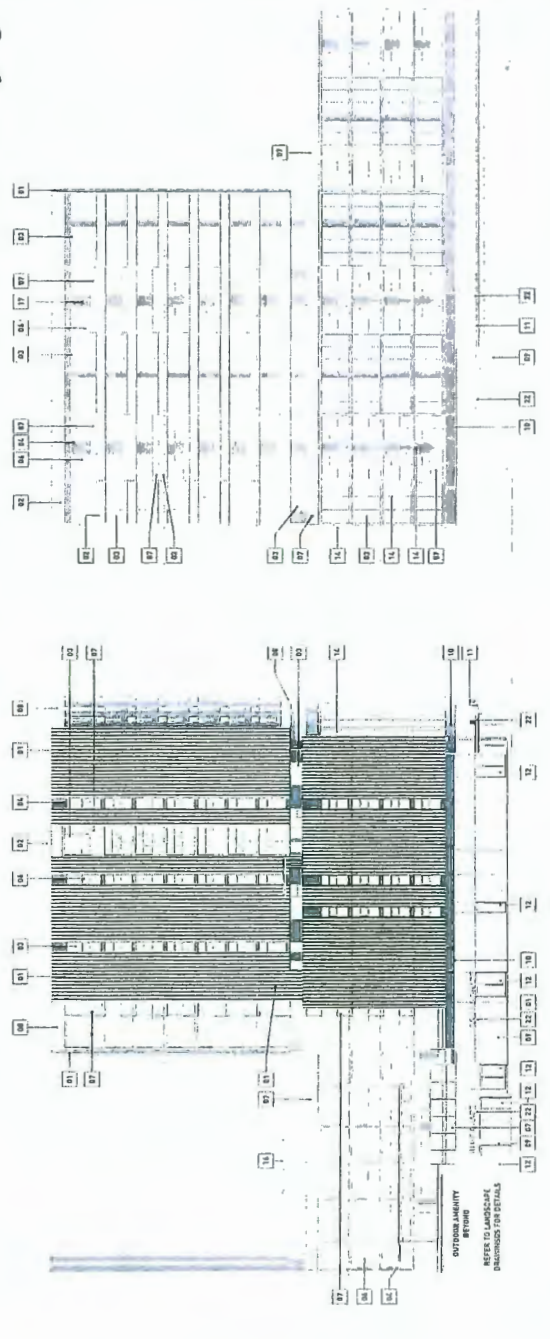
NOTES:
 1. REFER TO ALL OTHER SHEETS FOR DETAILS.
 2. REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR DETAILS.
 3. REFER TO ARCHITECT'S DRAWINGS FOR DETAILS.



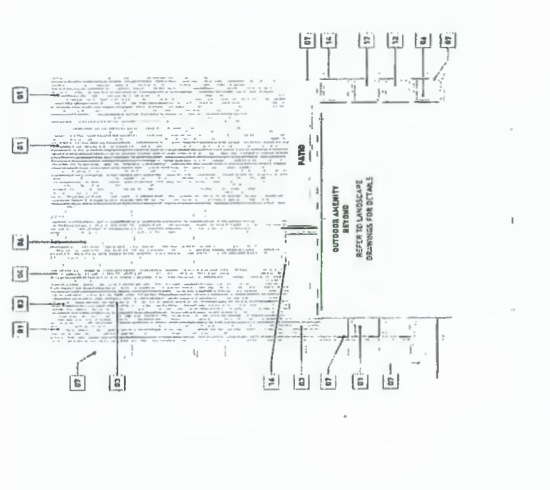
7960 ALDERBRIDGE WAY
 DEVELOPMENT PERMIT
 ELEVATIONS
 TOWERS E AND F

DATE: 11/18/2016
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 SCALE: 1/8" = 1'-0"
 JOB NUMBER: 17020

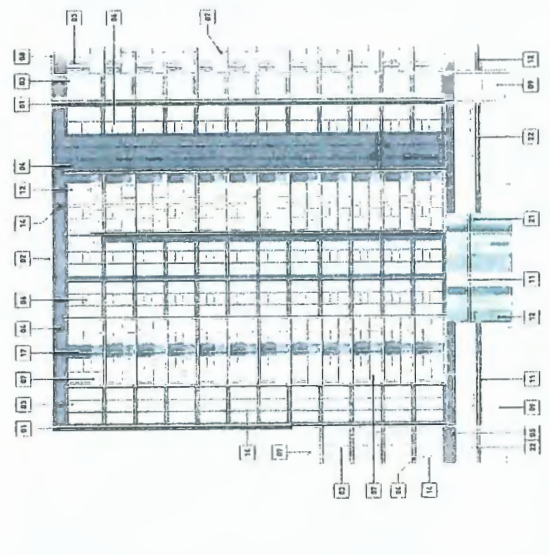
A5.13



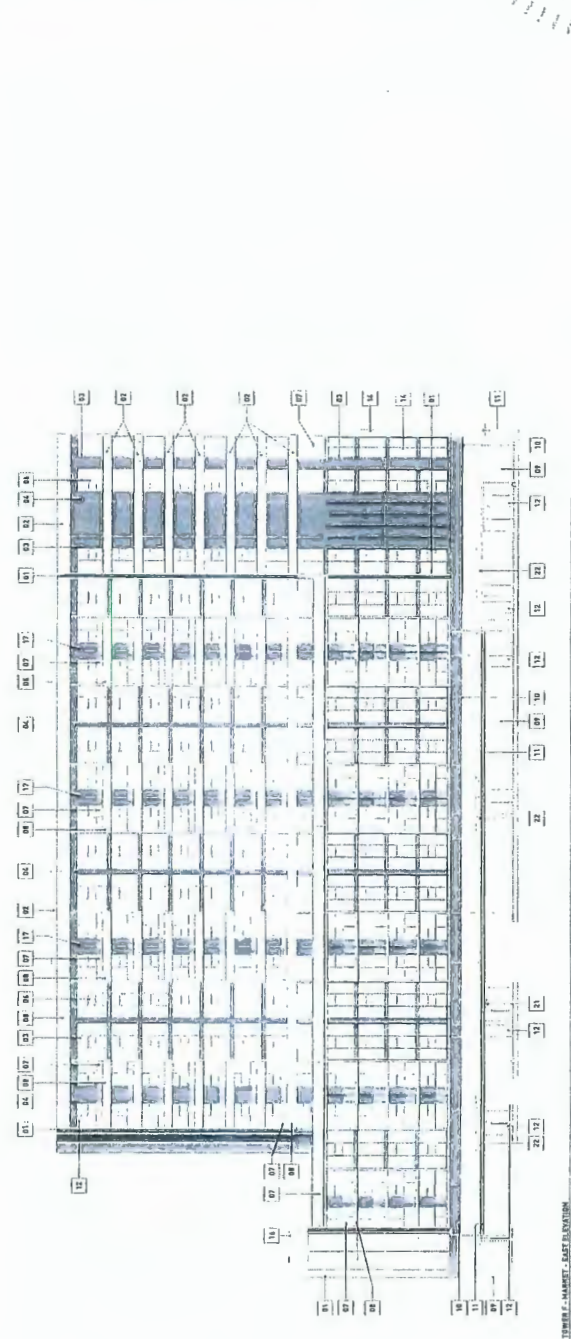
TOWER E, MARKET - EAST ELEVATION
 11/18/2016



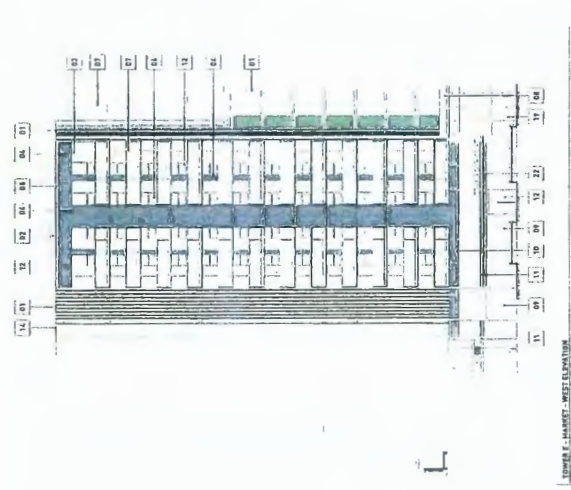
TOWER E, MARKET - WEST ELEVATION
 11/18/2016



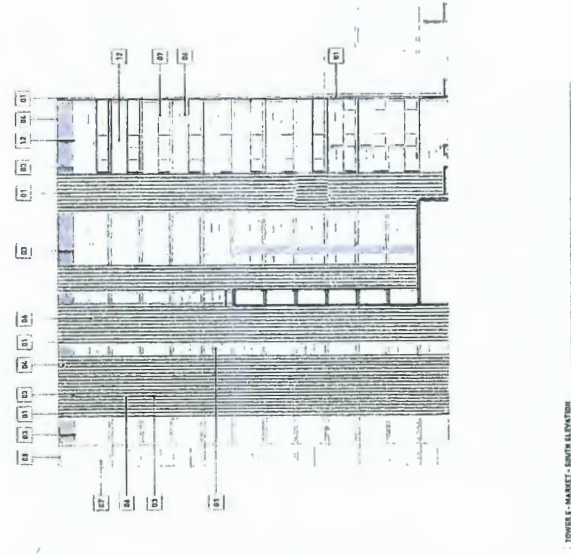
TOWER E, MARKET - NORTH ELEVATION
 11/18/2016



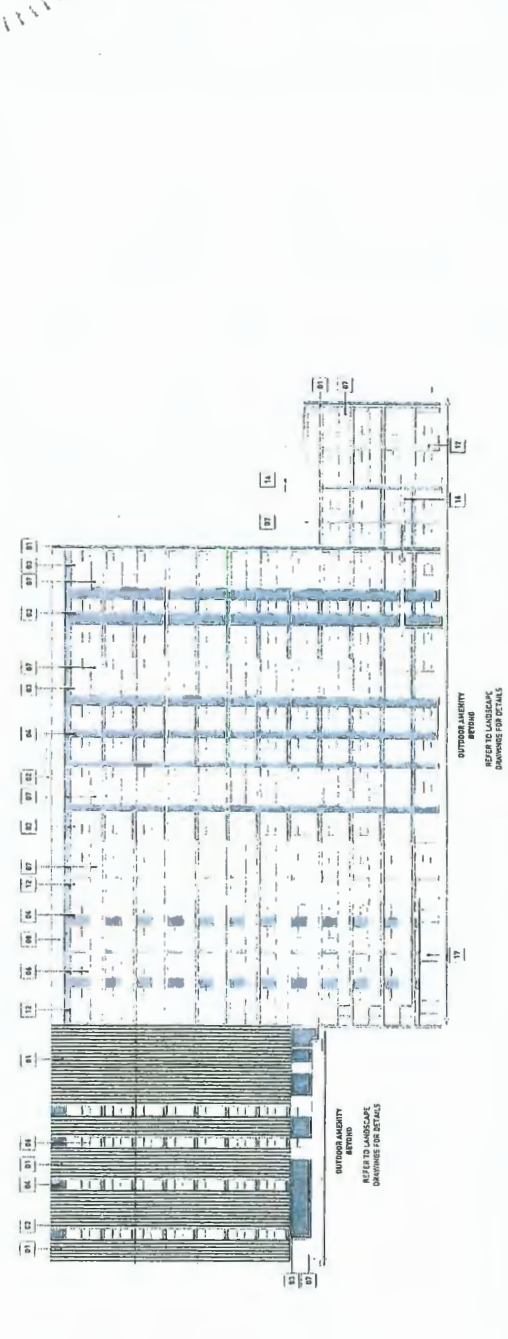
TOWER E, MARKET - EAST ELEVATION
 11/18/2016



TOWER E, MARKET - WEST ELEVATION
 11/18/2016



TOWER E, MARKET - NORTH ELEVATION
 11/18/2016



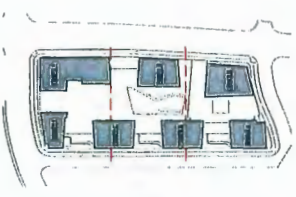
TOWER E, MARKET - EAST ELEVATION
 11/18/2016



TOWER E, MARKET - WEST ELEVATION
 11/18/2016



TOWER E, MARKET - NORTH ELEVATION
 11/18/2016



REV#	DATE	DESCRIPTION
01	08/20/16	ISSUED FOR DP

#	DESCRIPTION	QTY	UNIT
1	Concrete Slab		Sq. Ft.
2	Concrete Formwork		Sq. Ft.
3	Reinforcing Steel		Lbs.
4	Formwork Bracing		Sq. Ft.
5	Formwork Ties		Lbs.
6	Formwork Panels		Sq. Ft.
7	Formwork Joints		Lbs.
8	Formwork Hardware		Lbs.
9	Formwork Linings		Sq. Ft.
10	Formwork Release Agent		Gals.
11	Formwork Repair Material		Sq. Ft.
12	Formwork Straps		Lbs.
13	Formwork Screws		Lbs.
14	Formwork Washers		Lbs.
15	Formwork Nails		Lbs.
16	Formwork Bolts		Lbs.
17	Formwork Washers		Lbs.
18	Formwork Nuts		Lbs.
19	Formwork Spacers		Lbs.
20	Formwork Brackets		Lbs.
21	Formwork Clips		Lbs.
22	Formwork Pins		Lbs.
23	Formwork Washers		Lbs.
24	Formwork Nails		Lbs.
25	Formwork Bolts		Lbs.
26	Formwork Washers		Lbs.
27	Formwork Nuts		Lbs.
28	Formwork Spacers		Lbs.
29	Formwork Brackets		Lbs.
30	Formwork Clips		Lbs.
31	Formwork Pins		Lbs.
32	Formwork Washers		Lbs.
33	Formwork Nails		Lbs.
34	Formwork Bolts		Lbs.
35	Formwork Washers		Lbs.
36	Formwork Nuts		Lbs.
37	Formwork Spacers		Lbs.
38	Formwork Brackets		Lbs.
39	Formwork Clips		Lbs.
40	Formwork Pins		Lbs.
41	Formwork Washers		Lbs.
42	Formwork Nails		Lbs.
43	Formwork Bolts		Lbs.
44	Formwork Washers		Lbs.
45	Formwork Nuts		Lbs.
46	Formwork Spacers		Lbs.
47	Formwork Brackets		Lbs.
48	Formwork Clips		Lbs.
49	Formwork Pins		Lbs.
50	Formwork Washers		Lbs.
51	Formwork Nails		Lbs.
52	Formwork Bolts		Lbs.
53	Formwork Washers		Lbs.
54	Formwork Nuts		Lbs.
55	Formwork Spacers		Lbs.
56	Formwork Brackets		Lbs.
57	Formwork Clips		Lbs.
58	Formwork Pins		Lbs.
59	Formwork Washers		Lbs.
60	Formwork Nails		Lbs.
61	Formwork Bolts		Lbs.
62	Formwork Washers		Lbs.
63	Formwork Nuts		Lbs.
64	Formwork Spacers		Lbs.
65	Formwork Brackets		Lbs.
66	Formwork Clips		Lbs.
67	Formwork Pins		Lbs.
68	Formwork Washers		Lbs.
69	Formwork Nails		Lbs.
70	Formwork Bolts		Lbs.
71	Formwork Washers		Lbs.
72	Formwork Nuts		Lbs.
73	Formwork Spacers		Lbs.
74	Formwork Brackets		Lbs.
75	Formwork Clips		Lbs.
76	Formwork Pins		Lbs.
77	Formwork Washers		Lbs.
78	Formwork Nails		Lbs.
79	Formwork Bolts		Lbs.
80	Formwork Washers		Lbs.
81	Formwork Nuts		Lbs.
82	Formwork Spacers		Lbs.
83	Formwork Brackets		Lbs.
84	Formwork Clips		Lbs.
85	Formwork Pins		Lbs.
86	Formwork Washers		Lbs.
87	Formwork Nails		Lbs.
88	Formwork Bolts		Lbs.
89	Formwork Washers		Lbs.
90	Formwork Nuts		Lbs.
91	Formwork Spacers		Lbs.
92	Formwork Brackets		Lbs.
93	Formwork Clips		Lbs.
94	Formwork Pins		Lbs.
95	Formwork Washers		Lbs.
96	Formwork Nails		Lbs.
97	Formwork Bolts		Lbs.
98	Formwork Washers		Lbs.
99	Formwork Nuts		Lbs.
100	Formwork Spacers		Lbs.

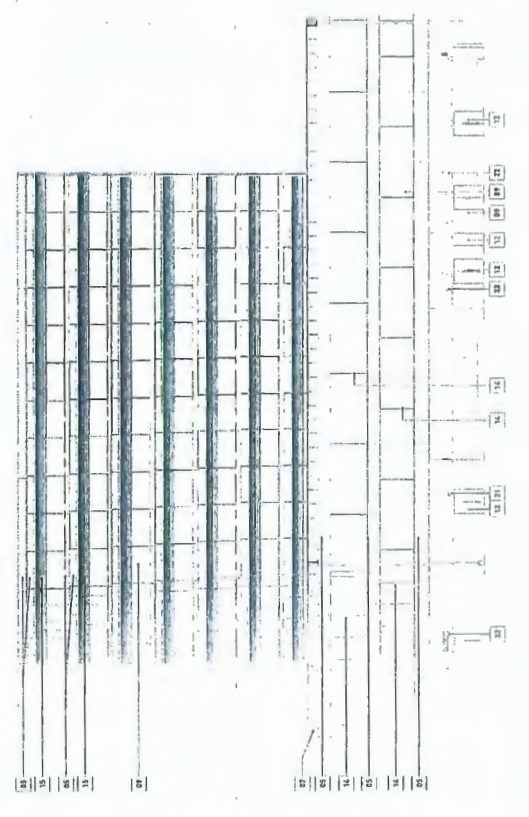
NOTE: DIMENSIONS SHOWN FOR CONCRETE ONLY. ALL DIMENSIONS SUBJECT TO SHOP DRAWING APPROVAL PROCESS.



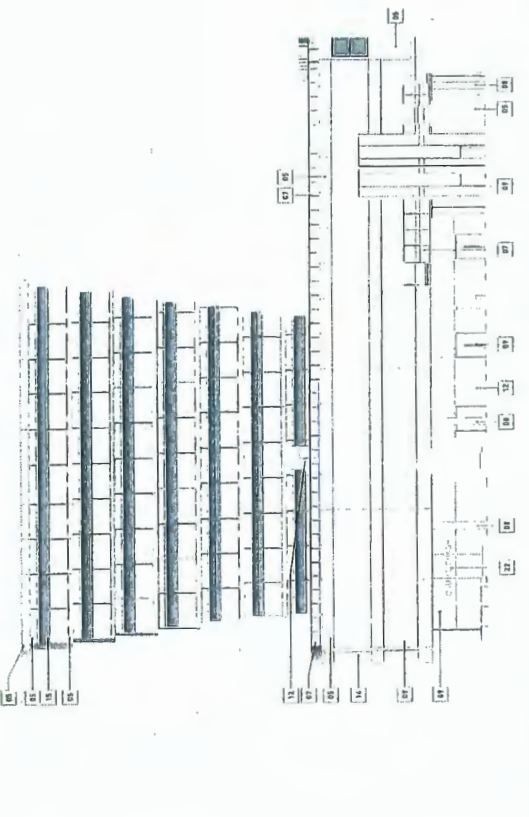
7960 ALDERBRIDGE WAY
 DEVELOPMENT PERMIT
 ELEVATIONS OFFICE
 TOWER G

DATE: 08/20/16
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 SCALE: 1/2" = 1'-0"
 JOB NUMBER: 17020

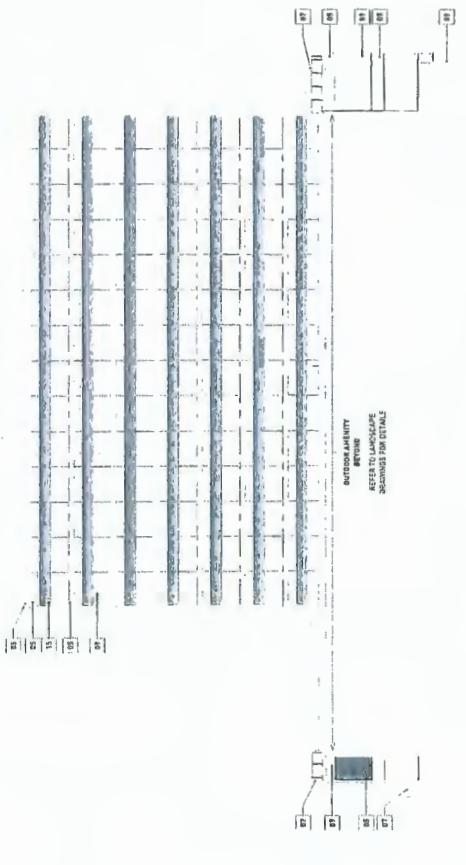
DP 16-740262 #23



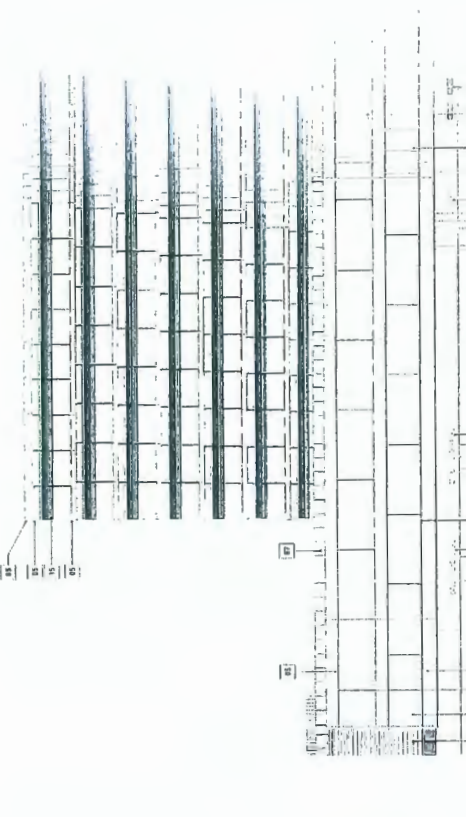
WEST ELEVATION - EAST FACADE



EAST ELEVATION - WEST FACADE



WEST ELEVATION - WEST FACADE



EAST ELEVATION - WEST FACADE

NO.	DATE	DESCRIPTION
1	17/07/2018	ISSUED FOR PERMIT
2	17/07/2018	ISSUED FOR PERMIT
3	17/07/2018	ISSUED FOR PERMIT
4	17/07/2018	ISSUED FOR PERMIT
5	17/07/2018	ISSUED FOR PERMIT
6	17/07/2018	ISSUED FOR PERMIT
7	17/07/2018	ISSUED FOR PERMIT
8	17/07/2018	ISSUED FOR PERMIT
9	17/07/2018	ISSUED FOR PERMIT
10	17/07/2018	ISSUED FOR PERMIT
11	17/07/2018	ISSUED FOR PERMIT
12	17/07/2018	ISSUED FOR PERMIT
13	17/07/2018	ISSUED FOR PERMIT
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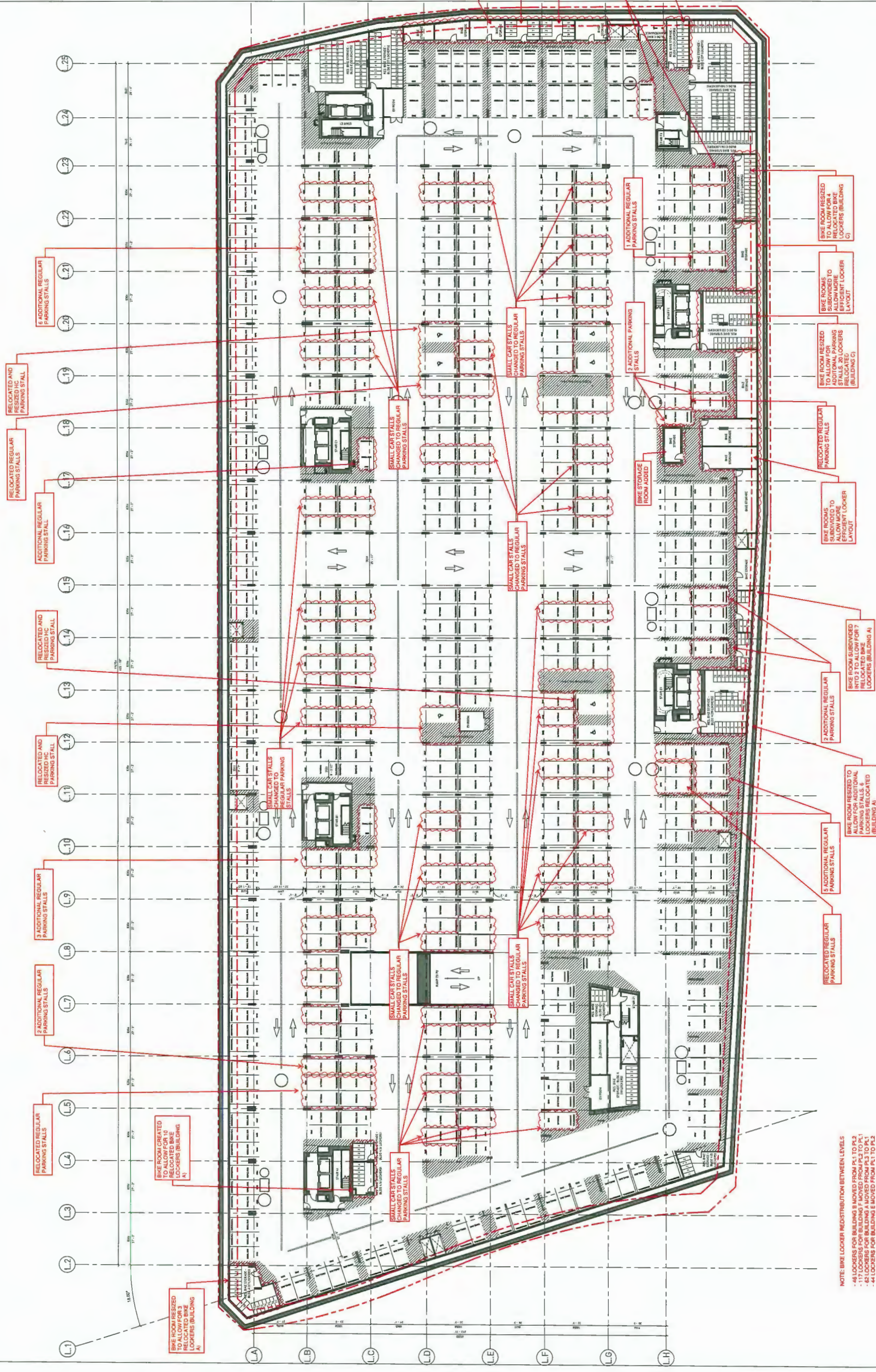


7960 ALDERBRIDGE WAY
 DP REPLACEMENT DRAWINGS

LEVEL PL-3 PLAN

DATE: 17/07/2018 10:57 AM
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 SCALE: 1:200
 JOB NUMBER: 17020

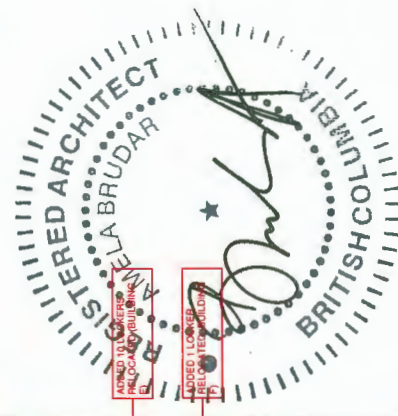
A2.00



NOTE: BIKE LOCKER REDISTRIBUTION BETWEEN LEVELS
 - 48 LOCKERS FOR BUILDING B MOVED FROM PL-1 TO PL-3
 - 117 LOCKERS FOR BUILDING F MOVED FROM PL-2 TO PL-1
 - 81 LOCKERS FOR BUILDING G MOVED FROM PL-3 TO PL-1
 - 44 LOCKERS FOR BUILDING E MOVED FROM PL-1 TO PL-3

REVISIONS

NO.	DATE	DESCRIPTION
1	1/27/2020	ISSUED FOR DP
2	1/27/2020	REVISIONS FOR DP
3	1/27/2020	REVISIONS FOR DP
4	1/27/2020	REVISIONS FOR DP
5	1/27/2020	REVISIONS FOR DP
6	1/27/2020	REVISIONS FOR DP



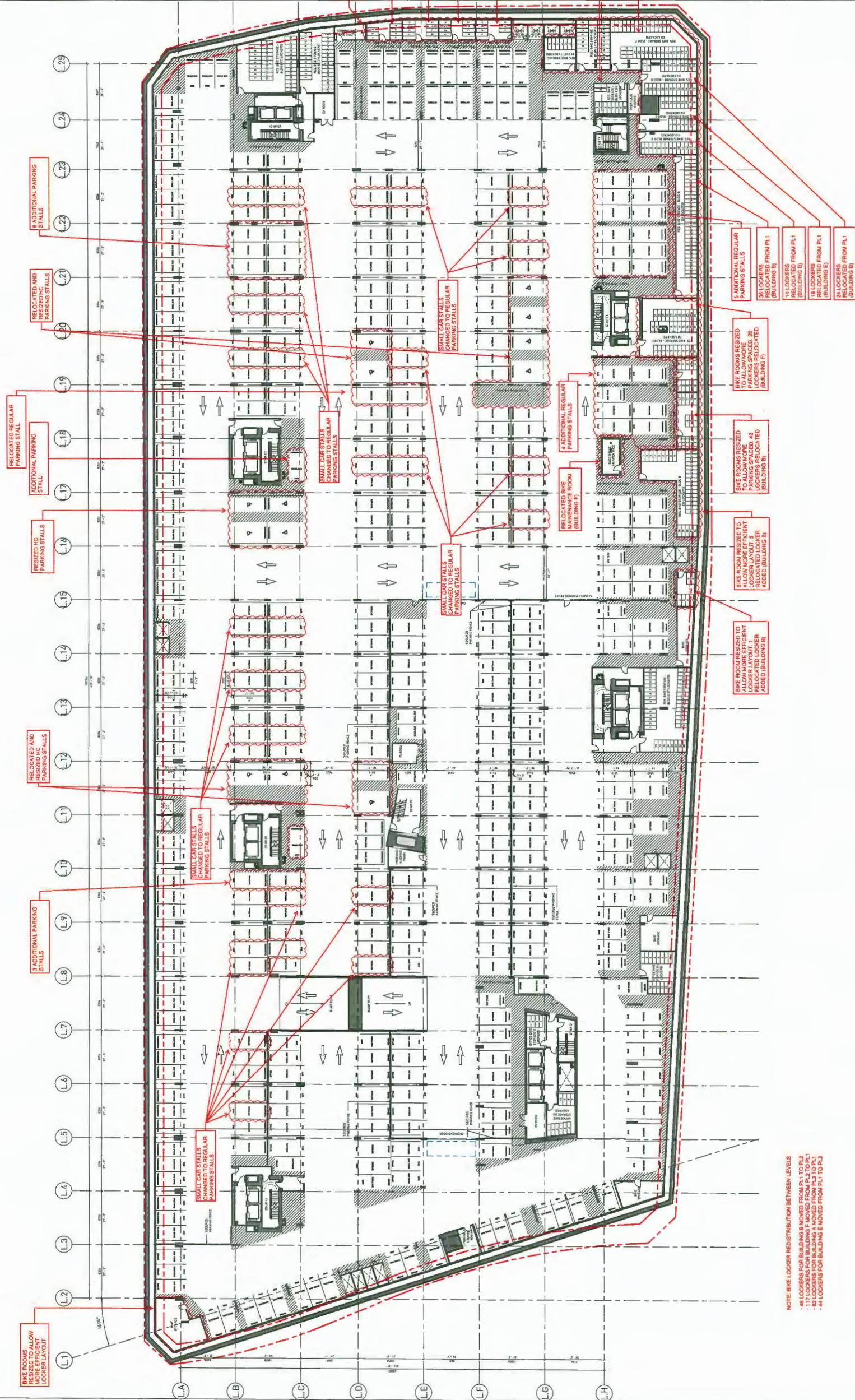
7960 ALDERBRIDGE
 WAY

DP REPLACEMENT DRAWINGS

LEVEL PL-2 PLAN

DATE: 1/27/2020 3:06 PM
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 SCALE: 1" = 20'
 JOB NUMBER: 17020

A2.01



NOTE: BIKE LOCKER REDISTRIBUTION BETWEEN LEVELS
 - 48 LOCKERS FOR BUILDING B MOVED FROM PL.1 TO PL.2
 - 117 LOCKERS FOR BUILDING C MOVED FROM PL.1 TO PL.2
 - 81 LOCKERS FOR BUILDING A MOVED FROM PL.2 TO PL.1
 - 44 LOCKERS FOR BUILDING E MOVED FROM PL.1 TO PL.3



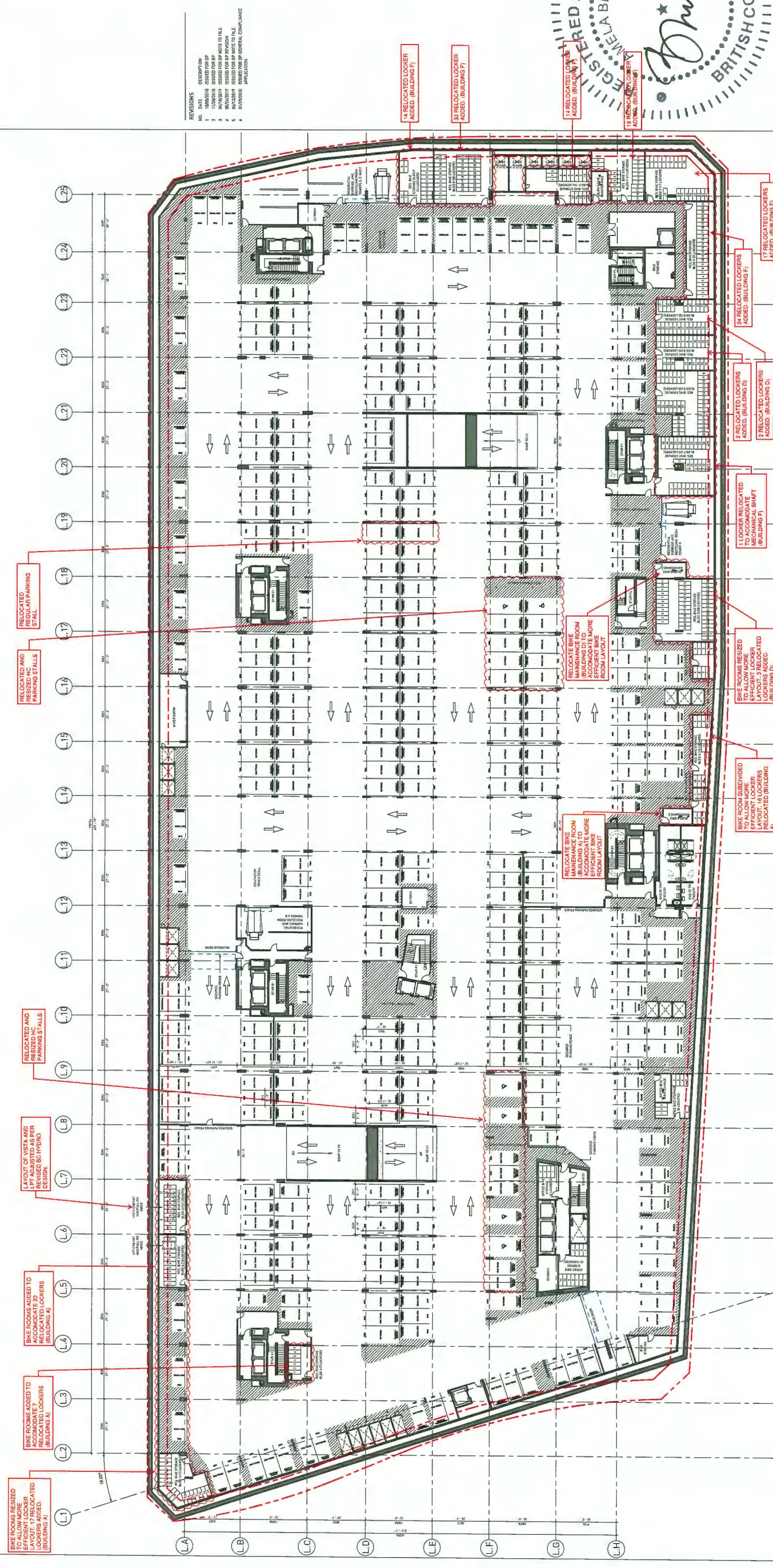
7960 ALDERBRIDGE WAY

DP REPLACEMENT DRAWINGS

LEVEL PL-1 PLAN

DATE: 1/27/2023 3:14:14 PM
 DRAWN BY: [unintelligible]
 CHECKED BY: [unintelligible]
 SCALE: 1:1000
 JOB NUMBER: 17020

A2.02



NO.	DATE	DESCRIPTION
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49	ISSUED FOR OUP	
50	ISSUED FOR OUP	

RELOCATED AND REVISED INC. PARKING STALLS (L1-L17)
 RELOCATED REGULAR PARKING STALL (L17)
 RELOCATED AND REVISED VISTA AND REFINISHED HYDRO REVISIONS (L7)
 BIKE ROOMS ADDED TO ACCOMMODATE 22 EFFICIENT LOCKERS (BUILDING A) (L4)
 BIKE ROOMS ADDED TO ACCOMMODATE 7 EFFICIENT LOCKERS (BUILDING A) (L3)
 BIKE ROOMS REVISED TO ALLOW MORE EFFICIENT LOCKERS ADDED (BUILDING A) (L1)

RELOCATE BIKE MAINTENANCE ROOM (BUILDING A) TO ACCOMMODATE MORE EFFICIENT BIKE ROOM LAYOUT (L10)
 BIKE ROOMS SUBDIVIDED TO ALLOW MORE EFFICIENT LOCKERS ADDED (BUILDING A) (L9)
 BIKE ROOMS REVISED TO ALLOW MORE EFFICIENT LOCKERS ADDED (BUILDING D) (L17)
 BIKE ROOMS REVISED TO ALLOW MORE EFFICIENT LOCKERS ADDED (BUILDING D) (L16)

RELOCATE BIKE LOCKER (BUILDING F) (L21)
 BIKE ROOMS REVISED TO ALLOW MORE EFFICIENT LOCKERS ADDED (BUILDING D) (L20)
 BIKE ROOMS REVISED TO ALLOW MORE EFFICIENT LOCKERS ADDED (BUILDING D) (L19)
 BIKE ROOMS REVISED TO ALLOW MORE EFFICIENT LOCKERS ADDED (BUILDING D) (L18)

BIKE ROOMS REVISED TO ALLOW MORE EFFICIENT LOCKERS ADDED (BUILDING D) (L15)
 BIKE ROOMS REVISED TO ALLOW MORE EFFICIENT LOCKERS ADDED (BUILDING D) (L14)
 BIKE ROOMS REVISED TO ALLOW MORE EFFICIENT LOCKERS ADDED (BUILDING D) (L13)
 BIKE ROOMS REVISED TO ALLOW MORE EFFICIENT LOCKERS ADDED (BUILDING D) (L12)
 BIKE ROOMS REVISED TO ALLOW MORE EFFICIENT LOCKERS ADDED (BUILDING D) (L11)

NOTE: BIKE LOCKER REDISTRIBUTION BETWEEN LEVELS
 -44 LOCKERS FOR BUILDING B MOVED FROM PL1 TO PL2
 -117 LOCKERS FOR BUILDING F MOVED FROM PL2 TO PL1
 -52 LOCKERS FOR BUILDING A MOVED FROM PL3 TO PL1
 -24 LOCKERS FOR BUILDING E MOVED FROM PL1 TO PL2

REVISIONS

NO.	DATE	DESCRIPTION
1	15/02/2018	ISSUED FOR PERMITS
2	15/02/2018	RELOCATED FROM SITE TO FILE
3	15/02/2018	RELOCATED FROM SITE TO FILE
4	15/02/2018	RELOCATED FROM SITE TO FILE
5	15/02/2018	RELOCATED FROM SITE TO FILE
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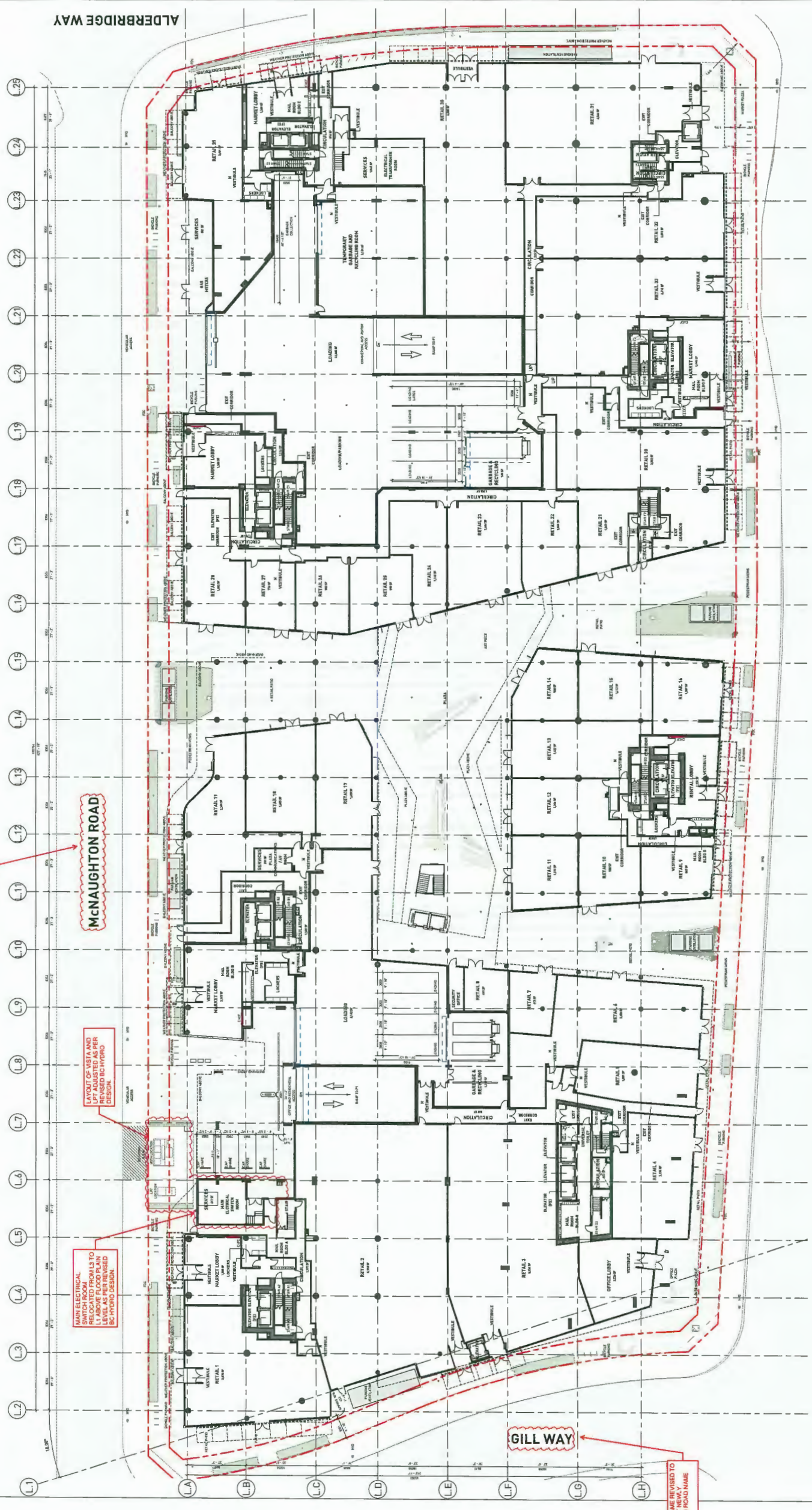
7960 ALDERBRIDGE WAY

DP REPLACEMENT DRAWINGS

LEVEL 1 PLAN

DATE: 17/02/2018 10:48:29 AM
 DRAWN BY: AM
 CHECKED BY: AM
 SCALE: 1" = 20'
 JOB NUMBER: 17020

A3.01



ROAD NAME REVISED TO ASSIGNED ROAD NAME

McNAUGHTON ROAD

LAYOUT OF VISTA AND RELOCATED FROM L1 ABOVE FLOOR PLAN FOR REVISED BC HYDRO DESIGN

MAIN ELECTRICAL RELOCATED FROM L1 ABOVE FLOOR PLAN FOR REVISED BC HYDRO DESIGN

GILL WAY

ROAD NAME REVISED TO ASSIGNED ROAD NAME

ALDERBRIDGE WAY

NO. 3 ROAD

REVISIONS

NO.	DATE	DESCRIPTION
1	17/02/2018	ISSUED FOR PERMIT
2	17/02/2018	ISSUED FOR PERMIT
3	17/02/2018	ISSUED FOR PERMIT
4	17/02/2018	ISSUED FOR PERMIT
5	17/02/2018	ISSUED FOR PERMIT

MATERIAL LIST

NO.	DESCRIPTION	Color
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WITH DIMENSIONS SHOWN FOR CONCEPT ONLY. ALL DIMENSIONS SUBJECT TO DESIGN DEVELOPMENT.

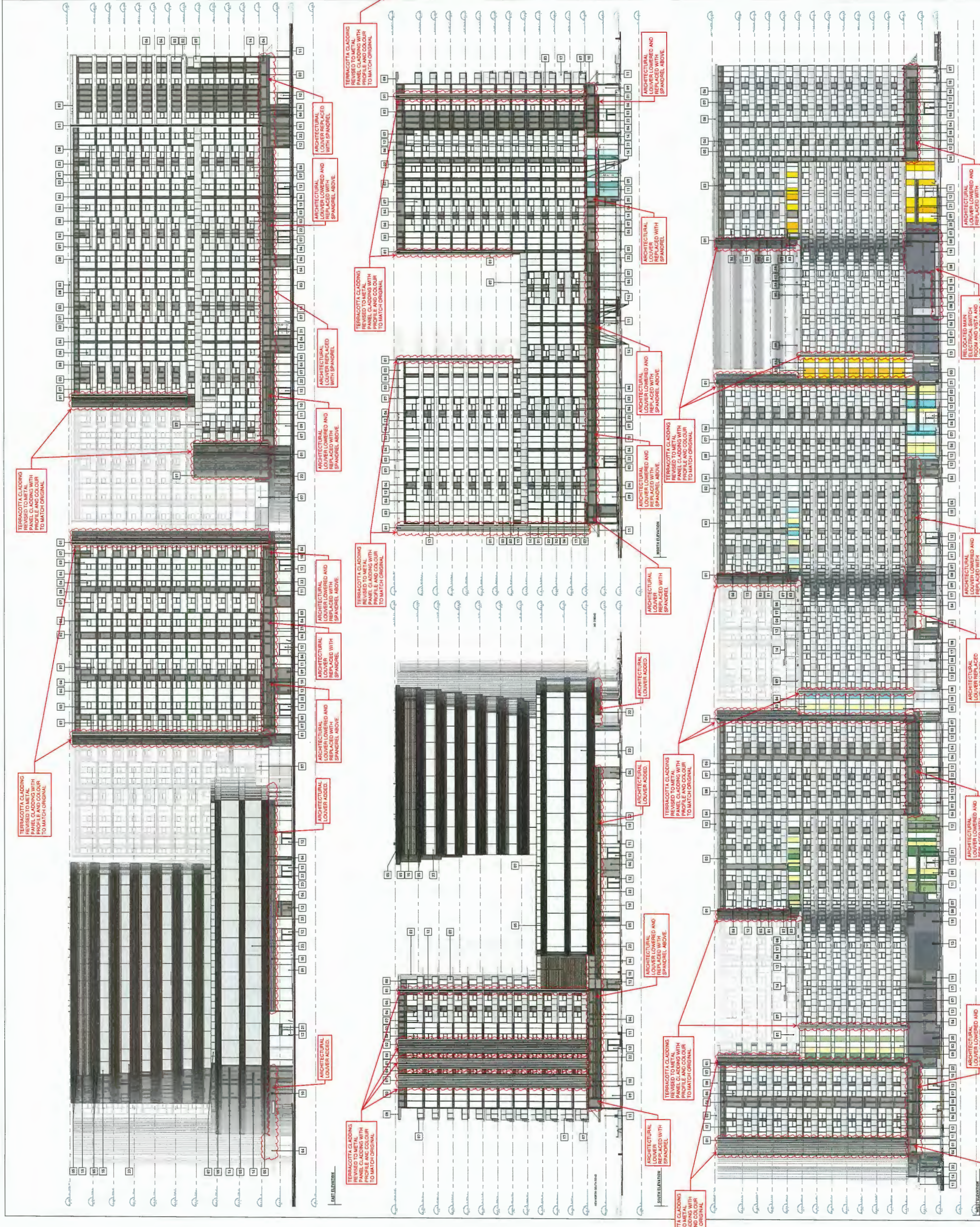


7960 ALDERBRIDGE WAY
 DP REPLACEMENT DRAWINGS

ELEVATIONS

DATE: 17/02/2018 10:58 AM
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 CHECKED BY: [Name]
 SCALE: 1:200
 JOB NUMBER: 17020

A5.00



REVISIONS

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2	1/20/20	ISSUED FOR PERMIT
3	1/20/20	ISSUED FOR PERMIT
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5	1/20/20	ISSUED FOR PERMIT
6	1/20/20	ISSUED FOR PERMIT

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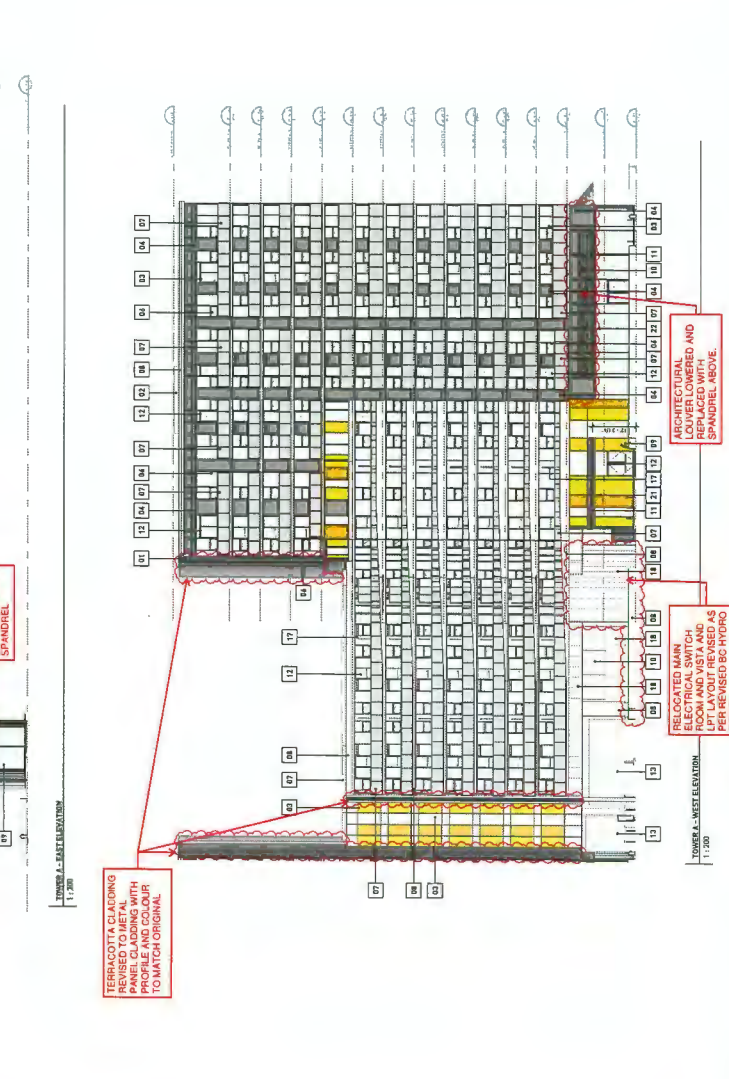
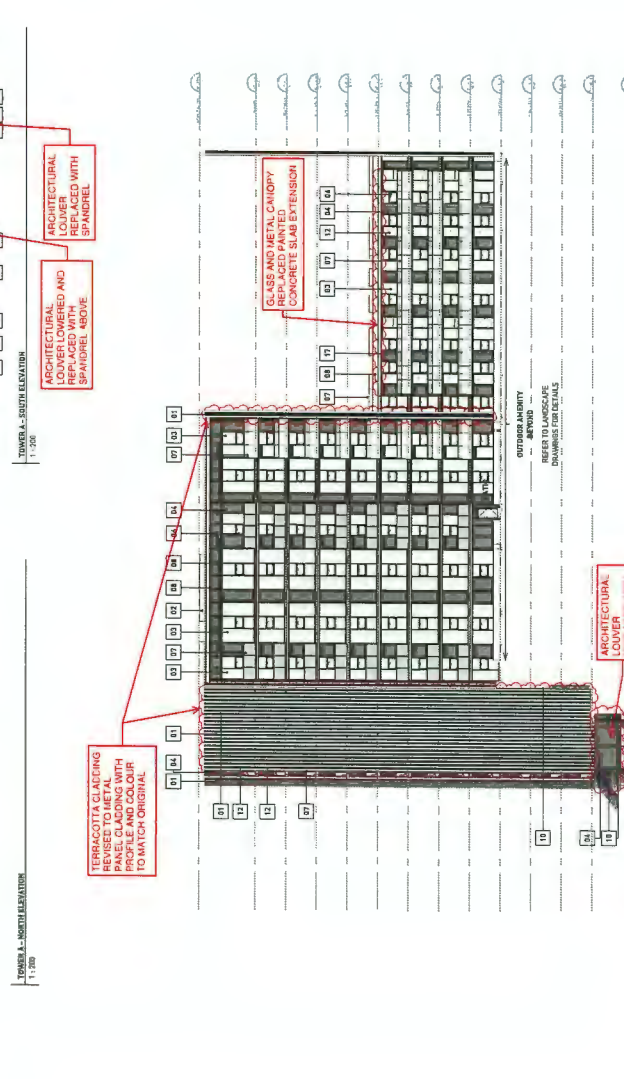
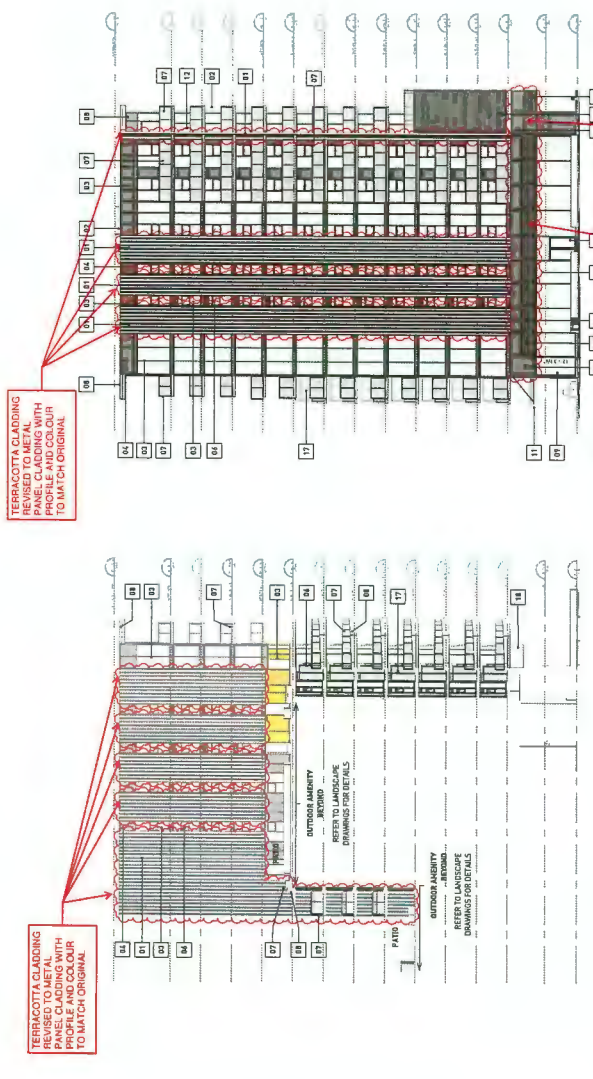
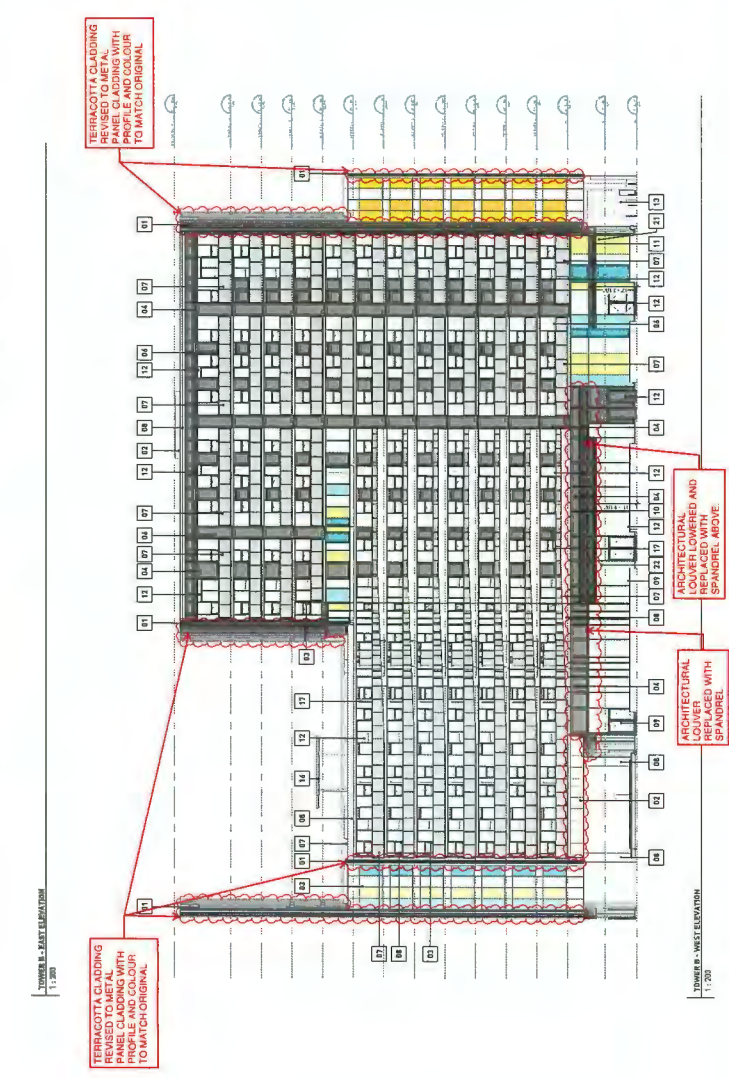
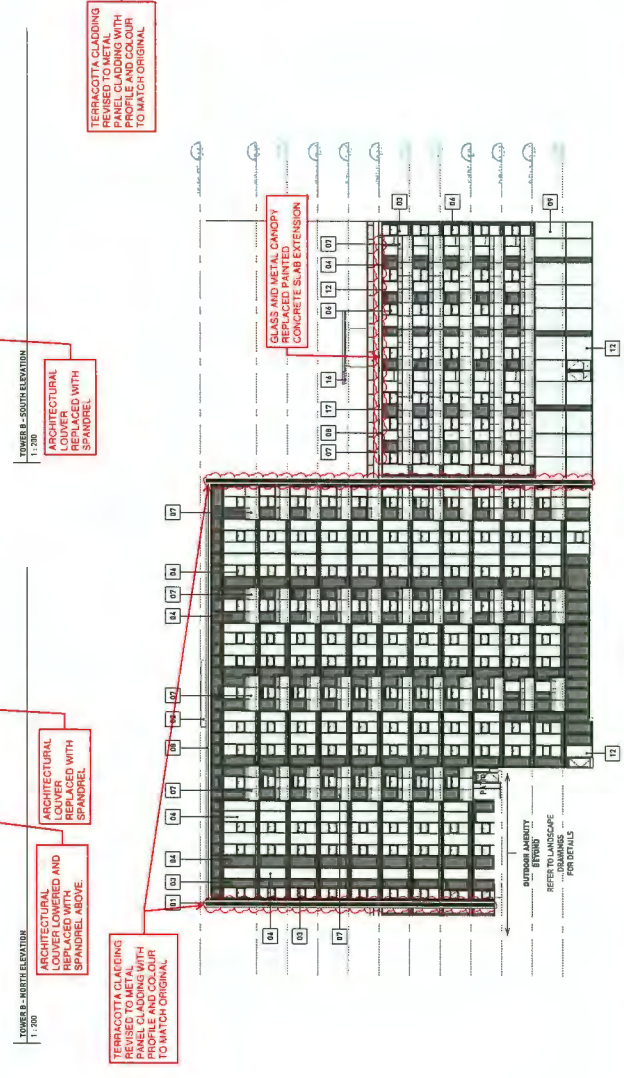
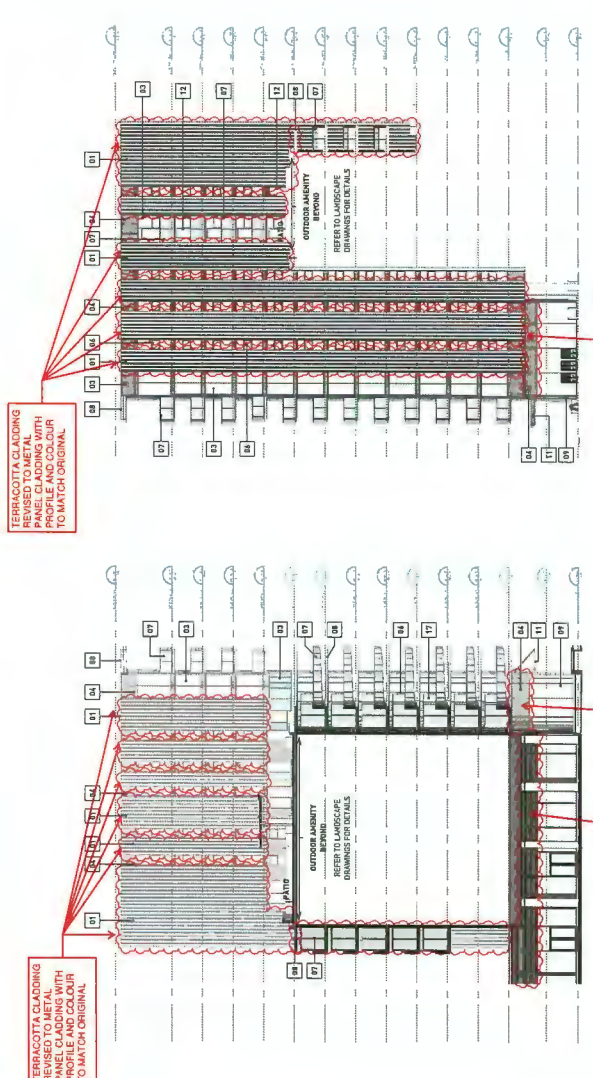
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NOTES:
 1. MATERIALS SHOWN FOR CONCEPT ONLY. ALL MATERIALS TO BE DETERMINED AT PERMITTING PROCESS.



7960 ALDERBRIDGE WAY
 DP REPLACEMENT DRAWINGS
 ELEVATIONS
 TOWERS A AND B

DATE: 1/27/2020 11:48:07 AM
 DRAWN BY: Author
 CHECKED BY: 11/28
 SCALE: 1/20
 JOB NUMBER: 17020



REVISIONS		
NO.	DATE	DESCRIPTION
1	11/20/20	ISSUED FOR PERMIT
2	01/06/21	ISSUED FOR BP
3	01/06/21	ISSUED FOR PERMIT COMPLIANCE
4	02/02/21	ISSUED FOR PERMIT COMPLIANCE
5	02/02/21	APPLICATION

MATERIAL LIST		
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3	ARCHITECTURAL LOWER LOUVERED AND SPANDREL ABOVE	Charcoal
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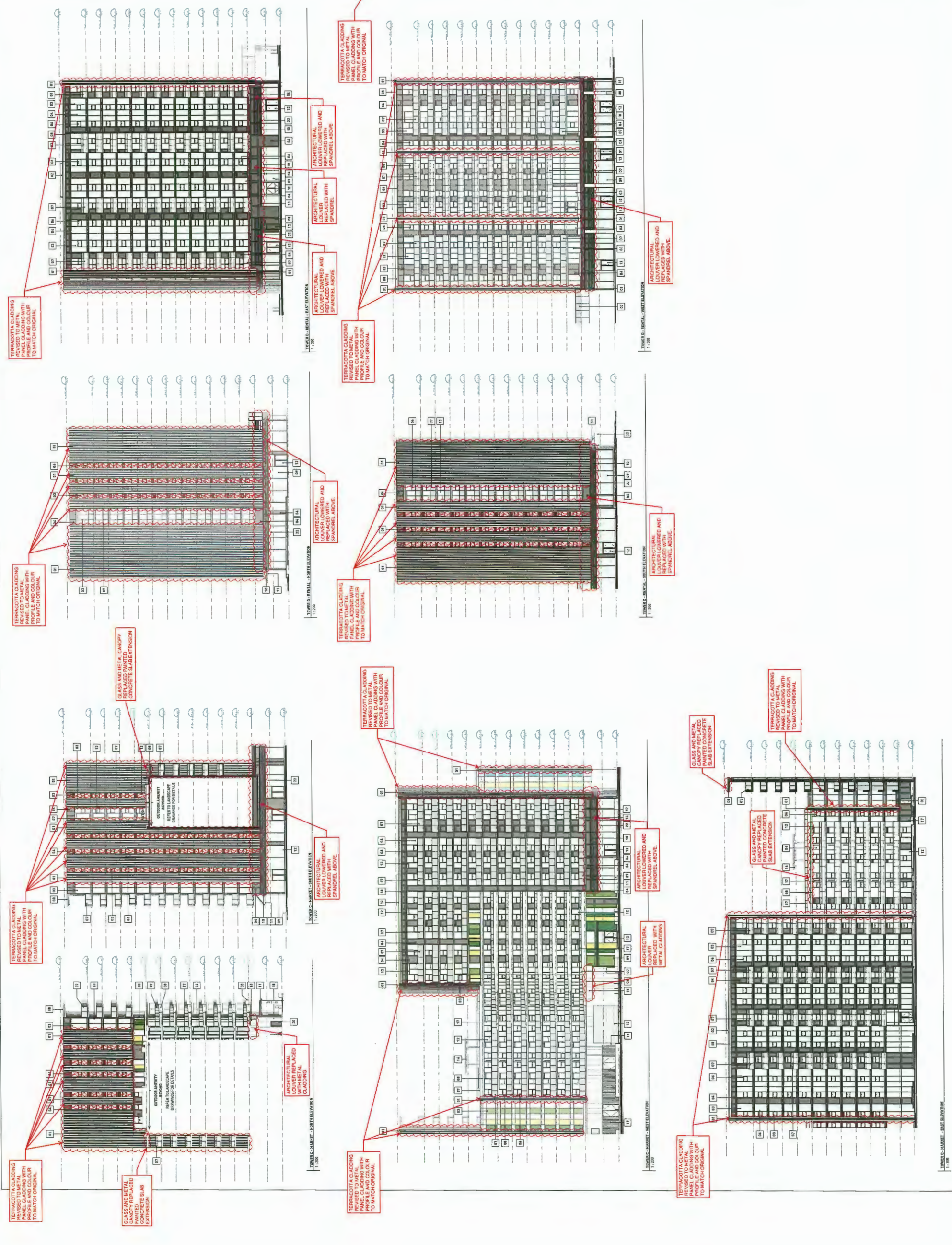
NOTE: SHOWN IN CONCEPT ONLY. ALL SPANRAYS BEING REPLACED TO SHIP PAINT APPLICATION PROJECT.



7960 ALDERBRIDGE WAY
DP REPLACEMENT DRAWINGS

ELEVATIONS
TOWERS C AND D

DATE: 11/20/20 11:32:51 AM
DRAWN BY: Ochoy
CHECKED BY: 11/20
JOB NUMBER: 17020



REVISIONS

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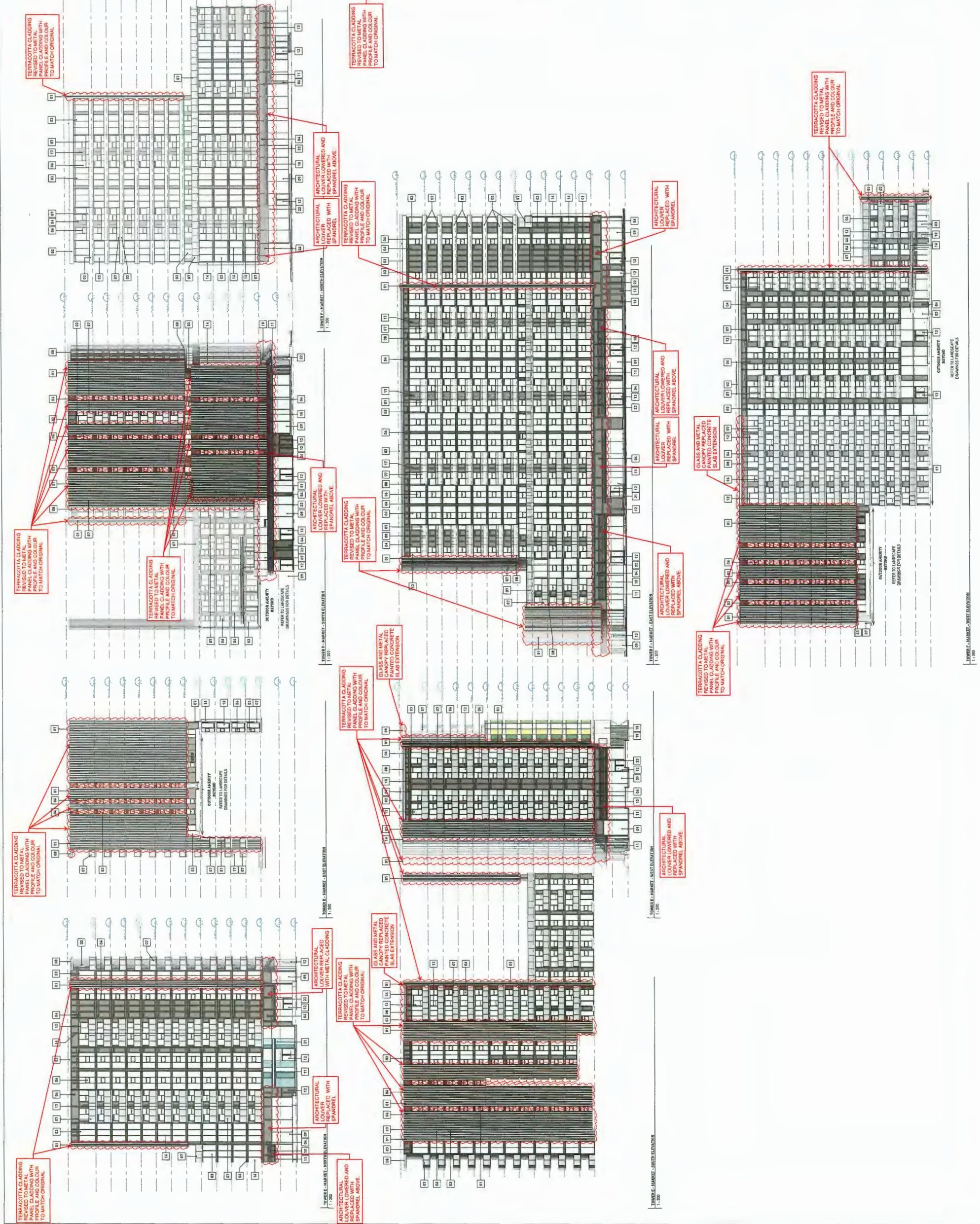
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METAL FINISHES SHOWN FOR CONCEPT ONLY. ALL
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7960 ALDERBRIDGE WAY
 DP REPLACEMENT DRAWINGS
ELEVATIONS TOWERS E AND F
 DATE: 11/20/2017
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 CHECKED BY: [Name]
 SCALE: 1:200
 JOB NUMBER: 17020



REFER TO LANDSCAPE DRAWINGS FOR DETAILS
 1:200

REVISIONS

NO.	DATE	DESCRIPTION
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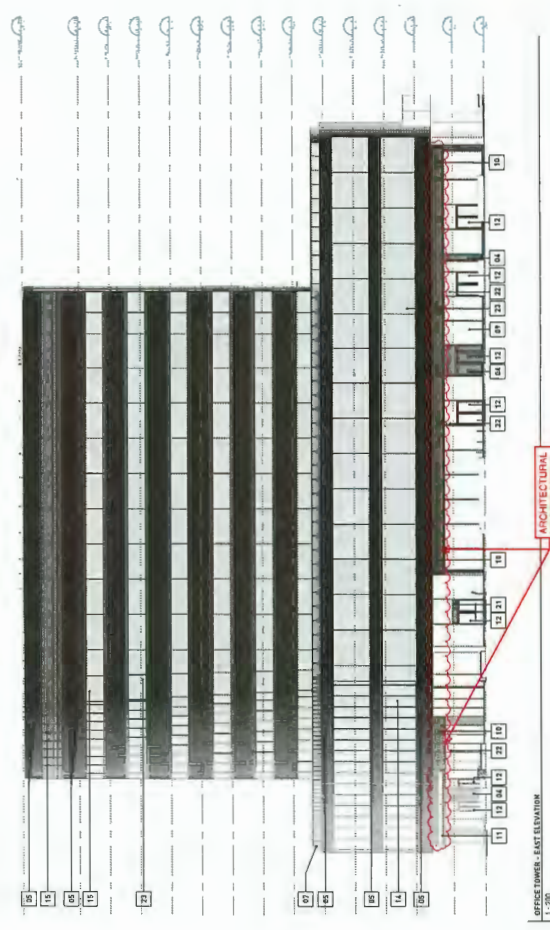
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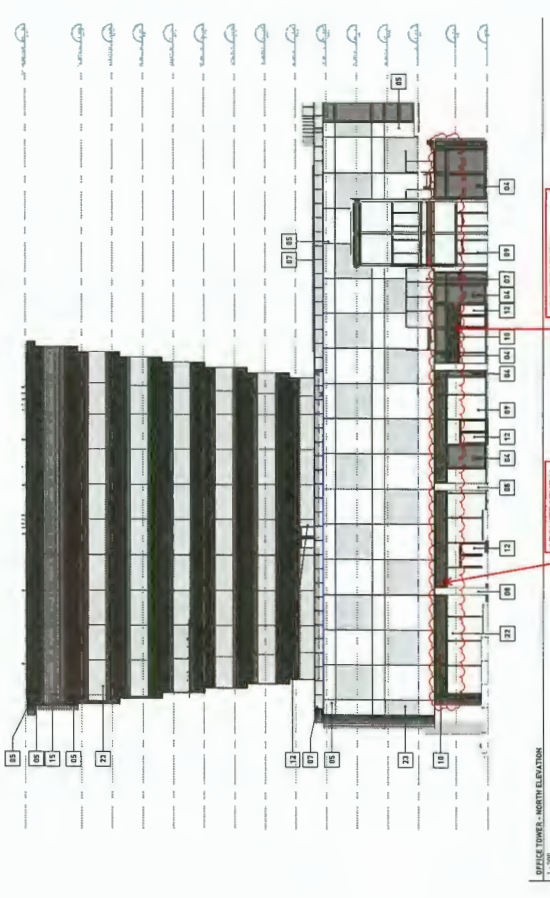


7960 ALDERBRIDGE WAY
 DP REPLACEMENT DRAWINGS
 ELEVATIONS OFFICE
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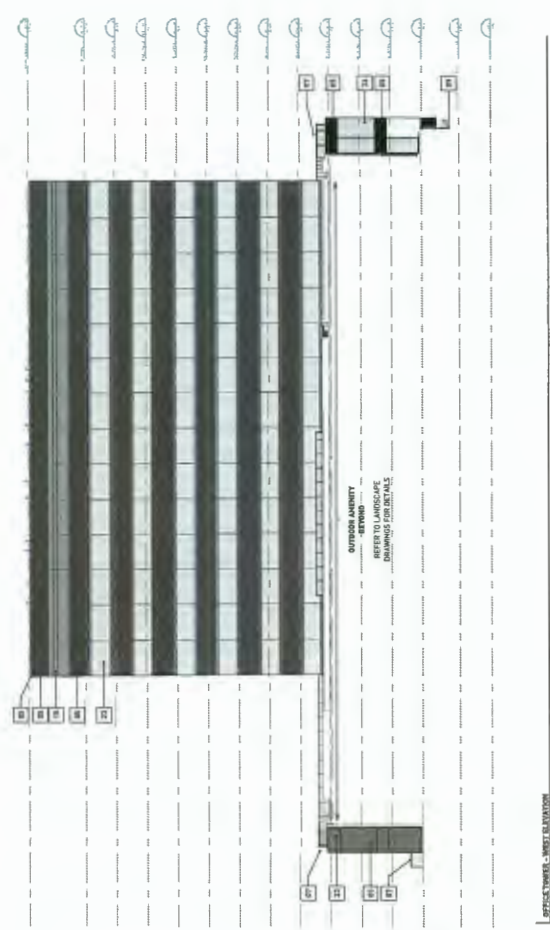
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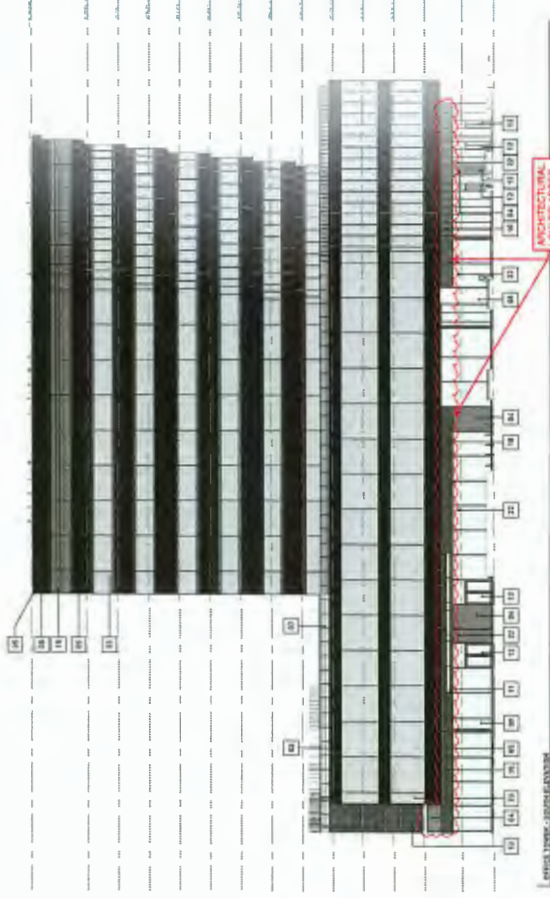
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OFFICE TOWER - SOUTH ELEVATION
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To: Development Permit Panel

Date: April 20, 2020

From: Wayne Craig
Director, Development

File: DP 18-821292

Re: **Application by Pinnacle Living (Capstan Village) Lands Inc. for a Development Permit at 3208 and 3211 Carscallen Road**

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of a single-tower high-density residential building, consisting of 207 dwelling units, including 41 affordable housing units, at 3208 Carscallen Road on a lot zoned “Residential/Limited Commercial and Artist Residential Tenancy Studio Units (ZMU25) – Capstan Village (City Centre)”.
2. Permit the construction of a two-tower, mixed-use, high-density building including retail and café/restaurant space, 131 hotel rooms and 115 residential units in the south tower, and retail and office space in the north tower, at 3211 Carscallen Road on a lot zoned “Residential/Limited Commercial and Artist Residential Tenancy Studio Units (ZMU25) – Capstan Village (City Centre)”; and
3. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - a) Increase the maximum permitted balcony projection for balconies into required setbacks at 3208 Carscallen Road and 3211 Carscallen Road, from 1.0 m to 1.7 m.
 - b) Increase the maximum permitted projection for architectural features into required setbacks at 3208 Carscallen Road and 3211 Carscallen Road from 0.6 m to 1.7 m.

Wayne Craig
Director, Development
(604-247-4625)

WC:rp
Att. 6

Staff Report

Origin

Pinnacle Living (Capstan Village) Lands Inc., has applied to the City of Richmond for permission to develop a three tower, mixed-use project at 3208 and 3211 Carscallen Road (Areas C and D, respectively), with a combined total of 322 dwelling units, (including 41 affordable housing units), a 131-room hotel, 18,984 m² of office space and 650 m² retail space at grade. The developer has indicated an intent to retain the office space, without subdividing it. The subject site currently contains a temporary building that functions as the developer's presentation and sales centre and is zoned "Residential / Limited Commercial and Artist Residential Tenancy Studio Units (ZMU25) – Capstan Village (City Centre)".

For clarity pertaining to the phasing of Pinnacle Living (Capstan Village) development, their corresponding areas and buildings in the immediate neighbourhood and the arrangement of buildings on the subject site, see Attachments 1 and 2.

A Zoning Text Amendment for this site (ZT 18-827860), seeking to amend the "Residential / Limited Commercial and Artist Residential Tenancy Studio Units (ZMU25) – Capstan Village (City Centre)" zone to transfer unbuilt permitted residential floor area from Area B (located south of Area C) to Area C and transfer the developer's required Area D affordable housing contribution from Area D to Area C, went to Public Hearing on December 16, 2019, and has received third reading.

All Engineering, Transportation, and Parks off-site requirements with respect to Pinnacle's four-phase development were resolved through the rezoning process and secured with legal documents and Servicing Agreements (SA 16-731709 and SA 19-861963) registered on title, and include:

- Utility works (water, storm, and sanitary upgrades; private utilities; and encroachments).
- Frontage improvements (the introduction of Hazelbridge Way and Carscallen Road, including its cul-de-sac terminus, into the overall site; improvements to Sexsmith Road; and the sidewalk and bike lane treatments along No. 3 Road and Sea Island Way).
- Installation of new traffic signals at the intersection of Hazelbridge Way and Sexsmith Road.
- Construction of the first phase of the City-owned Capstan Neighbourhood Park located between No. 3 Road and Carscallen Road, and south of Area D.
- Design and construction of the Westerly Private Road statutory right-of-way (SRW) area.
- Design and construction of the City-owned linear park and sidewalk works under the Canada Line guideway.

Servicing Agreement (SA 19-861963) will be updated to reflect the current design of off-site works.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 3) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Area C is currently vacant and is being used for construction staging for Area B of the Pinnacle Living (Capstan Village) development. Area D is presently being used as a temporary sales office. Existing development surrounding the subject site includes:

To the north: North of Area D is Sea Island Way, a designated Provincial highway, and highway-oriented commercial properties designated for future development with high-rise, high density, hotel, office, and accessory retail uses.

North of Area C is a vacant site (3131 Sexsmith Road) owned by Concord Pacific and zoned “Residential / Limited Commercial and Artist Residential Tenancy Studio Units (ZMU25) – Capstan Village (City Centre)”.

To the east: East of Area C is Sexsmith Road, and on the east side of Sexsmith Road, is a single-family lot and Patterson Road that provides access to several larger single-family lots zoned as Single Detached (RS1/F), which is designated for mixed multi-family residential and commercial uses.

To the south: South of the Area D site is a new neighbourhood park, currently under construction by the developer (as required through rezoning, RZ 12-610011), and the site of the future Capstan Canada Line Station.

South of the Area C site is Area B of the Pinnacle Living (Capstan Village) development (DP 16-735564) which is currently under construction and will include a mixed-use, high-density building, including multi-family residential units, office space, and an Early Childhood Development Hub.

To the west: West of Area D is No. 3 Road and the Canada Line guideway. On the west side of No. 3 Road is a multi-phased development, zoned “Residential / Limited Commercial and Community Amenity (ZMU30) – Capstan Village (City Centre)”, which is undergoing various stages of construction, permitting, and pre-application processes for medium- and high-density, high-rise, residential, hotel, retail, office, and public amenity uses. DP 16-745853 was approved for this site in June of 2017, while DP 17-794169 and ZT 19-872212 are currently under consideration.

Rezoning and Public Hearing Results

During the Zoning Text Amendment process, staff identified the following design issues to be resolved at the Development Permit stage:

- a) Design of a private road, via a 10.0 m wide right-of-way (ROW) along the southern side of Area D, including building encroachments (into the right-of-way from upper levels of the building).
- b) Design of a walkway and its related landscape features, which has been relocated to the west side yard of Area D, including building encroachments (into the right-of-way (ROW) from upper levels of the building). This area is the subject of a statutory right-of-way (SRW), in favour of the City, which would satisfy the requirement for a ‘neighbourhood park trail’, which is a condition of the rezoning and required as per the Capstan Station Bonus.

Both of the above items have been addressed through the subject Development Permit submission.

The Public Hearing for the Zoning Text Amendment of this site was held on December 16, 2019. At the Public Hearing, one resident wrote an email inquiring about the potential for the inhabitants of the proposed affordable housing units to make the neighbourhood feel unsafe and requested clarity regarding the process for awarding the affordable housing units. Staff responded to the author of the email and explained that the affordable housing units would be eligible to low- and moderate-income households that are capable of independent living but are in need of some degree of support in addressing their housing affordability needs.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and City Centre Area Plan (CCAP). In addition, staff note the following:

- Restricting Hotel Subdivision: Subdivision through strata titling or air space parcel subdivision of individual hotel rooms and suites would be prohibited via a Restrictive Covenant registered on the Title of Area D.
- Affordable Housing: The habitable floor area of affordable housing proposed for Area C is 3,007 m² (32,367 ft²), which satisfies the terms of the site's "Residential/Limited Commercial and Artist Residential Tenancy Studio Units (ZMU25)" zone, as amended via the proposed Zoning Text Amendment application ZT 18-827860. Occupants of the affordable housing units shall have unlimited access to all on-site indoor and outdoor amenity spaces in Areas C and D.

Affordable Housing Unit Type	Number of Units	Minimum Unit Area	Maximum Monthly Unit Rent (1) (2)	Total Maximum Household Income (1) (2)
Studio	2	37 m ² (400 ft ²)	\$759	\$34,650 or less
1-Bedroom	16	50 m ² (535 ft ²)	\$975	\$38,250 or less
2-Bedroom	9	69 m ² (741 ft ²)	\$1,218	\$46,800 or less
3-Bedroom	14	91 m ² (980 ft ²)	\$1,480	\$58,050 or less
TOTAL	41	N/A	N/A	N/A

(1) Denotes 2017 amounts adopted by Council on July 24, 2017.

(2) Subject to Council approval, total annual household incomes and maximum monthly rents may be increased annually by the Consumer Price Index.

The applicant proposes one additional two-bedroom and one additional three-bedroom affordable housing units, and one less one-bedroom affordable housing units than what was reflected at the time of the Zoning Text Amendment application (ZT 18-827860). Considering that the proposed change results in an increased number of larger affordable housing units, staff have no objection to the new breakdown of affordable housing unit types. Prior to Development Permit issuance, the developer shall enter into the City's standard Housing Agreement to secure 41 Affordable Housing Units including: 2 studio, 16 one-bedroom, 9 two-bedroom and 14 three-bedroom units.

- Cross Access Easements: Agreements registered on the titles of Area B, Area C and Area D secure access between the parking structures of the three phases. Prior to issuance of the Development Permit, the easement must be replaced with new easement plans that reflect the areas within the parking facilities, including access to and egress from such facilities.
- Area C Parking Located in Area B: 43 parking spaces were considered in Area B and were secured via agreement on Title for the use of residents of Area C. A No-Build Covenant registered on the title of Area C restricts Building Permit issuance for Area C. In accordance with the agreement, the covenant shall be discharged upon the City's satisfaction that the 43 parking stalls in Area B are indeed available and designated for use by the residents of Area C.
- Access To and From 3131 Sexsmith Road Through Area C: In accordance with legal agreements registered on title at rezoning stage, the proposed Development Permit provides for access that facilitates the interconnection of Area C's ground level parking structure with a future building on 3131 Sexsmith Road.

Zoning Compliance/Variances (staff comments in ***bold italics***)

In Area C, the applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- 1) Increase the maximum permitted balcony projection for balconies into required setbacks at 3208 Carscallen Road and 3211 Carscallen Road, from 1.0 m to 1.7 m.

Staff support the proposed variance as the proposed projections are limited to balconies on the south and east elevations on floors 2 – 5 of Building J in Area C and also on floors 8, 10, 11 and 13 at the southeast corner of Building K in Area D. The proposed variance would apply to balconies and would not interfere with public pedestrian circulation or vehicle sightlines. The proposed projections would articulate the building façade.

- 2) Increase the maximum permitted projection for architectural features into required setbacks at 3208 Carscallen Road and 3211 Carscallen Road from 0.6 m to 1.7 m.

Staff support the proposed variance as the proposed projections are limited to the northeast corner of Building J in Area C and a cantilevered roof corner at the southeast corner of Building K in Area D. The proposed projections would not interfere with public pedestrian circulation or vehicle sightlines. The proposed projections also contribute to greater articulation of the building façade and tie-in the designs of the subject buildings to the adjacent tower development in Area B.

Advisory Design Panel Comments

The Advisory Design Panel (ADP) reviewed the proposal to the subject site on May 8, 2019. The Panel was supportive of the proposed form and character subject to the applicant giving further consideration to the Panel's comments. A copy of the relevant excerpt from the ADP Minutes from May 8, 2019 is attached for reference (Attachment 4). The design response from the applicant has been included immediately following the specific comments from members of the ADP and is identified in '***bold italics***'.

Analysis

The developer proposes to construct Phases 3 and 4 of a four-phase, high-rise, mixed-use development on a site located in proximity to the future Capstan Canada Line Station and adjacent to a new neighbourhood park secured at the time of rezoning. Carscallen Road terminates in a cul-de-sac at the south side of the subject site. A new private road south of Area C leading to Sexsmith Road, and a connection between No. 3 Road and Carscallen Road were secured through rezoning. The proposed development, which consists of high-rise towers rising from low podiums, generally conforms to the CCAP and applicable Development Permit Guidelines, and is well-suited to the site. In particular, the development provides for:

- A strong urban concept supporting a high density, high-amenity, pedestrian-friendly environment.
- Variations in building massing that contribute towards a human scale, solar access, usable rooftops, and upper- and mid-level views across the site for residents and neighbours.
- Architectural treatments that complement the urban context of the site through articulated street walls that are broken up along No. 3 Road to create distinction between buildings, visual interest from the public realm and from other buildings in the neighbourhood, and a high amenity public realm in general.

Architectural Form and Character

The CCAP encourages the development of a mosaic of distinctive, yet cohesive, urban villages. The subject development aims to satisfy this objective by building on the strong streetwall vocabulary established in the Capstan Village, while proposing distinct tower, podium and frontage treatments. In brief, features include the following:

- Strong mid-rise streetwall elements are articulated with a varied grid of windows, recessed and projecting elements (e.g., balconies), and bold horizontal frames that “float” over the development’s lower floors and together provide visual interest and a human scale.
- Tower treatments and colours vary in response to their locations.
- Rooftop mechanical equipment is integrated into the tower rooftops and screened to minimize visual impacts.
- Townhouse frontages include patios screened with hedges and distinctive entry features incorporating gates, weather protection, and lighting.
- Retail frontages along the No. 3 Road and Sea Island Way frontages include glass canopies, large storefront windows, and outdoor seating consolidated with tree groupings, designed to complement the materials and forms associated with the architectural gateway expression of Building L and the corner of No. 3 Road and Sea Island Way.

Perspective renderings of the proposed development are provided in Attachment 5.

Conditions of Adjacency

The subject site is located in Capstan Village, an emerging, high-rise, mixed-use area. Overall, it has been demonstrated that the design of the subject development is sensitive to its emerging urban context and has reasonably addressed conditions of adjacency as follows.

- City streets, measuring 20 m (66 ft.) wide or greater, frame the subject site on its north and east sides, which (together with typical building setbacks) ensure tower separation between the proposed development and existing/future neighbours would meet or exceed the CCAP recommended minimum distance of 24 m (79 ft.).
- The Linear Park Under the Canada Line Guideway: The proposed development is separated from the existing construction site and proposed mixed-use residential and commercial development across No. 3 Road by the City-owned linear park (shown as Lot 5 on Attachment 1), which contains the Canada Line guideway and a proposed park underneath the guideway.

The west sides of Buildings K and L, and the podium between them, follow the bowed form of the guideway. The single-storey podium employs a full-height glass barrier. At ground level, an active retail frontage is proposed, and the 'Public Plaza SRW' (referred to as the 'Neighbourhood Park Trail' SRW in the rezoning) would be applied to the setback area to secure a pedestrian right-of passage that integrates seamlessly with the linear park, including the proposed park underneath the guideway structure.

The developer has obtained a Preliminary Design Acceptance letter from Translink regarding the proposed development. The letter, pursuant to an SRW agreement on the Title of Area D which secures Translink access to the linear park area and the Canada Line guideway, notes that prior to any works in Area D, plans relating to excavation and construction of buildings are subject to Translink approval.

A Canada Line noise covenant has been secured at rezoning stage, which obliges the developer to construct buildings along the guideway to Canada Mortgage Housing Corporation (CMHC) standards for noise-reduction.

A signed and sealed letter from the developer's geotechnical engineer is required prior to Development Permit issuance, to confirm that pre-loading the site will not adversely impact the adjacent Canada Line infrastructure.

- The Carscallen Road Cul-De-Sac: Carscallen Road terminates at its north end in a cul-de-sac with driveway crossings to the north, west and east that provides respective vehicle access to:
 - The auto-court located on Area D.
 - The New Westerly Private Road located on the south side of Area D.
 - The Easterly Private Road located on the north side of Area B.

In Area D, Building K fronts onto the cul-de-sac and addresses it directly via the residential foyer. Across the drive aisle into the auto court in Area C, only a small portion of Building J directly fronts the cul-de-sac where it meets the easterly private road, consisting of the westernmost at-grade townhouse dwelling, buffered and screened by landscaping.

- The Easterly Private Road: A 20 m wide private road along the north side of Area B, between the cul-de-sac terminus of Carscallen Road and Sexsmith Road, has been secured by SRW in favour of the City and restricts public vehicular access to residents of Area B only. This private road provides adequate separation between the buildings on Area B and Area C, while below-grade parkade connections will facilitate future shared access and multi-lot parking utilization (secured with legal agreements).

In Area C, Building J directly fronts the private road with at-grade townhouse dwelling, buffered and screened by landscaping and private entry patios.

- A New Westerly Private Road: A 10 m wide SRW along the south side of Area D, secured by statutory right-of-way (SRW) in favour of the City and constructed over underground parking functions as a passenger pick-up and drop-off area for a) the hotel in Building K along the north side of the road, and b) for the future Canada Line Capstan Station (i.e. a Kiss & Ride facility) along the south side, thus minimizing potential traffic that would otherwise stop and queue along No. 3 Road. The SRW area will also be provided for access and potential parking to facilitate Translink operation of the future Canada Line Capstan Station.

In Area D, Building K directly fronts the westerly private road with at-grade retail or restaurant use at the southwest corner, and with the hotel lobby entrance at the midway point of the road. Public art is likewise proposed at the southwest corner of Building K, and is described later in this report. The above-grade storeys on the south side of Building K overhang a portion of the pedestrian right-of-passage along the north side of the Westerly Private Road to establish a weather-protected pedestrian arcade.

- The City-Owned Capstan Neighbourhood Park: A partially-constructed 8,047 m² (86,617 ft²) public open space is located south of the Westerly Private Road on Area D, and between No. 3 Road and Carscallen Road, which was required a condition of the rezoning. The first phase of this park (of three phases) has been constructed by Pinnacle Living (Capstan Village) Lands Inc.

In Area D, Building K frames the park, contributing to its enclosure by the existing and future tower developments that surround the park.

- 3131 Sexsmith Road: An ‘orphaned’ lot, located north of Area C and east of Area D and which fronts onto Sea Island Way and Sexsmith Road, is under different ownership than the subject site and is not subject to an application at this time. Future access to that site has been secured via the proposed parkade structure for Area C.

Building J (in Area C) and Building L (in Area D), both abut 3131 Sexsmith Road with no setback. As such, future development of that site would, from a massing perspective, contribute a continuity of massing established by the proposed development. The abutting portion of building J follows the podium edge on the west side and rises up to 7th storey at the east side. The abutting portion of Building L follows the 3rd storey green roof on the south side and rises to the 5th storey. Until 3131 Sexsmith Road develops, the abutting portions of Buildings J and L would present blank walls facing Sea Island Ways and Sexsmith Road. The developer proposes to soften the impact of the north-facing blank wall of Building J and the west-facing wall of Building L by incorporating a temporary artistic feature of a painted windswept leaf motif along a curvilinear path across their lengths.

Urban Design and Site Planning

The CCAP requires the subject development to provide for a high density mix of uses in a visually interesting, high-rise form, together with an attractive public realm.

- The Easterly Private Road Frontage: The south side of Area C is lined with townhouse entranceway patios and landscaping, which front directly onto the easterly private road. The townhouse patios are located 10 – 72 cm above the elevation of the adjacent sidewalk along the private road and are separated from the sidewalk by a 2 m wide planting strip and a

retaining wall that abuts the south property line. The terraced 10-storey to 15-storey 'street' wall of Building J completes the framing the private road, of which Building G in Area B is 19 storeys high.

- The Sexsmith Road Frontage: The south and east sides of Area C are lined with townhouse entranceway patios and landscaping, and those on the east side front directly onto Sexsmith Road. The townhouse patios are located 60 - 89 cm above the elevation of the adjacent sidewalk along the Sexsmith Road and are separated from the public realm by a 2.4 m wide planting strip and a retaining wall that is set back 40 cm from the east property line and screened with 2 m high yew hedges. The townhouse entrances and patios are separated from the residential foyer entrance by a landscaping. The 14-storey streetwall of Building J frames the street, the opposite side of which currently contains single detached dwelling but is designated for future high density mixed use development.

A Private Utilities Agreement that is currently registered on the title of Area C needs to be amended to replace the SRW plan to reflect the new location and area of the BC Hydro 'vista switchgear' chamber. This equipment is proposed to be screened with landscaping.

- The No. 3 Road Frontage: The west side of Area D is delineated with a streetwall that steps down mid-block to a single-storey podium between Buildings K (15 storeys) and L (12 storeys), which are both 47 m (154.2 ft.) in height. The massing of these buildings provides street definition and visual interest and to help visually break up the development into a rhythm of narrower buildings, as opposed to a solid street wall.

A 1,668 m² (0.41 acres) City-owned linear park is located between Area D and No. 3 Road and extends from the south lot line of Area D to Sea Island Way, and contains the Canada Line guideway. At ground level, a linear park is proposed under the guideway structure. The pedestrian thoroughfare between the building and the linear park is subject to a statutory right-of-way (SRW) in favor of the City and public access for a 'neighbourhood park trail', as secured via the rezoning in order to satisfy the requirements for the Capstan Station Bonus. A patterned cast-in-place concrete surface treatment is proposed that would extend to the urban park area under the Canada Line guideway, to provide the impression of a non-delineated urban space that permeates the streetscape as a whole. A row of coniferous trees would separate the asphalt bike path and the under-guideway area.

- The New Westerly Private Road Frontage: The south side of Building K (in Area D) is delineated with a 14-storey streetwall that overhangs an at-grade weather-protected pedestrian area and frames the north side of the park. Support columns create an arcade-style space under the overhang area. At street level, retail or restaurant use is accommodated for at the corner and primary access for customers of the hotel is located at the mid-point of the private road.
- The Sea Island Way frontage: The north side of Building L (in Area D) is defined by a 12-storey continuous street wall. Retail frontage extends across approximately 60% of this frontage from the corner, and the remaining easterly frontage is dedicated to service access screened by islands of trees and low landscaping. The same patterned surface treatment proposed along the No. 3 Road frontage would extend around the corner to the Sea Island Way frontage.

- The Multi-Use Auto-Court: Accessed from the north side of the cul-de-sac terminus of Carscallen Road, the auto-court consolidates service uses for both phases of the development, including loading and 2nd floor DEU access for equipment (via lift truck), separate parkade access for both phases, as well as providing an alternative drop-off and pick up area for the hotel.

The entrance to the residential component of Building K (in Area D) fronts directly onto the cul-de-sac, where it meets the westerly new private road. It is separated from the vehicle- and service-oriented uses in the auto-court by a water feature, a modest stand of trees with low landscaping in a raised planter and a pair of large support columns.

Landscape Design and Open Space Design

The CCAP encourages the development of Capstan Village with a network of small- and medium-size neighbourhood parks linked by greenways, bikeways, mid-block walkways, and other landscape features. In addition, Zoning Bylaw requirements with respect to the Capstan Station Bonus require that benefitting developments (including the subject developments) provide publicly-accessible open space over and above basic CCAP park standards. The developer's four-phase development plan locates most of its permanent public open space south of Area D in the form of Capstan Neighbourhood Park, which is owned by the City.

The proposed development provides the following:

- 3,277.1 m² (35,274 ft²) of total shared outdoor amenity space between the two phases: 1,264.7 m² (13,613 ft²) of shared outdoor amenity space is provided at grade and on the podium of Area C and 2,012.4 m² (21,661 ft²) is provided at grade and on the podium of Area D. These include children's outdoor play areas, as noted below.
- Children's outdoor play areas include playground areas with rubber play surface and playful topography, a multi-use court (with artificial turf), a long open play area (also with artificial turf) and an open lawn area with sodded turf. The play structures include: balance logs and boulders, a play hut, a 'spinning bowl', spinning chairs, spring chairs and exploratory stepping stone paths through the plantings.
- 2,729 m² (29,375 ft²) of (inaccessible) green roofs: 701 m² (7,546 ft²) in Area C and 2,028 m² (21,829 ft²) in Area D, distributed between Buildings K & L.
- Private outdoor amenity space for each residential unit in the form of a balcony, patio, or rooftop terrace is provided, consistent with CCAP guidelines.
- On-site street-fronting landscaping in the public realm, including the 'neighbourhood park trail' SRW area abutting Lot 5.
- All landscaped areas, including shrub and green roofs, are proposed to be irrigated

The estimated landscaping costs, including a 10% contingency is \$2,846,696.79, which will be provided to the City as a Letter of Credit prior to issuance of the Development Permit. Tree replacement was assessed at the time of rezoning. There are 47 replacement trees that are unable to be planted on site. The developer proposes to contribute \$23,500 (a rate of \$500 per tree, as secured at the time of rezoning) to the City's Tree Compensation Fund.

Shared Indoor Amenity Space

- In the case of the proposed developments in areas C and D, a total of 647.3 m² (6,967 ft²) of shared indoor amenity space has been provided (414 m² (4,456 ft²) in Area C and 233.3 m² (2,511 ft²) in Area D).
 - Indoor amenity space in Area C would be accessed by residents of both Areas C and D.
 - 148.3 m² (1,596 ft²) of indoor amenity space in Area D would be accessed by guests of the hotel and residents of both Areas C and D, however, an additional 85 m² (915 ft²) of separate indoor amenity space in Area D would be available only to the residents of Areas C and D.

Crime Prevention Through Environmental Design (CPTED)

- CPTED design strategies implemented in this proposal include surveillance, territoriality, lighting and landscaping.
- The public open spaces, including sidewalks, bike paths, plazas, and the pedestrian green link will be visually open and well lit, with units fronting these spaces to provide overlook.
- Units at street level are separated from the public realm by landscaped planters, guardrails, and elevated entrance patios, and provide overlook to adjacent sidewalks.
- The courtyard and rooftop gardens will likewise be visually open and well lit with multiple means of egress provided.
- The parking structure and lobbies are designed to minimize alcoves and hidden corners, will be well-lit, and the parking structure will be painted white.
- Parkade exhaust louvers are inset from the pedestrian walkway areas but areas with low visual clearance would be blocked with landscaping.

Public Art

- Legal agreements registered on title at rezoning stage require that the developer prepare a Detailed Public Art Plan for the subject Phase 4 site, to the City's satisfaction, prior to Development Permit issuance. The Detailed Public Art Plan has been considered by RPAAC (March 10, 2020) and support on-site artwork to be located at the southwest corner of Area D.
- Prior to Development Permit issuance, the developer shall submit a Letter of Credit for \$326,583.30 to secure the implementation of the Detailed Public Art Plan.

Accessible Housing

- The proposed development includes 65 basic universal housing units that are designed to be easily renovated to accommodate a future resident in a wheelchair. 42 basic universal housing units are proposed in Area C, including all 41 Affordable Housing dwelling units in Building J, and 23 in Building K of Area D.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging.

Sustainability Measures

This project is not subject to Step Code. The applicant has submitted an acceptable Building Permit application prior to December 31, 2019, and must therefore achieve the City's LEED "Silver" equivalent criteria.

The development proposal targets 51 LEED points and responds to City objectives for enhanced long-term environmental, fiscal, and social sustainability as per the attached LEED Checklist (Attachment 6). In brief, among other things the development will include:


- An efficient mechanical system.
- Passive design elements.
- Plumbing fixtures that use at least 30% less water than the LEED baseline.
- Energy Star rated appliances.
- Water efficient landscaping to reduce potable water consumption for irrigation by 50%.
- Locally-manufactured building materials with high recycled content.
- Construction waste recycling during construction phase of the project.
- Extensive system of green roofs.

This development must be designed and constructed to facilitate their connection to a future City DEU system ("DEU Ready"). Prior to rezoning, legal covenants were registered on title requiring that, among other things, the developer submit for review the mechanical and architectural design and an energy modelling report prepared by an accredited professional to the satisfaction of the City prior to Building Permit approval to ensure compatibility for future DEU connection.

Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.

The list of Development Permit Considerations is included in Attachment 7, which has been agreed to by the applicant (signed concurrence on file).



Robin Pallett, RPP, MCIP
Planner 2
(604-247-4625)

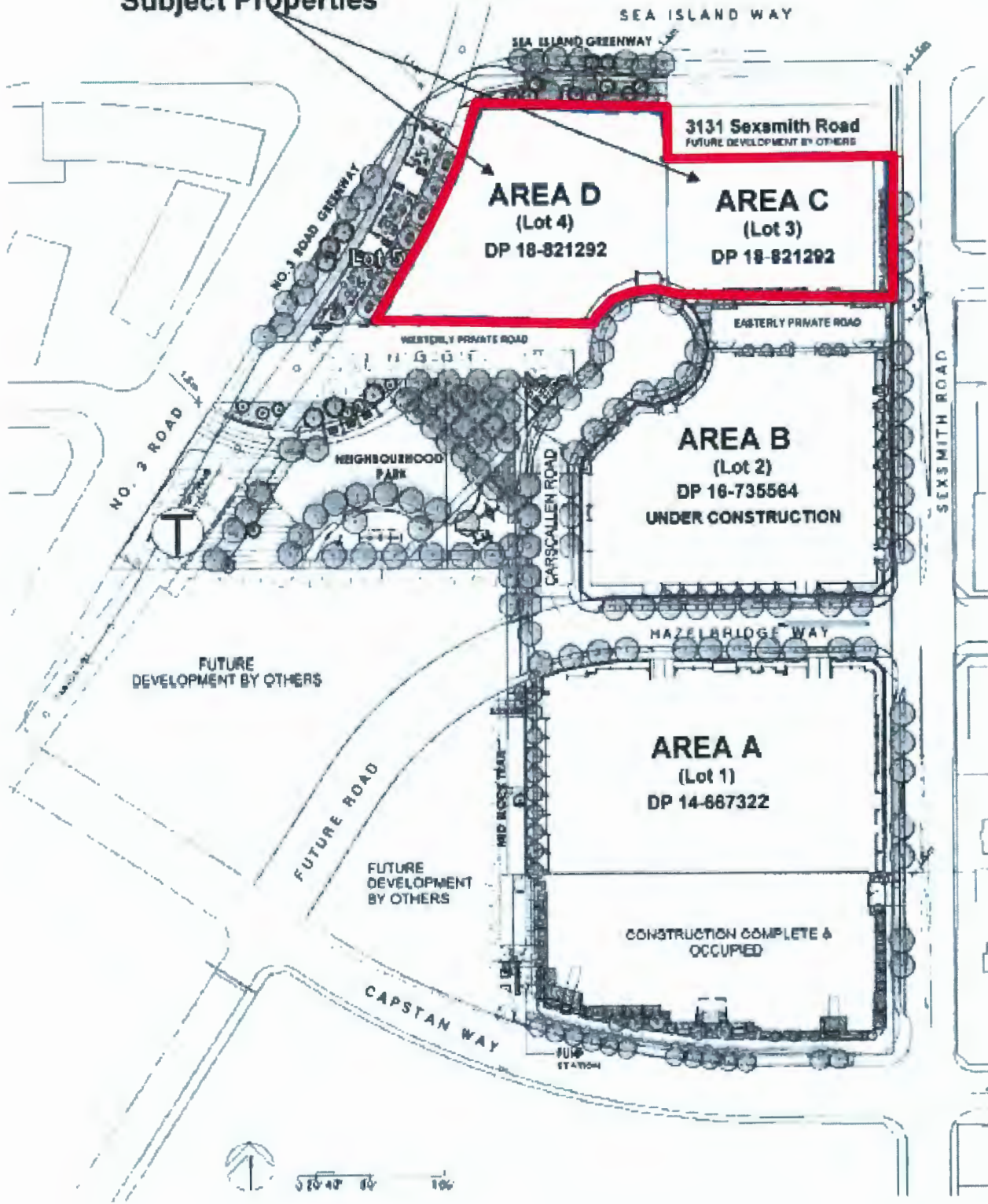
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Attachments:

1. Neighbourhood Areas and Phasing Map
2. Map of Buildings on the Subject Site
3. Development Application Data Sheet
4. Advisory Design Panel Meeting Minutes, May 8, 2019
5. Perspective Renderings
6. LEED Checklist
7. Development Permit Considerations

Neighbourhood Areas Map

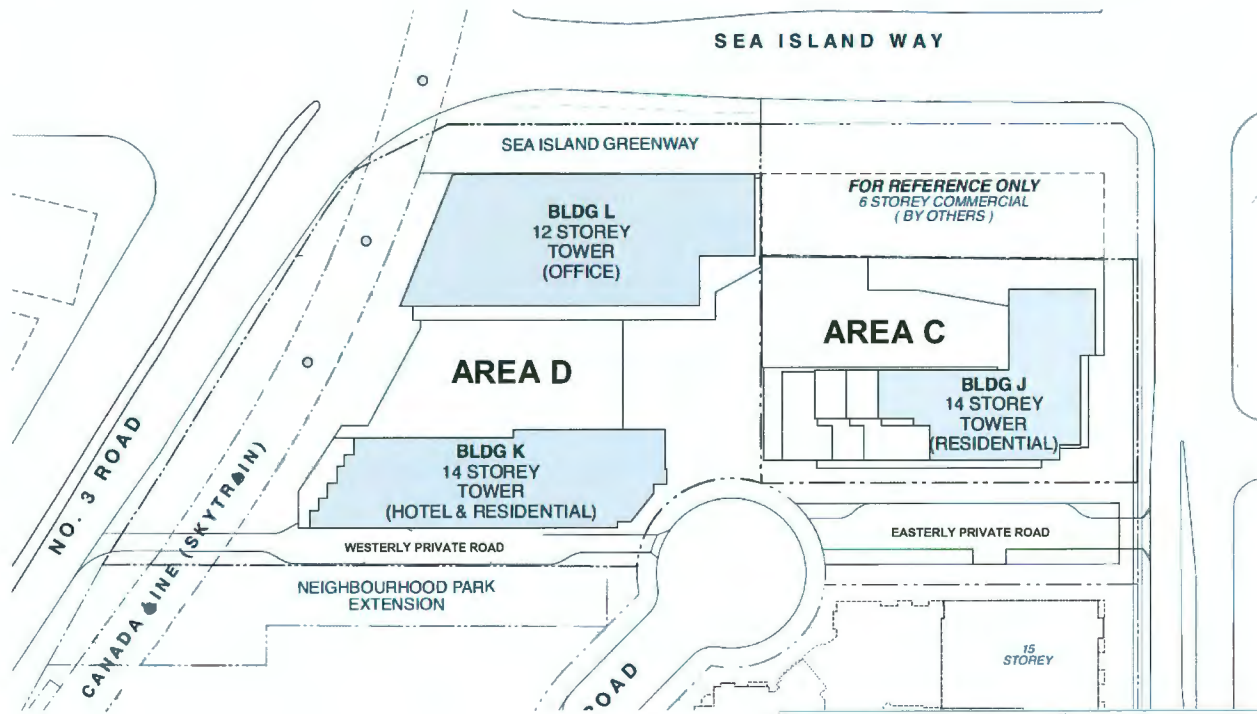
Subject Properties



Attachment 2

Map of Buildings on the Subject Site

(of staff report dated April 20, 2020)





Development Application Data Sheet
Development Applications Department

DP 18-821292

Address: 3208 (Area C) and 3211 (Area D) Carscallen Road

Applicant: Pinnacle Living (Capstan Village) Lands Inc. Owner: Pinnacle Living (Capstan Village) Lands Inc.

Planning Area: City Centre (Capstan Village)

Floor Area Gross: 54,170.8 m² Floor Area Net: 50,984.5 m²

	Existing	Proposed
Site Area:	10,595 m ²	No change
Land Uses:	Area C: Construction staging for Area B development Area D: Temporary sales office	Mixed use
OCP Designation:	Mixed Use	No change
CCAP Designation	Urban Centre T5 (45 m)	No change
Zoning:	Residential / Limited Commercial and Artist Residential tenancy Studio Units (ZMU25) – Capstan Village (City Centre)	Amendment via ZT 18-827860: transfer 436 m ² of floor area from Area B to Area C, and to transfer 1,026.6 m ² of affordable housing floor area from Area D to Area C
Number of Dwelling Units:	Area C: None	Area C: 166 market residential units plus 41 Affordable Housing Units (Total: 207 dwelling units)
	Area D: None	Area D: 115 market residential units
Commercial Floor Area	Area C: None	Area C: None
	Area D: Sales Office: approx. 550 m ²	Area D: <ul style="list-style-type: none"> ▪ retail : 649.5 m² ▪ office: 18,983.8 m² ▪ hotel : 8,616 m²

	Bylaw Requirement	Proposed	Variance
Lot Size:	Area C: Min. 3,200.0 m ²	3,429.0 m ²	None
	Area D: Min. 7,000.0 m ²	7,175.2 m ²	None
Floor Area Ratio:	Max. 4.98 including Village Centre bonus: Min. 0.1 Amenity Space	Area C: 4.7	None permitted
		Area D: 4.9	

	Bylaw Requirement	Proposed	Variance
Lot Coverage:	Max. 90%	Area C: 83%	None
		Area D: 62%	None
Height (m):	Max. 47.0 m GSC	Area C: 47.0 m GSC	None
		Area D: 47.0 m GSC	None
Setback – Balcony Projections	Max. 1 m (1/3 of the required 3m setback)	Area C: <ul style="list-style-type: none"> • south side of Level 2: 1.60m projection • southwest corner on Levels 2-5: 1.30m projection • east side of Levels 2-3: 1.63m projection 	Increase balcony projection into setbacks to 1.70 m
		Area D: southwest corner of Building K at levels 8, 10, 11 & 13: 1.6m projection	Increase balcony projection into setbacks to 1.70 m
Setback – Architectural Feature Projections	Max. 0.6 m	Area C: <ul style="list-style-type: none"> • southwest corner of levels 1-4: 1.24m projection (a support column) • east side of levels 1-2: 1.63m projection (a support column) • northeast corner of levels 1-2: 1.63m projection (a supporting wall) 	Increase architectural feature projection into setbacks to 1.70 m
		Area D: cantilevered roof corner at the southwest corner of Building K: 1.6m projection	Increase architectural feature projection into setbacks to 1.70 m
Off-Street Parking Spaces:	Area C: Min 218 spaces	Area C: 242 spaces	None
	Area D: Min 316 spaces	Area D: 317 spaces	None
Amenity Space – Indoor:	Area C: Min 514 m ²	Area C: 414.0 m ²	None
	Area D: Min 100 m ²	Area D: 233.3 m ²	None
Amenity Space – Residential Outdoor:	Area C: Min 1,584.9 m ²	Area C: 1,264.7 m ²	None
	Area D: Min 1,676.3 m ²	Area D: 2,176.2 m ²	None

**Excerpt from the Minutes from
The Design Panel Meeting**

**Wednesday, May 8, 2019 – 4:00 p.m.
Rm. M.1.003
Richmond City Hall**

**1. DP 18-821292 – 3-TOWER CITY CENTRE RESIDENTIAL, HOTEL, OFFICE
MIXED USE DEVELOPMENT PINNACLE PHASES 3 & 4**

ARCHITECT: Bingham Hill Architects
LANDSCAPE ARCHITECT: Durante Kreuk Ltd.
PROPERTY LOCATION: 3208 and 3211 Carscallen Road

Applicant's Presentation

John Bingham and David Karpenic, Bingham Hill Architects, and Peter Kreuk, Durante Kreuk Ltd., presented the project and answered queries from the Panel on behalf of the applicant.

Panel Discussion

Comments from Panel members were as follows:

- appreciate that the applicant is coordinating with the City regarding public art and its potential location in the project as public art would enhance the public realm;
- support the use of red building elements as it differentiates the proposed development from the rest of the neighbourhood;
- consider further breaking down the building massing of Building K facing the new neighbourhood park, particularly its lower levels through further articulation of the façade and breaking it down into smaller components to provide a more pedestrian-oriented character to the south facade, e.g., reducing the size and further articulating the white frames and/or introducing additional shades of red colour for the vertical elements; also consider further articulating the building columns;

Response: The south elevation of Building K has been refined, adjusting both scale and detail. The ground floor restaurant opens onto the adjacent sidewalk while residential and hotel components have been refined to provide appropriate scale relating to adjacent projects and to complete the encirclement of the adjacent park

- notwithstanding its use in other locations on No. 3 Road, support the proposed corner treatment of office Building L, i.e., the inward sloping plane of faceted glass at the corner of Sea Island Way and No. 3 Road, as it provides identity to the prominent corner and helps announce the project as a major gateway location;
- consider further breaking down the building massing on the north façade of Building L to enhance its pedestrian character and provide a stronger identity to its corner/gateway location;

Response: The rhythm of the building facade is adjusted with frame and slot elements now narrower, reinforcing the vertical scale. The Sea Island greenway is revised from an urban forest to an open plaza.

- support the continuous paving treatment along the Building K frontage facing the park as it helps integrate the programs of the park with the other proposed uses along the south side of Building K; also support the proposed canopies for weather protection;
- consider introducing appropriate treatment to the blank wall portion of the lower east façade of Building L to provide a better interface with the future development in the orphan lot;

Response: The height of the blank wall has been reduced from 7 storeys to 4 storeys and will be hidden by the future 5-6 storey development.

- Building J is the most well resolved building due to the variation of the belt line along the street frontages around the building which effectively breaks down the massing of the 14-storey building;
- the belt line in other buildings, in particular Building K, is stark and straight and presents a proportion issue with the residential above the hotel storeys; consider introducing the red vertical building elements in the lower levels into the upper levels of the building to break down the massing of the residential storeys;

Response: The straight belt line is softened and muted with dark spandrel expanding in vertical slots up into the residential floor and down to the hotel entrance. Residential floors float above the hotel and are strengthened by the white frame elements surrounding the balconies.

- the façade and corner treatment of Building L does not meet the desired objective of a “gateway” character; consider simplifying the approach to the building façade’s treatment and using less material changes and sculpting;

Response: The inward sloping plane has been reduced in height and now supports a cantilevered vertical element, strengthening the corner/gateway definition.

- consider relocating the children’s play area in the outdoor amenity space into an area which has more sunlight exposure as indicated in the shadow study;

Response: The children’s play areas have been located at the western edges of the podiums, providing the greatest opportunity for direct sunlight.

- the hotel frontage in Building K appears dark and too far back; needs to improve its relationship to the park;

Response: The hotel frontage features varying soffit heights providing natural light into the restaurant and entry spaces while providing weather protection for the walkway along the frontage.

- the project could meet the requirements for LEED Silver Equivalency; however, it could face serious challenges meeting Step Code 2 requirements should the applicant not be able to apply for a Building Permit by December 31, 2019; a 50 percent glass-to-wall ratio would be difficult to achieve for the project; balconies, slab extensions and no provision of heat recovery ventilators (HRVs) for residential units would provide further challenges to meeting Step Code 2 requirements;

Response: This project meets the requirements for LEED silver equivalency. The building permit application was submitted and accepted prior to Dec 31, 2019 and is not required to meet the Step Code 2 energy requirements.

- appreciate the applicant's intention to use energy modeling which is essential in meeting Step Code requirements; however, the applicant could have included specific targets;
- the model was helpful in understanding the project;
- further design development, details and refinements are needed to improve the project; ensure that the parkade exhaust will not negatively impact the appearance of the building exterior adjacent to pedestrian circulation areas; also review the soffit treatment to the lower and upper portions of the building as these are visually prominent, particularly at the corner of the hotel;

Response: Exhaust and intake grilles are integrated into the design of the building and are screened by adjacent landscaping.

- landscaping in the outdoor amenity areas at the podium rooftops are an important feature of the project; consider enhancing the landscaping on the ground plane, e.g., increasing the density of planting in the plaza near the hotel entrance to create a stronger relationship between lower and upper level landscaping;

Response: The entry sequence to the Hotel and Turn around have been refined to add planting , enhance the water feature and frame the vehicular entry sequence.

- the south elevation, in particular Building K, needs refinement to strengthen the relationship between on-site uses and the park;

Response: See previous comments regarding Building K.

- Building K's residential lobby off the cul-de-sac appears geometrically unresolved; consider further design development to create a stronger form and character to this building edge and not rely on public art;

Response: The residential lobby and auto-court frontage have been redesigned to better address vehicle and pedestrian access from the cul-de-sac.

- appreciate the interesting and dynamic paving patterns on the public realm; large enough to be experienced by pedestrians;
- provision for street furniture on the ground plane appears inadequate; placement of trees and design of furniture should reflect the paving angles and patterns which could spill out into the new park;

Response: Design of benches and planted landscaped areas is refined to be reflective of paving patterns and angles.

- consider extending the No. 3 Road public realm treatment (i.e., introducing benches and polygon shapes in the greenway) along the Sea Island Way frontage;

Response: Public realm treatment is now continuous from No.3 Road through the Sea Island Greenway (north frontage) to the eastern boundary of Phase 4.

- consider relocating the bicycle racks behind the potential public art location at the corner of No. 3 Road and Sea Island Way; bicycle racks could be integrated into the landscape design and forms;

Response: Bicycle racks have been relocated and integrated into the landscape design.

- appreciate the applicant's approach to integrate the polygon patterns into the planting arrangement in the podium rooftop outdoor amenity areas; however, consider reducing the amount of trees to allow more sunlight exposure into the amenity spaces;

Response: The number of trees have been reduced at the podium levels.

- appreciate the model and the design of the project;
- the design of the ground plane could be improved to match the quality of building design;

Response: The landscape design of the ground plane has been further developed to suit Architectural updates and Civil refinements. Paving patterns link all areas of the public interface, custom furniture and exercise equipment is proposed .Spaces for people to gather and socialize are created in conjunction with ground floor uses of the buildings.

- applicant needs to improve the views along the access route to parking and loading (i.e., the auto-court) which include loading bays, garbage and recycling collection/pick-up stations and access ramps; further design development is needed for the auto-court to increase the project's value which includes considering (i) consolidating and reducing the number of access ramps to parking, (ii) relocating the entry to the residential lobby in Building K to face south to the private road in order to provide relief to the cul-de-sac, and (iii) relocating the surface drop-off parking spaces from the front yards abutting the cul-de-sac to other areas in order to enhance pedestrian safety in the auto-court;

Response: The auto-court area has been extensively redesigned, becoming an arrival plaza with entrances provided to both hotel, conference and office functions. The area at the east end of Building K is now opened double height providing a direct and inviting visual connection to the cul-de-sac. Service uses such as waste management and loading have been combined wherever possible and located within the buildings. The drop off parking spaces are removed from the front-yard and replaced with landscaping.

- support the Panel comments regarding the quality of the design of the project; and
- consider the safety of children and people with disabilities (e.g., those with visual impairment) in the design of the new road, particularly its paving treatment, which is intended for shared vehicular and pedestrian use.

Response: It is intended to provide a seamless connection between the hotel and park. The addition of textured paving at the pedestrian transition from hotel sidewalk to road is being considered. The use of lighting and paving items will define the edge between pedestrian space and car movement.

Panel Decision

It was moved and seconded

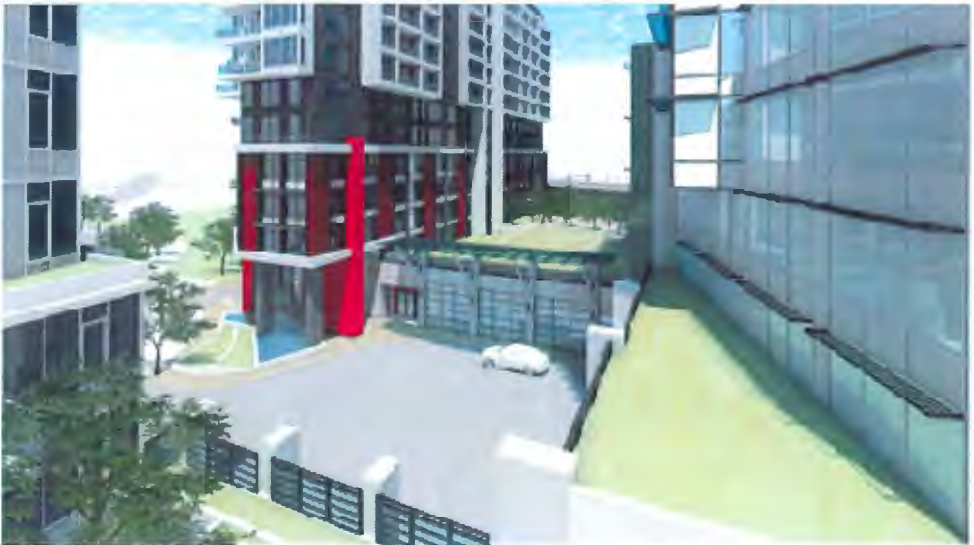
That DP 18-821292 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.

CARRIED

Opposed: Pablo Yuste



VIEW TO AUTOCOURT FROM SOUTHEAST



VIEW TO AUTOCOURT FROM NORTHEAST

PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 1204 Carecallen Road & 320C No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 FOR PINNACLE LIVING (CAPSTAN VILLAGE) LAMUS INC.

		<p>3D VIEWS</p>	<table border="1"> <tr> <td>PLAN #</td> <td>99</td> </tr> </table>	PLAN #	99
PLAN #	99				



VIEW TO BUILDING J (PHASE 3) FROM SOUTHEAST



VIEW TO BUILDING J (PHASE 3) FROM SOUTHWEST

PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for Pinnacle Living (Capstan Village) Lands Inc.

		30 VIEWS	
			PLATE # 90



VIEW TO BUILDING K (PHASE 4) FROM SOUTH



VIEW TO BUILDING K (PHASE 4) FROM NORTHWEST

PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3206 Carscallen Road & 3200 No. 3 Road



3D VIEWS





VIEW TO BUILDING L (PHASE 4) FROM NORTH



VIEW TO BUILDING J (PHASE 3) FROM SOUTHWEST

PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3206 Carscallen Road & 3200 No. 3 Road
 RICHMOND BR TIER COLUMBIA
 for PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.



30 VIEWS



PLATE #
66



LEED v4 for BD+C: New Construction and Major Renovation Project Checklist

Y	?	N			
1			Credit	Integrative Process	1
13	0	3	Location and Transportation		16
			Credit	LEED for Neighborhood Development Location	16
1			Credit	Sensitive Land Protection	1
		2	Credit	High Priority Site	2
5			Credit	Surrounding Density and Diverse Uses	5
5			Credit	Access to Quality Transit	5
1			Credit	Bicycle Facilities	1
		1	Credit	Reduced Parking Footprint	1
1			Credit	Green Vehicles	1
3	0	7	Sustainable Sites		10
Y			Prereq	Construction Activity Pollution Prevention	Required
1			Credit	Site Assessment	1
		2	Credit	Site Development - Protect or Restore Habitat	2
		1	Credit	Open Space	1
		3	Credit	Rainwater Management	3
1		1	Credit	Heat Island Reduction	2
1			Credit	Light Pollution Reduction	1
3	3	5	Water Efficiency		11
Y			Prereq	Outdoor Water Use Reduction	Required
Y			Prereq	Indoor Water Use Reduction	Required
Y			Prereq	Building-Level Water Metering	Required
1		1	Credit	Outdoor Water Use Reduction	2
2		4	Credit	Indoor Water Use Reduction	6
	2		Credit	Cooling Tower Water Use	2
	1		Credit	Water Metering	1
5	0	28	Energy and Atmosphere		33
Y			Prereq	Fundamental Commissioning and Verification	Required
Y			Prereq	Minimum Energy Performance	Required
Y			Prereq	Building-Level Energy Metering	Required
Y			Prereq	Fundamental Refrigerant Management	Required
		6	Credit	Enhanced Commissioning	6
5		13	Credit	Optimize Energy Performance	18
		1	Credit	Advanced Energy Metering	1
		2	Credit	Demand Response	2
		3	Credit	Renewable Energy Production	3
		1	Credit	Enhanced Refrigerant Management	1
		2	Credit	Green Power and Carbon Offsets	2

Project Name: Capstan Phases 3 and 4
 Date: 29-Apr-19

8	0	5	Materials and Resources		13
Y			Prereq	Storage and Collection of Recyclables	Required
Y			Prereq	Construction and Demolition Waste Management Planning	Required
		5	Credit	Building Life-Cycle Impact Reduction	5
2			Credit	Building Product Disclosure and Optimization - Environmental Product Declarations	2
2			Credit	Building Product Disclosure and Optimization - Sourcing of Raw Materials	2
2			Credit	Building Product Disclosure and Optimization - Material Ingredients	2
2			Credit	Construction and Demolition Waste Management	2

13	2	1	Indoor Environmental Quality		16
Y			Prereq	Minimum Indoor Air Quality Performance	Required
Y			Prereq	Environmental Tobacco Smoke Control	Required
1	1		Credit	Enhanced Indoor Air Quality Strategies	2
3			Credit	Low-Emitting Materials	3
1			Credit	Construction Indoor Air Quality Management Plan	1
2			Credit	Indoor Air Quality Assessment	2
1			Credit	Thermal Comfort	1
2			Credit	Interior Lighting	2
2	1		Credit	Daylight	3
1			Credit	Quality Views	1
		1	Credit	Acoustic Performance	1

5	1	0	Innovation		6
4	1		Credit	Innovation	5
1			Credit	LEED Accredited Professional	1

0	0	4	Regional Priority		4
		1	Credit	Regional Priority: Specific Credit	1
		1	Credit	Regional Priority: Specific Credit	1
		1	Credit	Regional Priority: Specific Credit	1
		1	Credit	Regional Priority: Specific Credit	1

51	6	53	TOTALS		Possible Points: 110
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Certified: 40 to 49 points, Silver: 50 to 59 points, Gold: 60 to 79 points, Platinum: 80 to 110



Address: 3208 & 3211 Carscallen Road

File No.: DP 18-821292

Prior to approval of the Development Permit, the developer is required to complete the following:

1. New BC Hydro Access Area: Amend the Private Utilities Agreement registered on the title of Lot 3 to replace its 'Schedule A' Plan EPP44100 with Plan EPP95878, in order to accommodate an above-ground BC Hydro 'vista gear switch' kiosk.
Private Utilities Agreement RC CA4136001/SRW CA4136002
2. Public Art: As required by the legal agreement registered on title prior to rezoning adoption, the developer shall submit the following items.

- a) A Detailed Public Art Plan for the subject site, based on the developer's voluntary contribution (as indicated in the following tables) and prepared by an appropriate professional, to the satisfaction of the Director of Arts, Culture, and Heritage Services (including review(s) by the Richmond Public Art Advisory Committee (RPAAC) and endorsement by Council, as required by the Director of Arts, Culture, and Heritage Services.

NOTE: The required Plan was reviewed and supported by RPAAC, March 10, 2020. (REDMS #6416054)

- b) \$326,583.30 Letter of Credit to secure the implementation of the Detailed Public Art Plan. Table 1 breaks down the Minimum Voluntary Developer Contribution for Lots 3 and 4.

TABLE 1:

Use	Proposed Floor Area	Permitted Floor Area Exemptions	Applicable Floor Area	Min. Developer Contribution Rates	Min. Voluntary Developer Contribution
Residential	Lot 3: 16,168.4 m ² <u>Lot 4: 7,937.2 m²</u> 24,105.6 m ²	Lot 3: 3,443.2 m ² <u>Lot 4: 0 m²</u> 3,443.2 m ²	Lot 3: 12,725.6 m ² <u>Lot 4: 7,937.2 m²</u> 20,662.4 m ²	\$0.87/ft ² (9.36/m ²)	\$193,495.15
Non-Residential	Lot 3: 0 m ² <u>Lot 4: 26,878.9 m²</u> 26,878.9 m ²	N/A	Lot 3: 0 m ² <u>Lot 4: 26,878.9 m²</u> 26,878.9 m ²	\$0.46/ft ² (4.95/m ²)	\$133,088.15
TOTAL	-	-	-	-	\$326,583.30

- c) Discharge the existing Public Art Agreements on the subject Lots and replace each one with a new Restrictive Covenant that reflects the existing agreement, but stipulates that the owners of the Lots retain and maintain the public art pieces that reside on their lots.

Public Art Agreement (RC CA4136058/RC CA4136059)

3. Cross Access Replacement Easement: Lots 2, 3 and 4 currently have blanket easements over them to allow the owners of each lot access over the others. The blanket easement should be replaced with easement areas that correspond with their respective buildings. In addition, the original agreements anticipated that there would be shared loading, garbage and recycling facilities between Lots 2, 3 and 4, which is not the case at this time.
 - a) Design, execute and deliver the Lot 3 and Lot 4 Easement Areas and the access and circulation requirements contemplated in the Cross Access Easement and all necessary documents to effect the Replacement Agreements (as defined in restrictive covenant CA6736513/CA6736514);
 Cross Access Easement b/w Lots 2, 3 & 4 (Easement CA6736510/RC CA6736513 & Easement CA6736511/RC CA6736514)
 - b) As provided for by the legal agreement registered on title prior to rezoning adoption (Easement CA6736510/CA6736511 & Restrictive Covenant CA6736513/ CA6736514), the developer shall replace the existing blanket easements registered on the subject site (Lots 3 and 4) with their respective Replacement Agreements for the purpose of modifying the extent of the Lot 3 and 4 Easement Areas and related requirements to reflect the subject Development Permit, to the City's satisfaction, including, but not limited to:
 - i. Accurately describing the portions of the Lot 3 parking structure that will be secured for the use of the owners of Lot 2 (8699 Hazelbridge Way) and Lot 4 (3211 Carscallen Road) to facilitate access/egress via the Lot 3 driveways;
 - ii. Accurately describing the portions of the Lot 4 parking structure that will be secured for the use of the owners of Lot 2 (8699 Hazelbridge Way) and Lot 3 (3208 Carscallen Road) to facilitate access/egress via the Lot 4 driveways; and
 - iii. Amending the Cross Access Easement agreements on the titles of Lot 3 and Lot 4 (Easement CA6736510/CA6736511 & Restrictive Covenant CA6736513/ CA6736514) to remove stipulations pertaining to shared Loading, Garbage, and Recycling Facilities and ancillary uses/spaces.
 Cross Access Easement b/w Lots 2, 3 & 4 (Easement CA6736510/RC CA6736513 & Easement CA6736511/RC CA6736514)
4. Lot 3 Residential Parking Located on Lot 2: Discharge restrictive covenant CA6736507, which prohibits issuance of a Building Permit for Lot 3, in the event that the City Solicitor is satisfied that the DP application includes the 43 parking spaces located in Lot 2 that are attributed to Lot 3. No-Build (RC CA6736507)
5. No-Impact Pre-Load: Receipt of a signed and sealed letter from the Geotechnical Engineer confirming that preloading for the site will not adversely impact the existing Canada Line infrastructure.
6. Landscaping Cost Estimate: Receipt of a Letter of Credit for landscaping in the amount of \$2,846,696.79 (based on the costs estimate provided by a CSLA registered landscape Architect including 10% contingency).
7. Replacement Trees: City acceptance of the developer's offer to voluntarily contribute \$23,500 (based on 47 trees unable to be planted on the site) to the City's Tree Compensation Fund for the planting of replacement trees within the City.
8. Hotel Strata Restriction: Registration of a Restrictive Covenant onto the Title of Lot 4 that prohibits subdivision of individual hotel rooms/suites by way of stratification or air space parcel.
9. Capstan Station Bonus: Submit a Letter of Assurance confirming that the combined total number of dwellings on 8633/8677 Carscallen Road (Lot 1), 8699 Hazelbridge Way (Lot 2) and the subject site (Lots 3 and 4) do not exceed 1,186, which is the maximum permitted number of units on Lots 1-4 based on the developer's 6,810.4 m² (1.7 ac) public open space contribution at rezoning;

10. Affordable Housing: Enter into the Lot 3 Housing Agreement and register the Lot 3 Housing Covenant to:
- a) Secure 41 affordable housing units, the combined habitable floor area of which shall comprise at least 3,007 m², equivalent to 18.6% of the total residential building area, as affordable housing as per the City's low-end market rental rates.
 - b) Ensure occupants of the units subject to the Housing Agreement shall enjoy full and unlimited access to and use of all on-site indoor and outdoor amenity spaces.
 - c) Prohibit the separate sale or transfer of less than nine Affordable Housing units in a single transaction.
 - d) Ensure Basic Universal Housing features are provided in 100% of the units.
 - e) The terms of the Housing Agreement shall indicate that they apply in perpetuity and provide for as per Table 2; and
 - f) Ensure that no parking fees are charged to residents of the units.

TABLE 2:

Affordable Housing Unit Type	Number of Units	Minimum Unit Area	Maximum Monthly Unit Rent (1) (2)	Total Maximum Household Income (1) (2)
Studio	2	37 m ² (400 ft ²)	\$759	\$34,650 or less
1-Bedroom	16	50 m ² (535 ft ²)	\$975	\$38,250 or less
2-Bedroom	9	69 m ² (741 ft ²)	\$1,218	\$46,800 or less
3-Bedroom	14	91 m ² (980 ft ²)	\$1,480	\$58,050 or less
TOTAL	41	N/A	N/A	N/A

(3) Denotes 2017 amounts adopted by Council on July 24, 2017.

(4) Subject to Council approval, total annual household incomes and maximum monthly rents may be increased annually by the Consumer Price Index.

11. Public Right of Passage over the New Westerly Private Road: Registration of a 10.0 m wide Statutory Right-of-Way (SRW) along the southern side of Lot 4 to facilitate public access and related landscaping and infrastructure, and including widening as required to provide for one-way vehicle movements where the SRW intersects with public streets, connecting No. 3 Road with Carscallen Road. The right-of-way shall provide for:
- a) 24 hour-a-day, public access for pedestrians (to universally accessible standards), bicycles, and general purpose vehicle traffic;
 - b) One-way vehicular traffic from No. 3 Road to Carscallen Road only, and allow for temporary vehicular parking for users of the future Canada Line station and hotel visitors;
 - c) Public access to fronting residential, commercial, public open space, and other on-site uses;
 - d) Emergency and service vehicle access, City bylaw enforcement, and any related or similar City-authorized activities;
 - e) Special design treatments and landscape features including, but not limited to, lighting, furnishings, street trees and planting, decorative paving, and innovative storm water management measures, to the satisfaction of the City;
 - f) Public art;
 - g) Traffic control (e.g., signals) and related equipment;
 - h) The owner-developer's ability to close some or all of the right-of-way to public access in the event of an emergency (e.g., structural failure of the road) with the approval of the City;
 - i) The owner-developer's ability to close some or all of the right-of-way to vehicles for special events with pre-approval in writing from the City;

- j) The owner-developer's ability to close a portion of the right-of-way to public access to facilitate maintenance or repairs to the Private Road or the fronting uses, provided that adequate public access is maintained and the duration of the closure is limited, as approved by the City in writing in advance of any such closure;
- k) Design and construction at the sole cost and responsibility of the developer, to the satisfaction of the City, via an approved Development Permit* (secured via the Landscape Letter of Credit), Servicing Agreement* and Building Permit*; and
- l) Maintenance at the sole cost of the owner-developer, to the satisfaction of the City.
- m) In addition, the right-of-way shall provide for:
 - i. Building encroachments, provided that such encroachments do not conflict with the design, construction, or intended operation of the Public Plaza (e.g., tree planting, pedestrian access), as specified in a Development Permit* approved by the City, including building encroachments situated:
 - (a) Fully below the finished grade of the right-of-way; and
 - (b) Above the finished grade of the right-of-way, limited to pedestrian weather protection, architectural appurtenances, and signage, provided that such encroachments do not project more than 3.0 m into the right-of-way or as otherwise determined to the satisfaction of the City as specified in an approved Development Permit* and there is a clear distance of at least 2.3 m between the finished grade of the right-of-way and the underside of the encroachment.
 - n) The right-of-way shall not provide for driveway crossings, with the exception of temporary parking to the south of the subject SRW area for Canada Line related vehicles; and

NOTE: This right-of-way is NOT eligible public open space with respect to CCAP and Zoning Bylaw public open space requirements for the Capstan Station Bonus.

- 12. Public Right of Passage over the New Westerly Private Road in favour of Translink: Registration of a 10.0 m wide Statutory Right-of-Way (SRW) along the southern side of Lot 4 to facilitate operation of a kiss & ride facility. The City's SRW over this same area shall be registered in priority to the Translink SRW.
- 13. Servicing Agreement: Enter into a Servicing Agreement* for the design and construction of offsite improvements to address Lot 5 improvements, Westerly Private Road improvements and transportation related issues in the area. A Letter of Credit or cash security for the value of the Service Agreement works, as determined by the City, will be required as part of entering into the Servicing Agreement. Works include, but may not be limited to, construction of the exercise and parkour park on Lot 5, frontage improvements and widening of Sexsmith Road (between Patterson Road and Sea Island Way) and frontage improvements along Sea Island Way and No. 3 Road.
- 14. Concurrent Application Approvals:
 - a) Final adoption of Zoning Amendment Bylaw 10107 (via application ZT 18-827860).
 - b) Final adoption of the Affordable Housing Bylaw 10036 (via application LD 19-859062).

Prior to Building Permit Issuance, the developer must complete the following requirements:

- 1. District Energy Utility (DEU): Registration of a restrictive covenant and/or alternative legal agreement(s), to the satisfaction of the City, securing the owner's commitment to connect to District Energy Utility (DEU), which covenant and/or legal agreement(s) will include, at minimum, the following terms and conditions:
 - 1.1 No building permit will be issued for a building on the subject site (i.e. on a lot created through consolidation and subdivision as per Section 2.3, as per the Location Map,

Schedule A) unless the building is designed with the capability to connect to and be serviced by a DEU and the owner has provided an energy modelling report satisfactory to the Director of Engineering;

- 1.2 If a DEU is available for connection, no final building inspection permitting occupancy of a building will be granted until the building is connected to the DEU and the owner enters into a Service Provider Agreement on terms and conditions satisfactory to the City and grants or acquires the Statutory Right-of-Way(s) and/or easements necessary for supplying the DEU services to the building;
- 1.3 If a DEU is not available for connection, then the following is required prior to the earlier of subdivision (stratification) or final building inspection permitting occupancy of a building:
 - a) The City receives a professional engineer's certificate stating that the building has the capability to connect to and be serviced by a DEU;
 - b) The owner enters into a covenant and/or other legal agreement to require that the building connect to a DEU when a DEU is in operation;
 - c) The owner grants or acquires the Statutory Right-of-Way(s) and/or easements necessary for supplying DEU services to the building; and
 - d) If required by the Director of Engineering, the owner provides to the City a letter of credit, in an amount satisfactory to the City, for costs associated with acquiring any further Statutory Right of Way(s) and/or easement(s) and preparing and registering legal agreements and other documents required to facilitate the building connecting to a DEU when it is in operation.
2. Provide copies of all applicable approvals and permits obtained from Translink.
3. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
4. Provide a detailed code analysis addressing classification, fire access, fire separations, exiting, and accessibility.
5. Provide a separate overall site plan including the building showing "Fire Fighting Provisions", including access routes; response point; hydrant location; exiting from the buildings; fire alarm panel; fire department connection; location of service rooms (mechanical, electric); sprinkler systems; and generator systems (including fuel tank).
6. Incorporation of accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
7. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act. All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

Signed

Date



No. DP 18-821292

To the Holder: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

Property Address: 3208 AND 3211 CARSCALLEN ROAD

Address: C/O PINNACLE INTERNATIONAL
#300 – 911 HOMER STREET
VANCOUVER, BC V6B 2W6

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - a) Increase the maximum permitted balcony projection for balconies into required setbacks at 3208 Carscallen Road and 3211 Carscallen Road, from 1.0 m to 1.7 m.
 - b) Increase the maximum permitted projection for architectural features into required setbacks at 3208 Carscallen Road and 3211 Carscallen Road from 0.6 m to 1.7 m.
4. Subject to Division 1, Part 9 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #78 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$2,846,696.79 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 18-821292

To the Holder: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.
Property Address: 3208 AND 3211 CARSCALLEN ROAD
Address: C/O PINNACLE INTERNATIONAL
#300 – 911 HOMER STREET
VANCOUVER, BC V6B 2W6

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

ISSUED BY THE COUNCIL THE

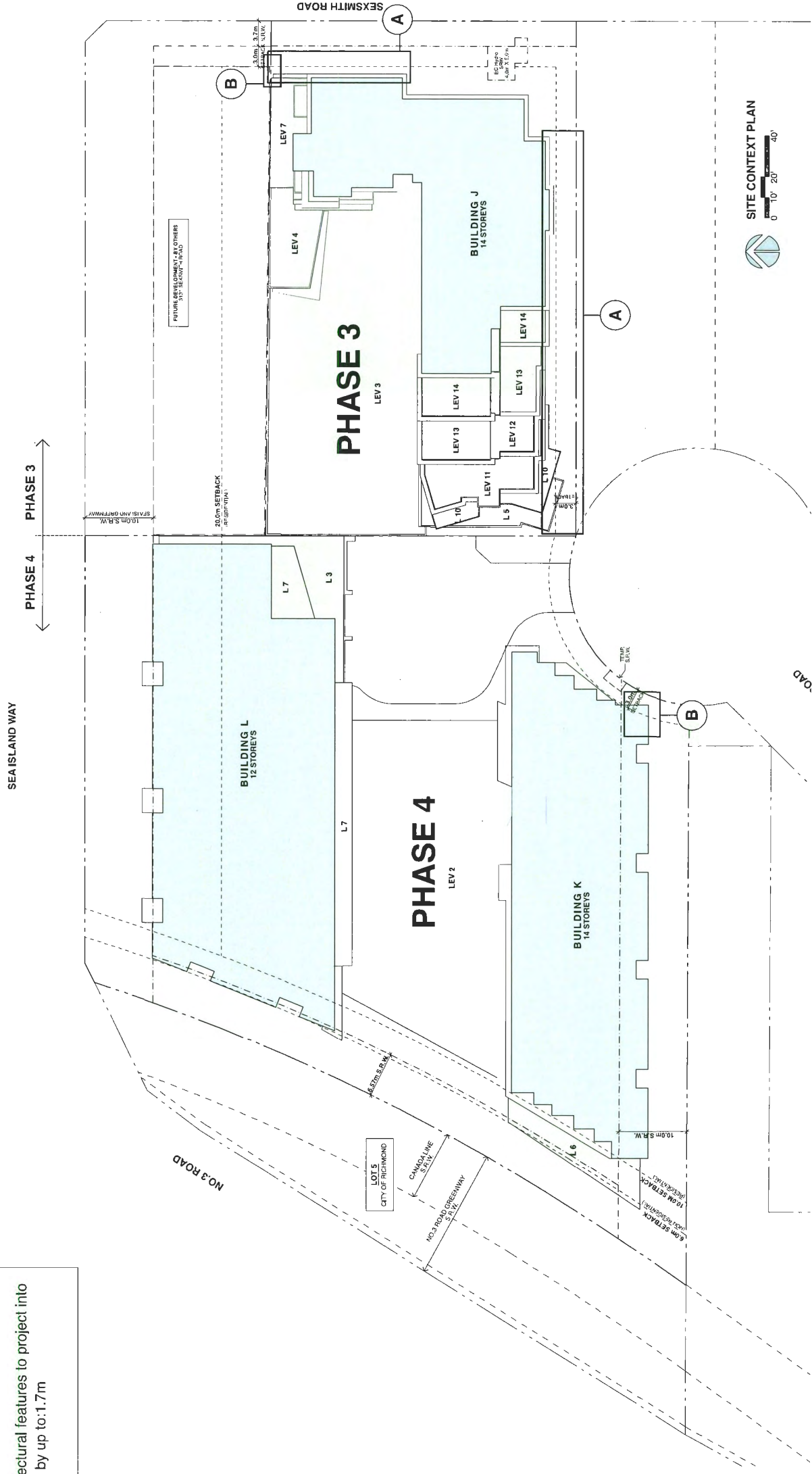
DELIVERED THIS DAY OF , .

MAYOR

VARIANCES REQUESTED

Vary the provisions of the Richmond Zoning Bylaw 8500 to:

- A.** Allow unenclosed balconies to project into the required setback by up to: 1.7m
- B.** Allow architectural features to project into the setback by up to: 1.7m



PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

NO.	DATE / REVISION	BY
1	2024.01.15	ARCHITECT
2	2024.01.15	ARCHITECT
3	2024.01.15	ARCHITECT
4	2024.01.15	ARCHITECT
5	2024.01.15	ARCHITECT
6	2024.01.15	ARCHITECT
7	2024.01.15	ARCHITECT
8	2024.01.15	ARCHITECT
9	2024.01.15	ARCHITECT
10	2024.01.15	ARCHITECT

SITE PLAN & REQUESTED VARIANCES

PROJECT NO.	1706
DATE	2024.01.15
SCALE	AS SHOWN
PLAN #	2C

PHASE 4			
TOTAL PARKING PROVIDED	DESIGNATION	SIZE	QTY
RESIDENTIAL	HC	SMALL	2
RESIDENTIAL	HC	STANDARD	57
RESIDENTIAL	HC	STANDARD	30
OFFICE/RETAIL/HOTEL	HC	SMALL	4
OFFICE/RETAIL/HOTEL	HC	STANDARD	72
RESIDENTIAL VISITOR	HC	SMALL	114
RESIDENTIAL VISITOR	HC	STANDARD	1
RESIDENTIAL VISITOR	HC	SMALL	0
RESIDENTIAL VISITOR	HC	STANDARD	11
RESIDENTIAL VISITOR	HC	STANDARD	317

RESIDENTIAL PARKING: P2			
DESIGNATION	SIZE	QTY	
RESIDENTIAL	HC	SMALL	0
RESIDENTIAL	HC	STANDARD	29
RESIDENTIAL	HC	STANDARD	30
OFFICE/RETAIL/HOTEL	HC	SMALL	4
OFFICE/RETAIL/HOTEL	HC	STANDARD	58

NON-RESIDENTIAL PARKING: P2			
DESIGNATION	SIZE	QTY	
OFFICE/RETAIL/HOTEL	HC	SMALL	35
OFFICE/RETAIL/HOTEL	HC	STANDARD	89
OFFICE/RETAIL/HOTEL	HC	STANDARD	104

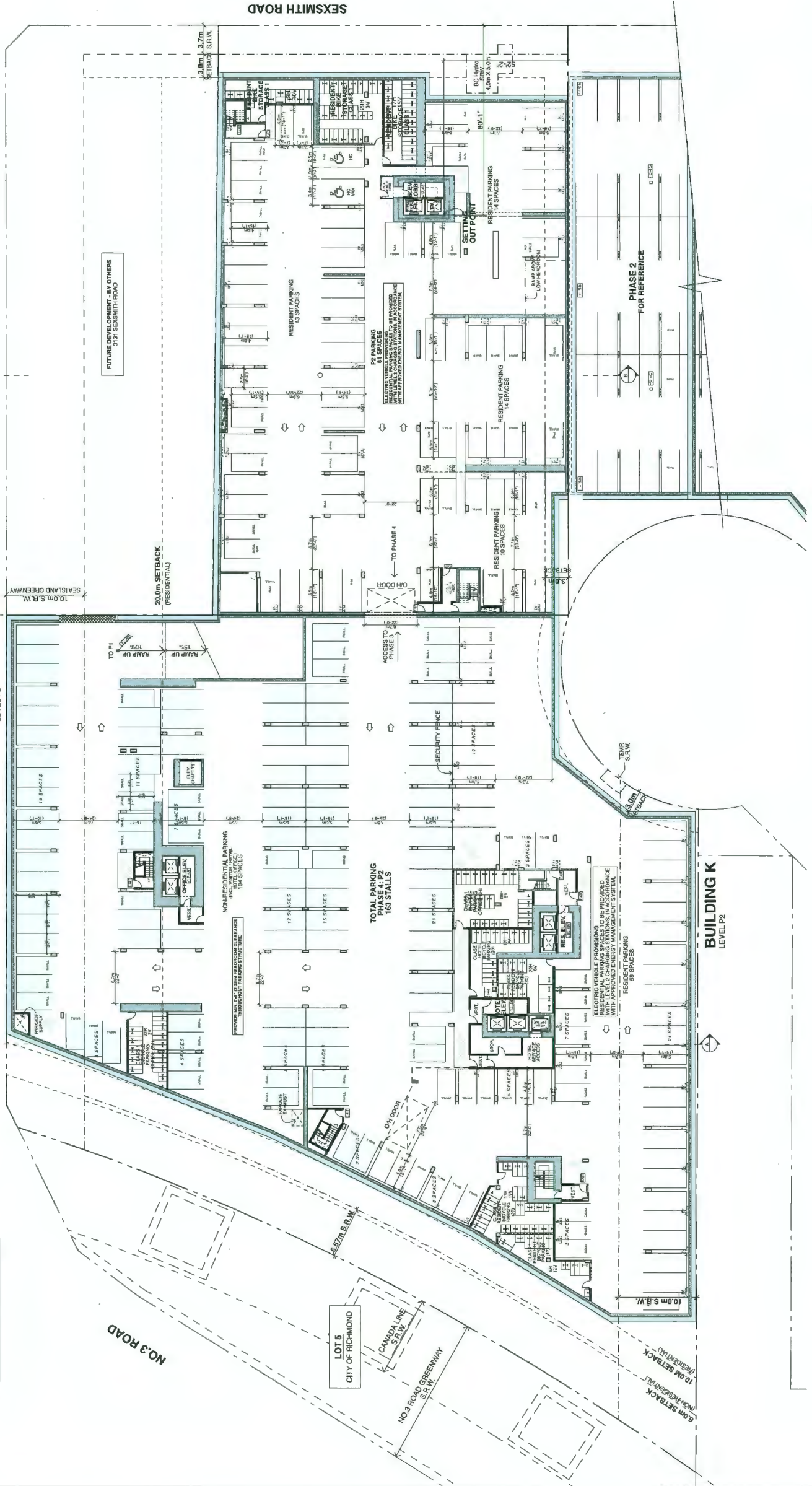
Bike Parking Provided: P2			
DESIGNATION	SIZE	QTY	
OFFICE	SMALL	18	42
OFFICE	SMALL	2	31
OFFICE	SMALL	20	73
OFFICE	SMALL	2	73

TOTAL PARKING PROVIDED			
DESIGNATION	SIZE	QTY	
RESIDENTIAL	HC	SMALL	2
RESIDENTIAL	HC	STANDARD	57
RESIDENTIAL	HC	STANDARD	30
OFFICE/RETAIL/HOTEL	HC	SMALL	4
OFFICE/RETAIL/HOTEL	HC	STANDARD	72
RESIDENTIAL VISITOR	HC	SMALL	114
RESIDENTIAL VISITOR	HC	STANDARD	1
RESIDENTIAL VISITOR	HC	SMALL	0
RESIDENTIAL VISITOR	HC	STANDARD	11
RESIDENTIAL VISITOR	HC	STANDARD	317

PHASE 3			
TOTAL PARKING PROVIDED	DESIGNATION	SIZE	QTY
RESIDENTIAL	HC	SMALL	1
RESIDENTIAL	HC	STANDARD	88
RESIDENTIAL	HC	STANDARD	121
VISITOR	HC	SMALL	1
VISITOR	HC	STANDARD	5
VISITOR	HC	STANDARD	13
VISITOR	HC	STANDARD	242

PARKING PROVIDED: P2			
DESIGNATION	SIZE	QTY	
RESIDENTIAL	HC	SMALL	2
RESIDENTIAL	HC	STANDARD	40
RESIDENTIAL	HC	STANDARD	39
RESIDENTIAL	HC	STANDARD	81

CLASS 1 BIKES: P2			
DESIGNATION	SIZE	QTY	
RESIDENTIAL	HC	SMALL	55
RESIDENTIAL	HC	STANDARD	28
RESIDENTIAL	HC	STANDARD	83



LEVEL P2
SCALE: 1/16" = 1'-0"

PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

LEVEL P2

PLAN # **4a**

SCALE: 1/16" = 1'-0"

DATE: 08/01/2024

ALL DIMENSIONS SHALL BE VERIFIED ON SITE

NO.	DATE	BY	REVISION
1	08/01/2024	...	...
2	08/01/2024	...	...
3	08/01/2024	...	...
4	08/01/2024	...	...
5	08/01/2024	...	...
6	08/01/2024	...	...
7	08/01/2024	...	...
8	08/01/2024	...	...
9	08/01/2024	...	...
10	08/01/2024	...	...

PHASE 4			
TOTAL PARKING PROVIDED	DESIGNATION	SIZE	QTY
RESIDENTIAL	HC	2	2
RESIDENTIAL	SMALL	4	2
RESIDENTIAL	STANDARD	56	56
OFFICE/RETAIL/HOTEL	HC	4	4
OFFICE/RETAIL/HOTEL	SMALL	72	72
RESIDENTIAL VISITOR	HC	1	1
RESIDENTIAL VISITOR	SMALL	0	0
RESIDENTIAL VISITOR	STANDARD	11	11
			317

RESIDENTIAL PARKING: P1			
DESIGNATION	SIZE	QTY	
RESIDENTIAL	HC	2	2
RESIDENTIAL	SMALL	4	2
RESIDENTIAL	STANDARD	56	56
OFFICE/RETAIL/HOTEL	HC	4	4
OFFICE/RETAIL/HOTEL	SMALL	72	72
RESIDENTIAL VISITOR	HC	1	1
RESIDENTIAL VISITOR	SMALL	0	0
RESIDENTIAL VISITOR	STANDARD	11	11
			88

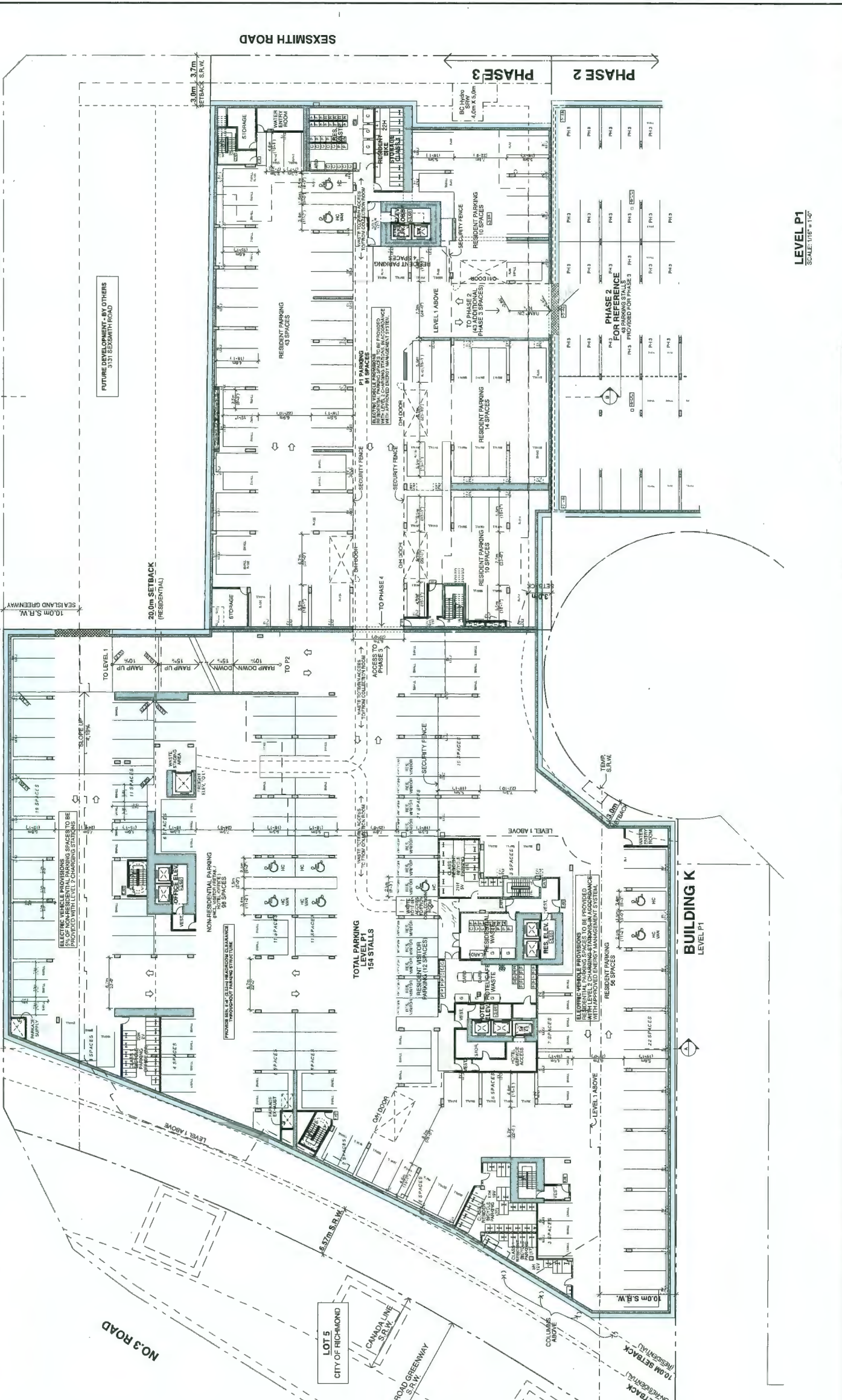
NON-RESIDENTIAL PARKING: P1			
DESIGNATION	SIZE	QTY	
OFFICE/RETAIL/HOTEL	HC	4	4
OFFICE/RETAIL/HOTEL	SMALL	37	37
OFFICE/RETAIL/HOTEL	STANDARD	45	45
RESIDENTIAL VISITOR	HC	1	1
RESIDENTIAL VISITOR	SMALL	0	0
RESIDENTIAL VISITOR	STANDARD	11	11
			98

Bike Parking Provided: P1			
DESIGNATION	SIZE	QTY	
OFFICE	RESIDENT	22	43
HORIZONTAL		2	36
VERTICAL		24	79

TOTAL PARKING PROVIDED			
DESIGNATION	SIZE	QTY	
RESIDENTIAL	HC	2	2
RESIDENTIAL	SMALL	4	2
RESIDENTIAL	STANDARD	56	56
OFFICE/RETAIL/HOTEL	HC	4	4
OFFICE/RETAIL/HOTEL	SMALL	72	72
RESIDENTIAL VISITOR	HC	1	1
RESIDENTIAL VISITOR	SMALL	0	0
RESIDENTIAL VISITOR	STANDARD	11	11
			148

PARKING PROVIDED IN PHASE 2 (P1)			
DESIGNATION	SIZE	QTY	
RESIDENTIAL	HC	2	2
RESIDENTIAL	SMALL	4	2
RESIDENTIAL	STANDARD	39	39
RESIDENTIAL	STANDARD	32	32
			83

CLASS 1 BIKES: P1			
DESIGNATION	SIZE	QTY	
RESIDENTIAL		22	22
HORIZONTAL		-	-
VERTICAL		22	22



PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

LEVEL P1
 SCALE: 1/16" = 1'-0"

LEVEL P1
 SCALE: 1/16" = 1'-0"

NO.	REVISION / REVISED BY	DATE
1	ISSUED FOR PERMIT	2024.08.15
2	REVISED PER COMMENTS	2024.08.20
3	REVISED PER COMMENTS	2024.08.25
4	REVISED PER COMMENTS	2024.09.05
5	REVISED PER COMMENTS	2024.09.15
6	REVISED PER COMMENTS	2024.09.25
7	REVISED PER COMMENTS	2024.10.05
8	REVISED PER COMMENTS	2024.10.15
9	REVISED PER COMMENTS	2024.10.25
10	REVISED PER COMMENTS	2024.11.05
11	REVISED PER COMMENTS	2024.11.15
12	REVISED PER COMMENTS	2024.11.25
13	REVISED PER COMMENTS	2024.12.05
14	REVISED PER COMMENTS	2024.12.15
15	REVISED PER COMMENTS	2024.12.25

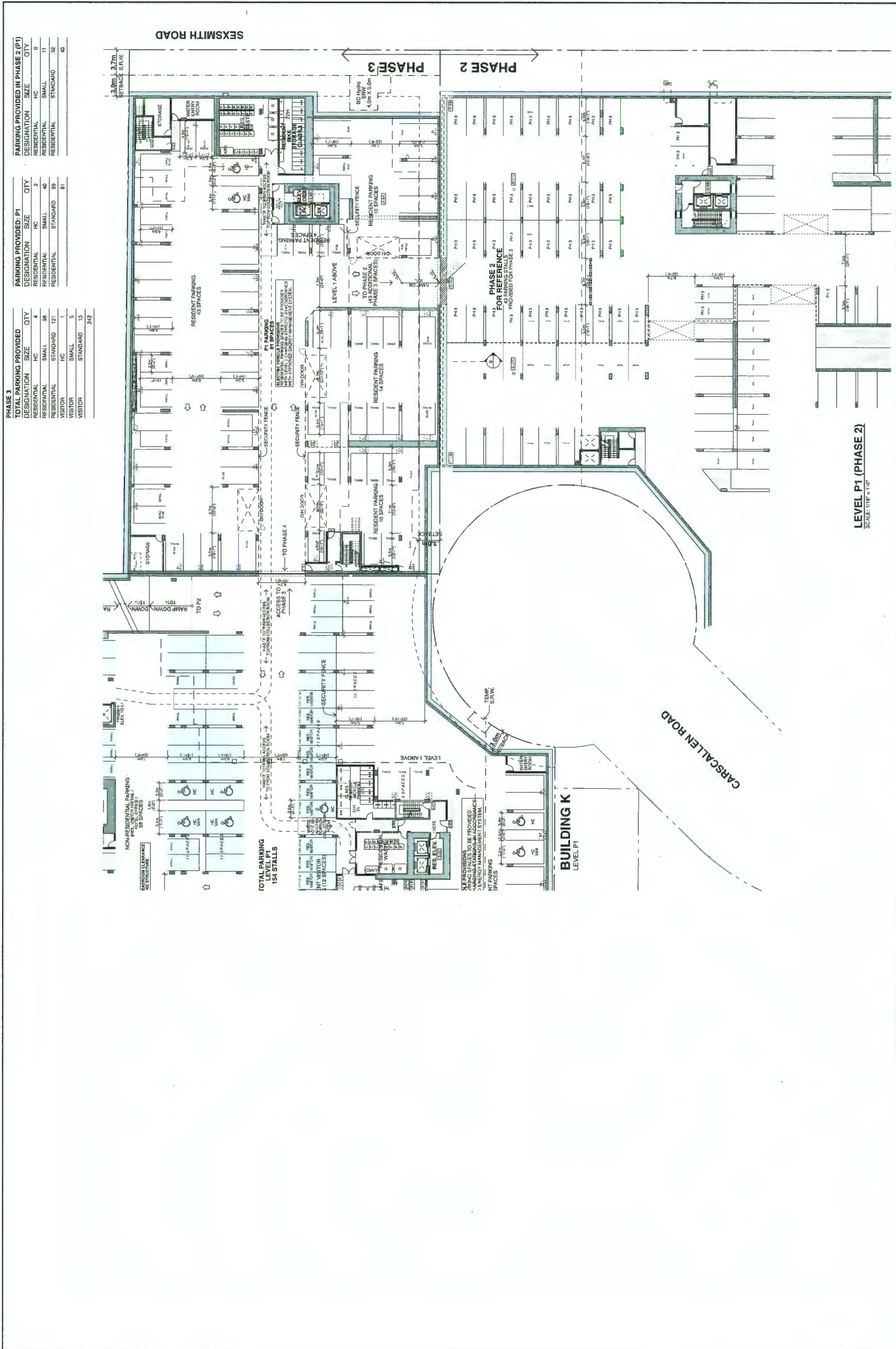
LEVEL P1

ALL DIMENSIONS SHALL BE NOTED ON SITE

PLAN # **4b**

SCALE: 1/16" = 1'-0"

DATE: 2024.12.25



PHASE 3

TOTAL PARKING PROVIDED			
DESIGNATION	SIZE	QTY	CITY
RESIDENTIAL	HC	4	2
RESIDENTIAL	SMALL	98	46
RESIDENTIAL	STANDARD	121	39
VISITOR	HC	1	1
VISITOR	SMALL	5	81
VISITOR	STANDARD	13	242

PARKING PROVIDED IN PHASE 2 (P1)

DESIGNATION	SIZE	QTY	CITY
RESIDENTIAL	HC	0	0
RESIDENTIAL	SMALL	11	11
RESIDENTIAL	STANDARD	32	32
RESIDENTIAL	HC	0	0

LEVEL P1 (PHASE 2)
SCALE: 1/16" = 1'-0"

LEVEL P1 (PHASE 2)
SCALE: 1/16" = 1'-0"

PINNACLE LIVING @ CAPSTAN VILLAGE
PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
RICHMOND, BRITISH COLUMBIA
for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

bingham hill
Architects

NO.	PROJECT / REVISION	DATE
1	ISSUED FOR PERMIT	
2	REVISED FOR PERMIT	
3	REVISED FOR PERMIT	
4	REVISED FOR PERMIT	
5	REVISED FOR PERMIT	
6	REVISED FOR PERMIT	
7	REVISED FOR PERMIT	
8	REVISED FOR PERMIT	
9	REVISED FOR PERMIT	
10	REVISED FOR PERMIT	

LEVEL P1 (PHASE 2)

LEVEL P1 (PHASE 2)

LEVEL P1 (PHASE 2)

LEVEL P1 (PHASE 2)

LEVEL P1 (PHASE 2)

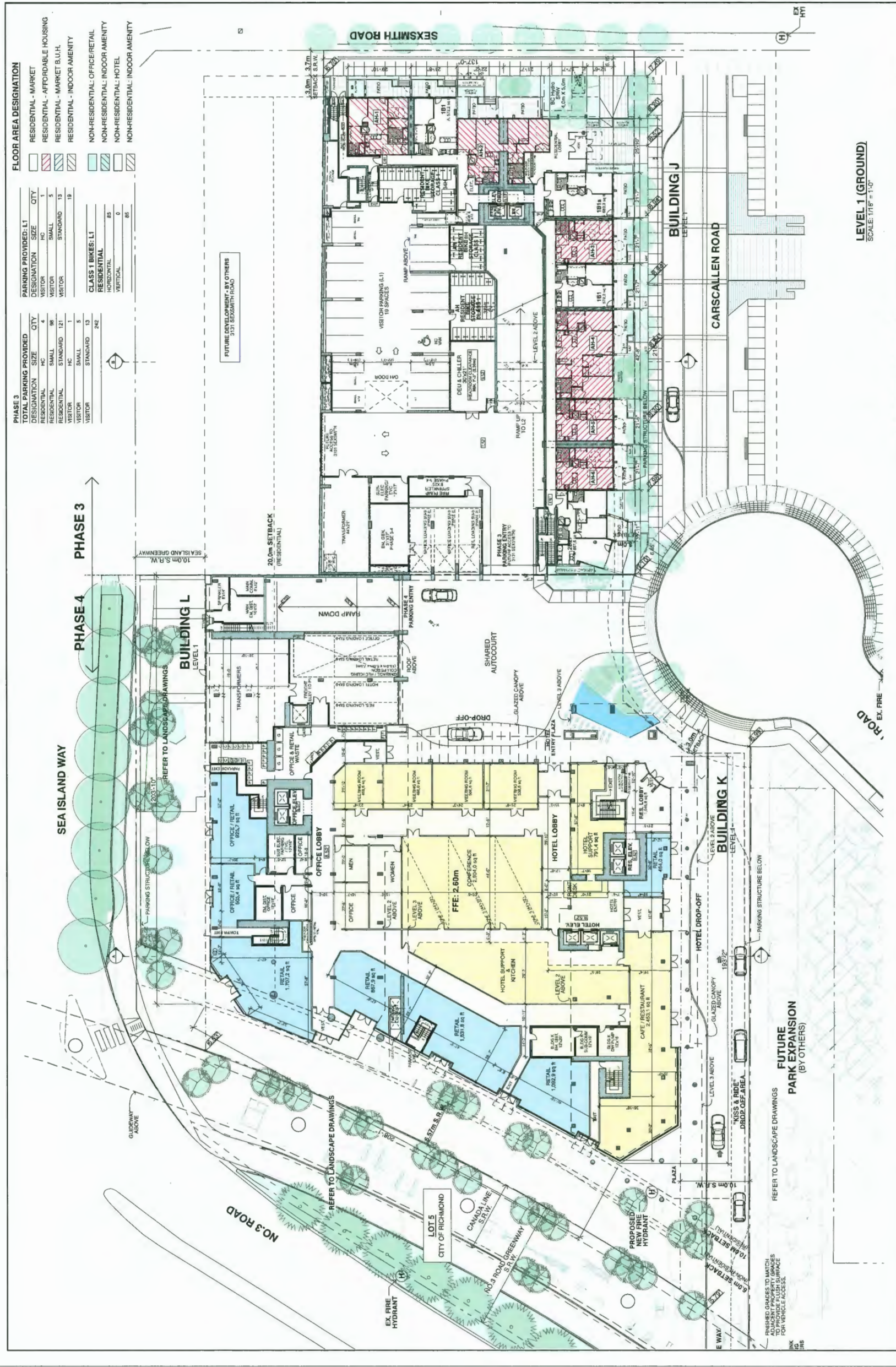
LEVEL P1 (PHASE 2)

LEVEL P1 (PHASE 2)

LEVEL P1 (PHASE 2)

LEVEL P1 (PHASE 2)

LEVEL P1 (PHASE 2)



PHASE 3

TOTAL PARKING PROVIDED	DESIGNATION	SIZE	QTY
RESIDENTIAL	HC	SMALL	88
RESIDENTIAL	STANDARD	121	
VISITOR	HC	SMALL	1
VISITOR	STANDARD	13	
VISITOR	HC	SMALL	5
VISITOR	STANDARD	13	
VISITOR	HC	SMALL	1
VISITOR	STANDARD	13	
VISITOR	HC	SMALL	1
VISITOR	STANDARD	13	
VISITOR	HC	SMALL	1
VISITOR	STANDARD	13	
VISITOR	HC	SMALL	1
VISITOR	STANDARD	13	

PHASE 3

PARKING PROVIDED: L1	DESIGNATION	SIZE	QTY
RESIDENTIAL	HC	SMALL	88
RESIDENTIAL	STANDARD	121	
VISITOR	HC	SMALL	1
VISITOR	STANDARD	13	
VISITOR	HC	SMALL	5
VISITOR	STANDARD	13	
VISITOR	HC	SMALL	1
VISITOR	STANDARD	13	
VISITOR	HC	SMALL	1
VISITOR	STANDARD	13	
VISITOR	HC	SMALL	1
VISITOR	STANDARD	13	

FLOOR AREA DESIGNATION

[Pattern]	RESIDENTIAL - MARKET
[Pattern]	RESIDENTIAL - AFFORDABLE HOUSING
[Pattern]	RESIDENTIAL - MARKET B.U.H.
[Pattern]	RESIDENTIAL - INDOOR AMENITY
[Pattern]	NON-RESIDENTIAL - OFFICE/RETAIL
[Pattern]	NON-RESIDENTIAL - INDOOR AMENITY
[Pattern]	NON-RESIDENTIAL - HOTEL
[Pattern]	NON-RESIDENTIAL - INDOOR AMENITY

CLASS 1 BIKES: L1

[Pattern]	RESIDENTIAL	85
[Pattern]	HORIZONTAL	0
[Pattern]	VERTICAL	85

LEVEL 1 (GROUND)
SCALE: 1/16" = 1'-0"

PINNACLE LIVING @ CAPSTAN VILLAGE
PHASE 3 & 4: 3208 Carcallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

NO.	REVISION	DATE
1	ISSUED FOR PERMITS	2024.08.15
2	ISSUED FOR PERMITS	2024.08.15
3	ISSUED FOR PERMITS	2024.08.15
4	ISSUED FOR PERMITS	2024.08.15
5	ISSUED FOR PERMITS	2024.08.15
6	ISSUED FOR PERMITS	2024.08.15
7	ISSUED FOR PERMITS	2024.08.15
8	ISSUED FOR PERMITS	2024.08.15
9	ISSUED FOR PERMITS	2024.08.15
10	ISSUED FOR PERMITS	2024.08.15

ALL DIMENSIONS SHALL BE VERIFIED ON SITE

LEVEL 1 (GROUND)

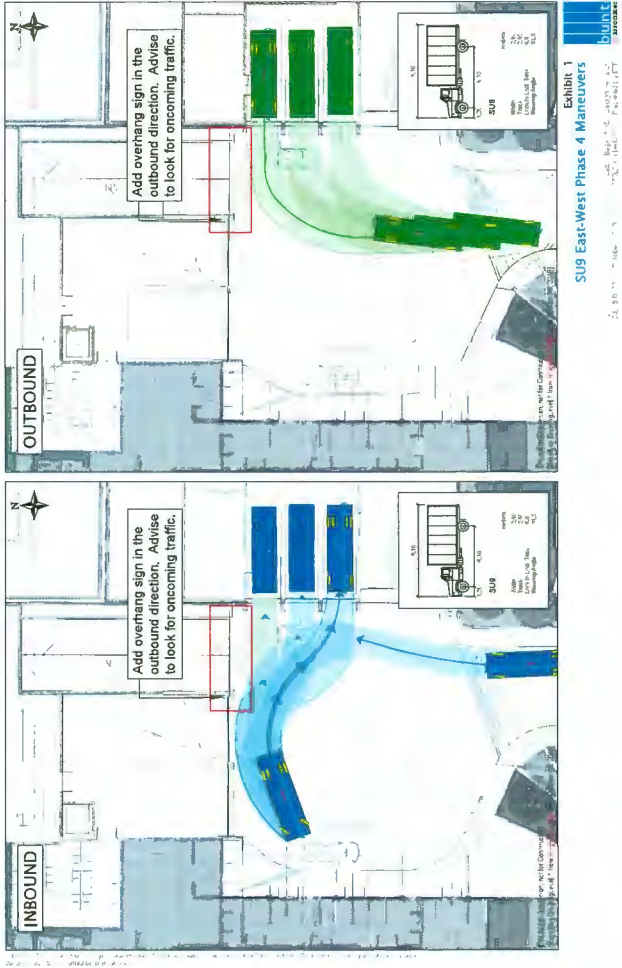
SCALE: 1/16" = 1'-0"

DATE: 2024.08.15

PROJECT: PINNACLE LIVING @ CAPSTAN VILLAGE

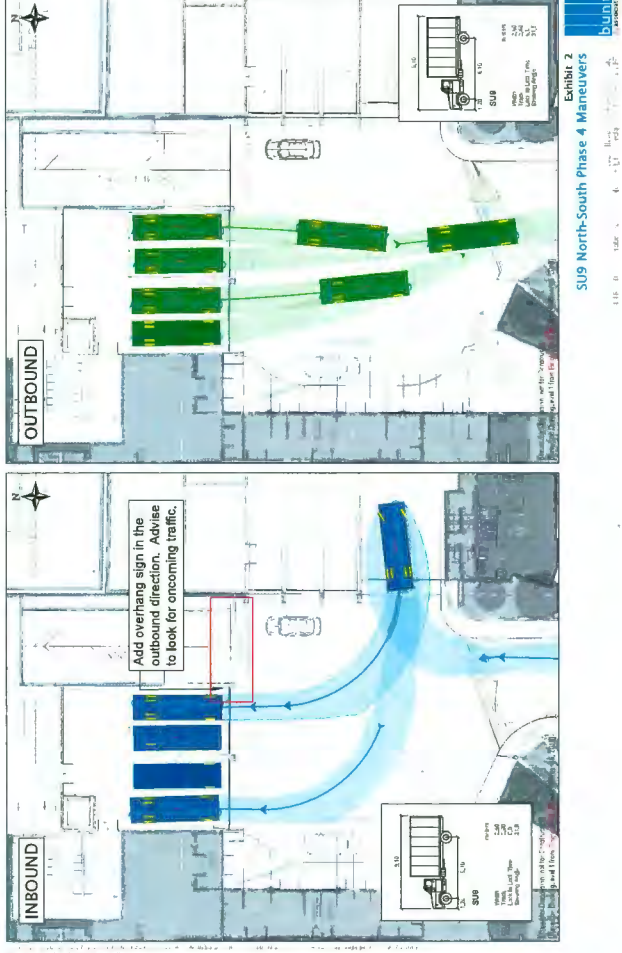
PHASE: PHASE 3 & 4

PLAN # 4d



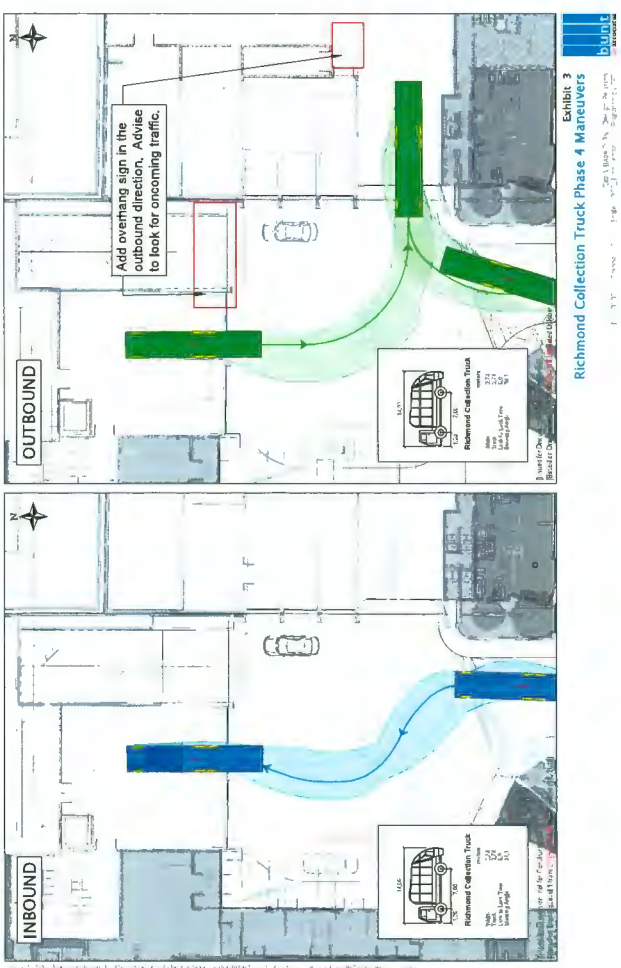
BRITISH COLUMBIA MUNICIPAL ENGINEERING CONSULTANTS LTD.

BRITISH COLUMBIA MUNICIPAL ENGINEERING CONSULTANTS LTD.



BRITISH COLUMBIA MUNICIPAL ENGINEERING CONSULTANTS LTD.

BRITISH COLUMBIA MUNICIPAL ENGINEERING CONSULTANTS LTD.



BRITISH COLUMBIA MUNICIPAL ENGINEERING CONSULTANTS LTD.

BRITISH COLUMBIA MUNICIPAL ENGINEERING CONSULTANTS LTD.

PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

VEHICLE ACCESS LAYOUTS	
NO.	DATE
1	17/06/2018
2	17/06/2018
3	17/06/2018
4	17/06/2018
5	17/06/2018
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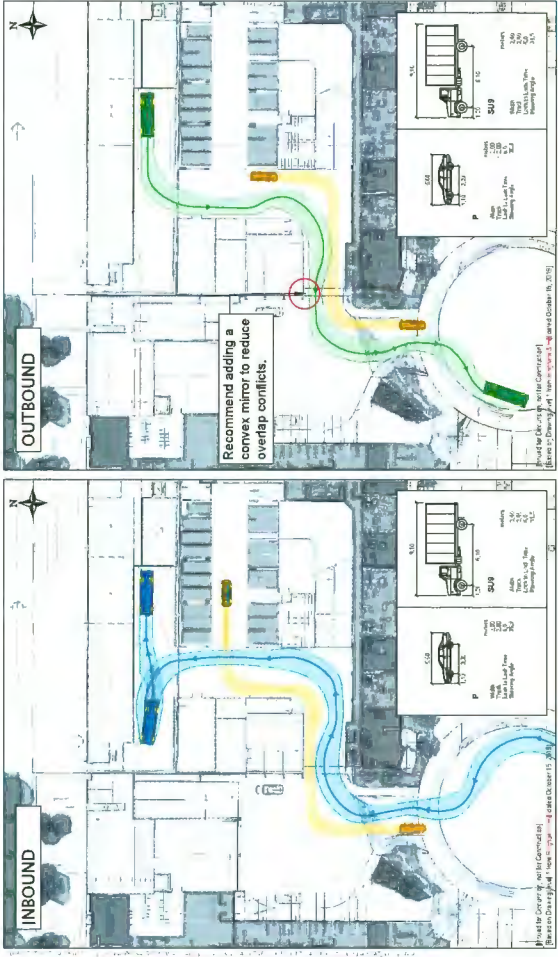


Exhibit 4
S19 Loading Maneuvers to 3131 Sexsmith

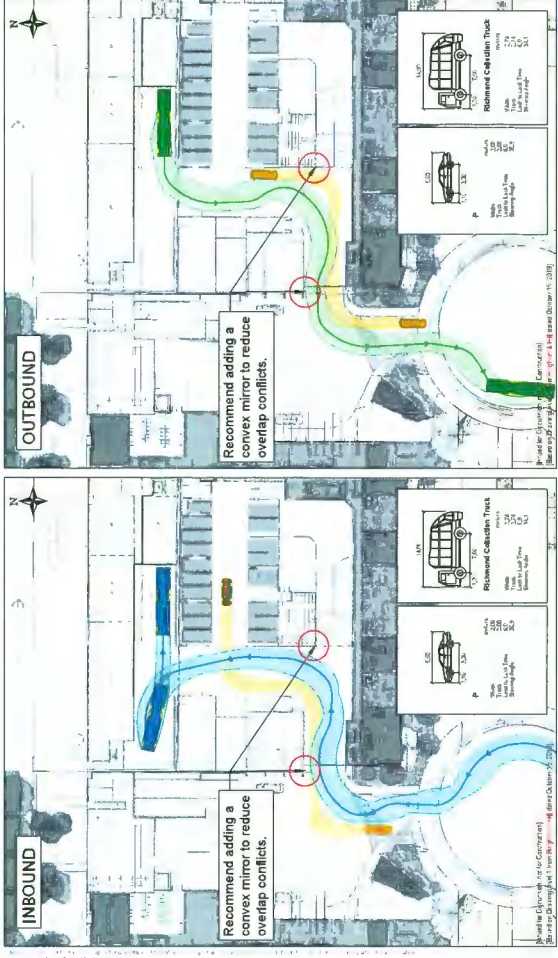


Exhibit 5
Richmond Collection Truck Maneuvers to 3131 Sexsmith

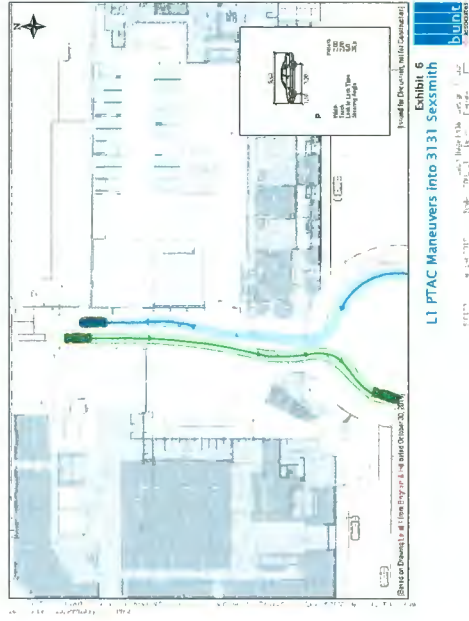


Exhibit 6
L1 PTAC Maneuvers into 3131 Sexsmith

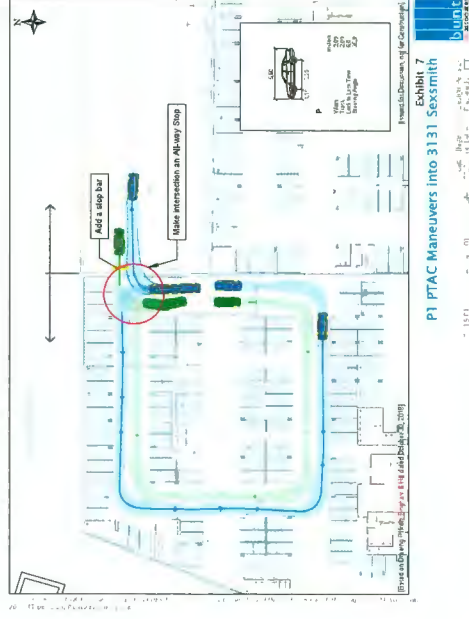


Exhibit 7
P1 PTAC Maneuvers into 3131 Sexsmith

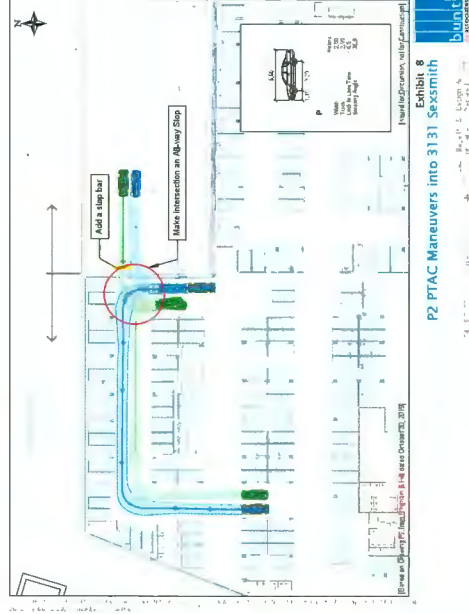
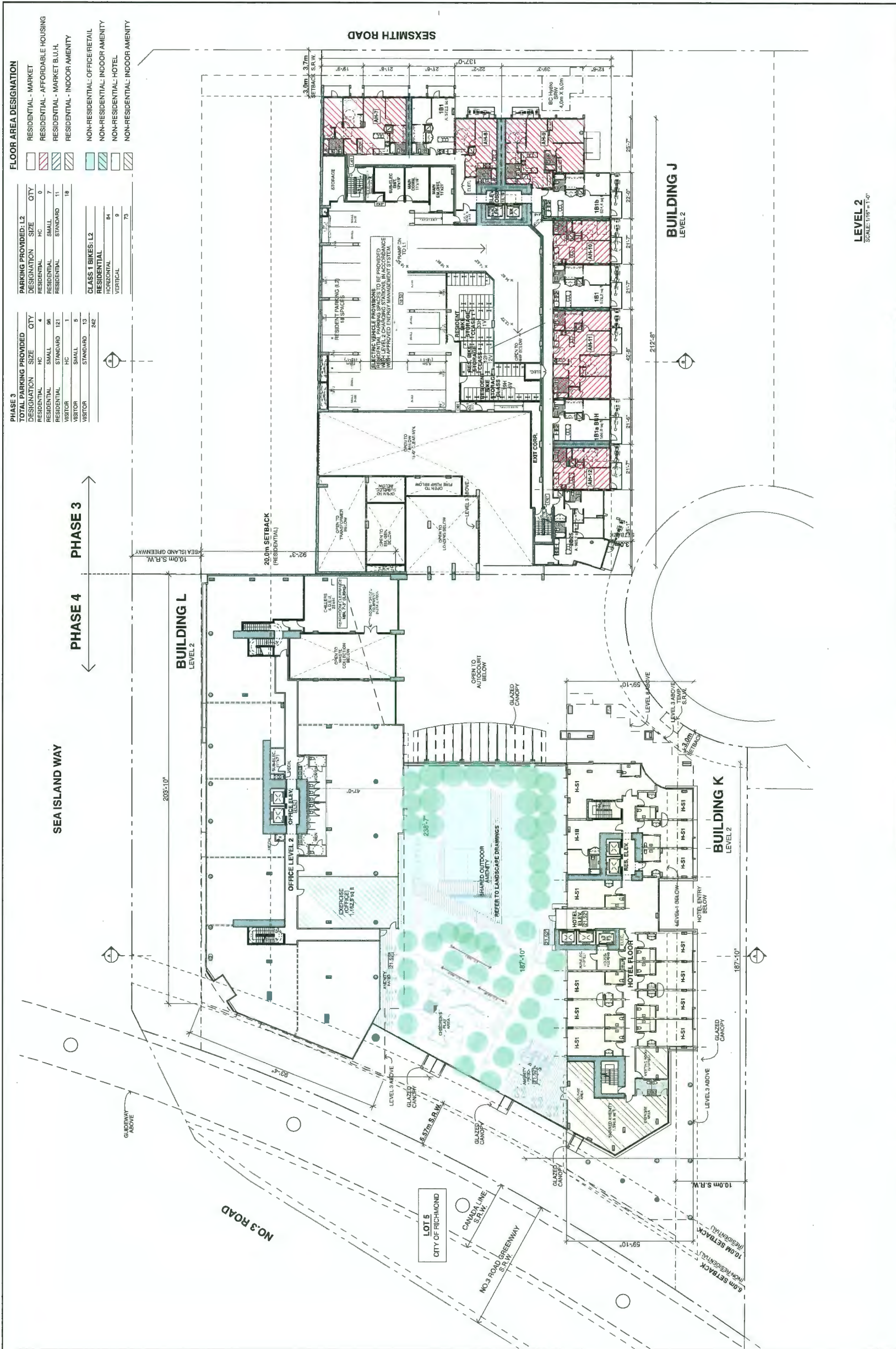


Exhibit 8
P2 PTAC Maneuvers into 3131 Sexsmith

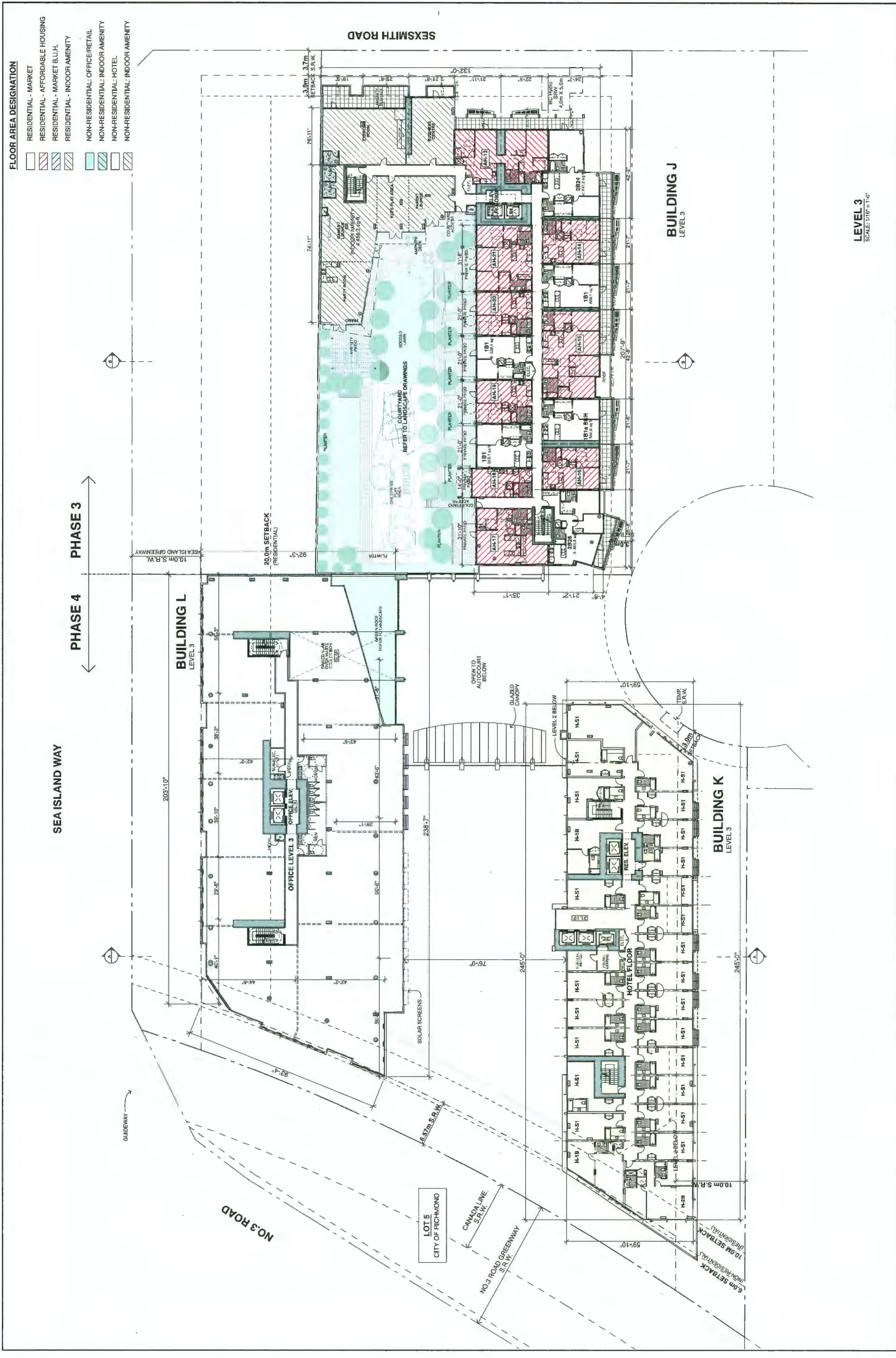
PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

NO.	REVISION / PROGRAM	DATE
1	ISSUED FOR PERMIT	2024-08-20
2	REVISED FOR COMMENTS	2024-08-20
3	REVISED FOR COMMENTS	2024-08-20
4	REVISED FOR COMMENTS	2024-08-20
5	REVISED FOR COMMENTS	2024-08-20
6	REVISED FOR COMMENTS	2024-08-20
7	REVISED FOR COMMENTS	2024-08-20
8	REVISED FOR COMMENTS	2024-08-20

VEHICLE ACCESS LAYOUTS	
SCALE	AS SHOWN
DATE	2024-08-20
PLAN #	3b



PINNACLE LIVING @ CAPSTAN VILLAGE PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road RICHMOND, BRITISH COLUMBIA for: Pinnacle Living (Capstan Village) Lands Inc.		LEVEL 2 SCALE: 1/16" = 1'-0"	LEVEL 2 SCALE: 1/16" = 1'-0"	ALL DIMENSIONS SHALL BE NOTED ON SITE																																		
bingham hill architects																																						
NO. 3 ROAD	SEA ISLAND WAY	SEXSMITH ROAD	<table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>REVISION / NUMBER</th> </tr> <tr> <td>1</td> <td>2024.08.15</td> <td>ISSUE FOR PERMIT</td> </tr> <tr> <td>2</td> <td>2024.08.15</td> <td>REVISED PER CITY COMMENTS</td> </tr> <tr> <td>3</td> <td>2024.08.15</td> <td>REVISED PER CITY COMMENTS</td> </tr> <tr> <td>4</td> <td>2024.08.15</td> <td>REVISED PER CITY COMMENTS</td> </tr> <tr> <td>5</td> <td>2024.08.15</td> <td>REVISED PER CITY COMMENTS</td> </tr> <tr> <td>6</td> <td>2024.08.15</td> <td>REVISED PER CITY COMMENTS</td> </tr> <tr> <td>7</td> <td>2024.08.15</td> <td>REVISED PER CITY COMMENTS</td> </tr> <tr> <td>8</td> <td>2024.08.15</td> <td>REVISED PER CITY COMMENTS</td> </tr> <tr> <td>9</td> <td>2024.08.15</td> <td>REVISED PER CITY COMMENTS</td> </tr> <tr> <td>10</td> <td>2024.08.15</td> <td>REVISED PER CITY COMMENTS</td> </tr> </table>			NO.	DATE	REVISION / NUMBER	1	2024.08.15	ISSUE FOR PERMIT	2	2024.08.15	REVISED PER CITY COMMENTS	3	2024.08.15	REVISED PER CITY COMMENTS	4	2024.08.15	REVISED PER CITY COMMENTS	5	2024.08.15	REVISED PER CITY COMMENTS	6	2024.08.15	REVISED PER CITY COMMENTS	7	2024.08.15	REVISED PER CITY COMMENTS	8	2024.08.15	REVISED PER CITY COMMENTS	9	2024.08.15	REVISED PER CITY COMMENTS	10	2024.08.15	REVISED PER CITY COMMENTS
NO.	DATE	REVISION / NUMBER																																				
1	2024.08.15	ISSUE FOR PERMIT																																				
2	2024.08.15	REVISED PER CITY COMMENTS																																				
3	2024.08.15	REVISED PER CITY COMMENTS																																				
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9	2024.08.15	REVISED PER CITY COMMENTS																																				
10	2024.08.15	REVISED PER CITY COMMENTS																																				



PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carcallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

LEVEL 3
 SCALE: 1/16" = 1'-0"

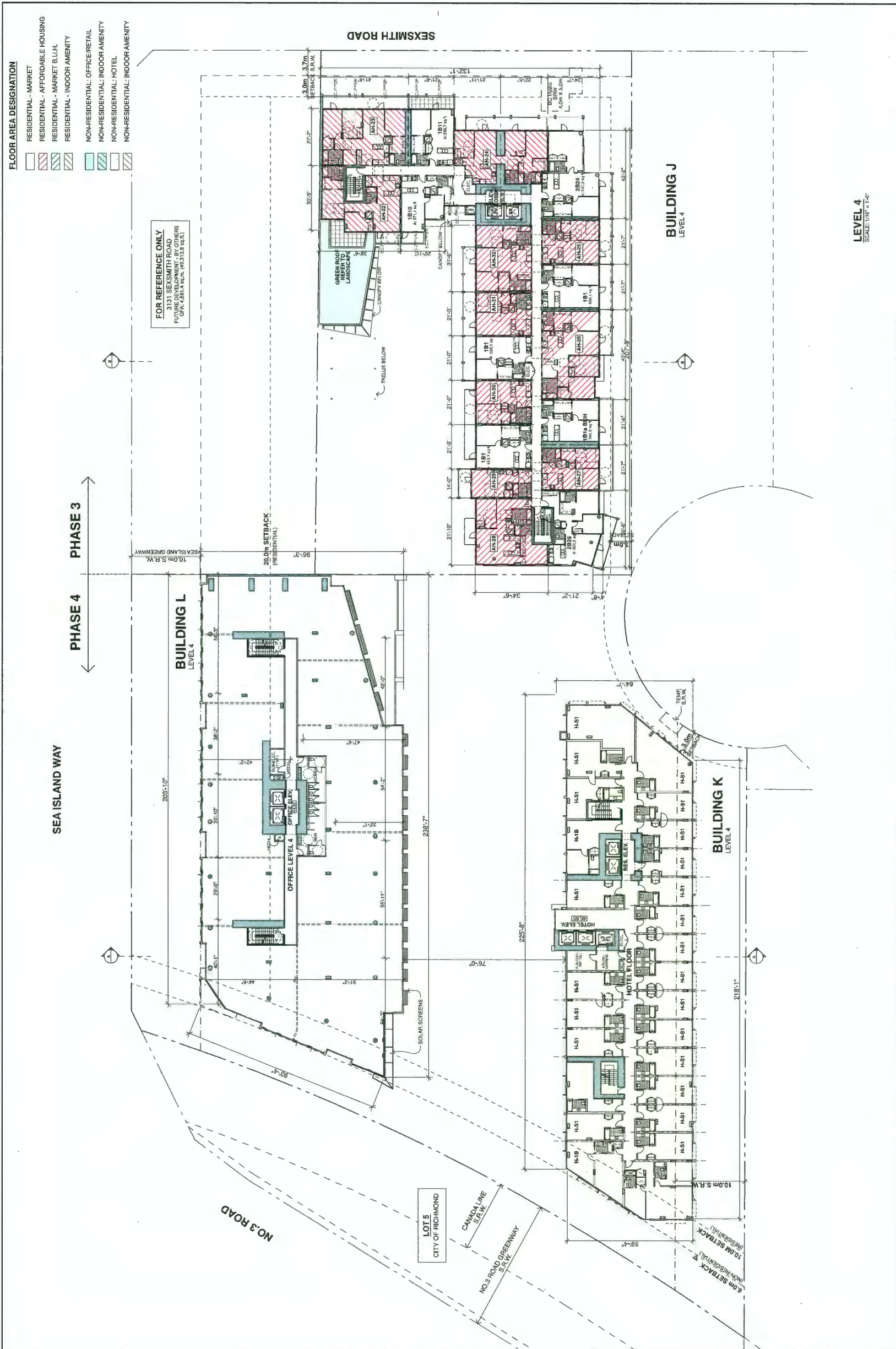
LEVEL 3
 SCALE: 1/16" = 1'-0"

NO.	DATE	DESCRIPTION	BY	CHECKED
1		ISSUED FOR PERMIT		
2		REVISED FOR PERMIT		
3		REVISED FOR PERMIT		
4		REVISED FOR PERMIT		
5		REVISED FOR PERMIT		
6		REVISED FOR PERMIT		
7		REVISED FOR PERMIT		
8		REVISED FOR PERMIT		
9		REVISED FOR PERMIT		
10		REVISED FOR PERMIT		

bingham+hill
 architects
 1111 EAST 10TH AVENUE
 VANCOUVER, BC V6E 2E9
 TEL: 604.681.1111
 WWW.BINGHAMHILLARCHITECTS.COM

PLAN #
 4f

ALL DIMENSIONS SHALL BE VERIFIED ON SITE
 © 2020



PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

LEVEL 4
 SCALE: 1/16" = 1'-0"

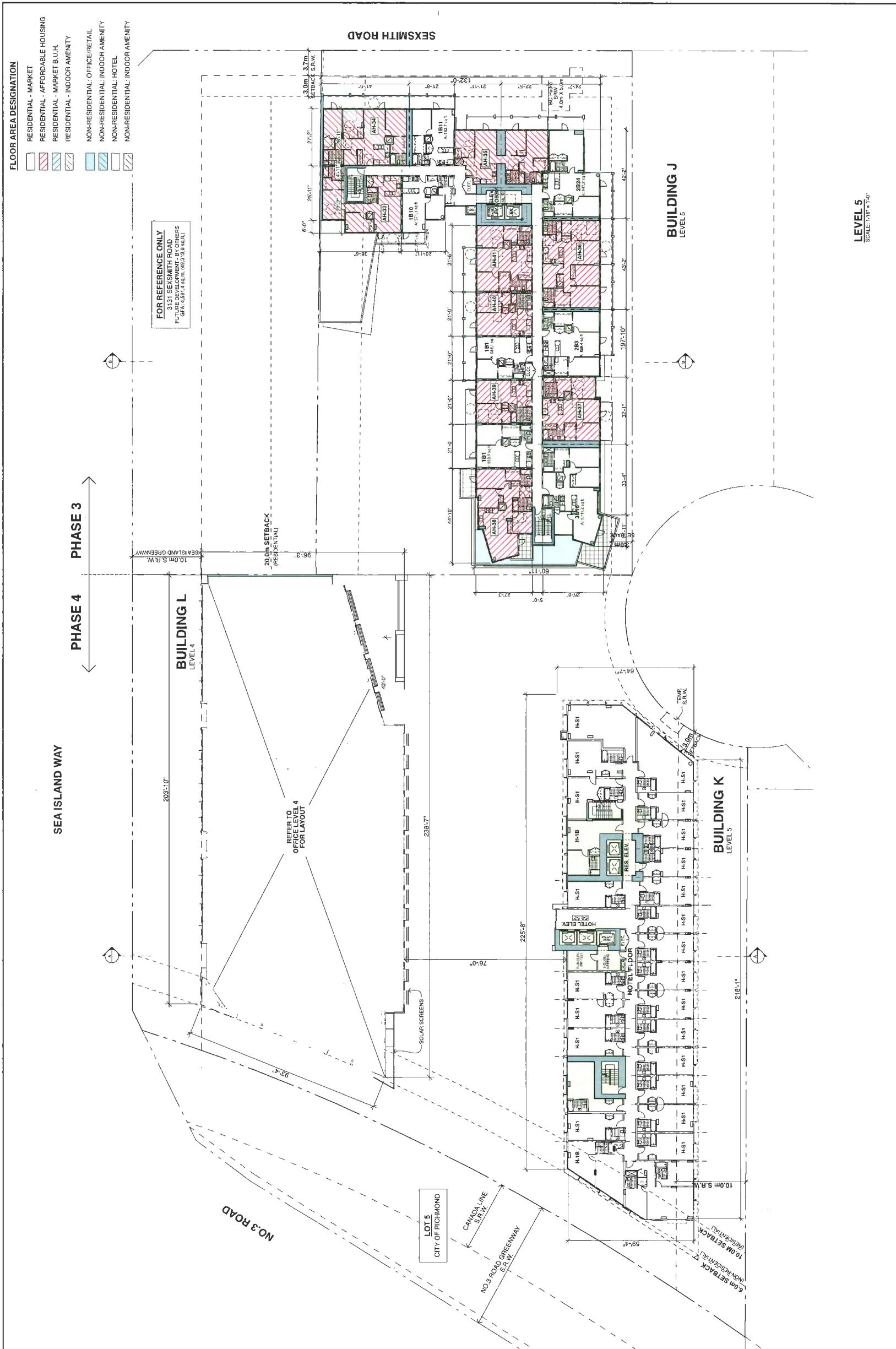
LEVEL 4

ALL DIMENSIONS SHALL BE REPORTED ON SITE

NO.	ISSUE / REVISION	DATE
1	ISSUE FOR PERMIT	2024.08.14
2	ISSUE FOR PERMIT	2024.08.14
3	ISSUE FOR PERMIT	2024.08.14
4	ISSUE FOR PERMIT	2024.08.14
5	ISSUE FOR PERMIT	2024.08.14
6	ISSUE FOR PERMIT	2024.08.14
7	ISSUE FOR PERMIT	2024.08.14
8	ISSUE FOR PERMIT	2024.08.14
9	ISSUE FOR PERMIT	2024.08.14
10	ISSUE FOR PERMIT	2024.08.14

FOR REFERENCE ONLY
 3131 SEXSMITH ROAD
 FUTURE DEVELOPMENT - BY OTHERS
 G.P.A. 4.881.4 S.R.W. (R3.312.8.44.1)

PROJECT # 1306
 SCALE 1/16" = 1'-0"
 PLAN # 49



FLOOR AREA DESIGNATION

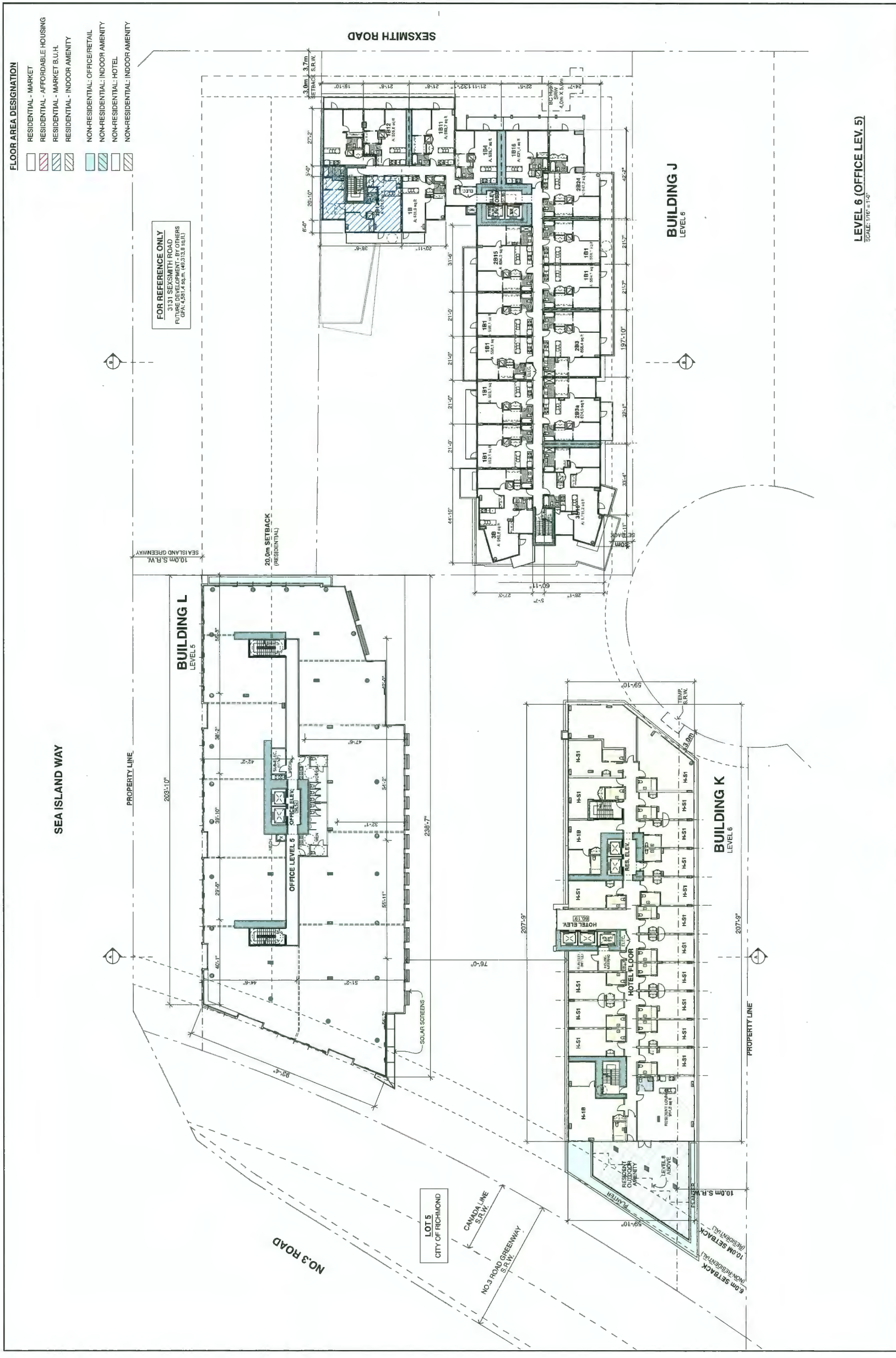
[Red Hatched]	RESIDENTIAL - MARKET
[Blue Hatched]	RESIDENTIAL - AFFORDABLE HOUSING
[Green Hatched]	RESIDENTIAL - MARKET B.U.H.
[Yellow Hatched]	RESIDENTIAL - INDOOR AMENITY
[Light Blue Hatched]	NON-RESIDENTIAL - OFFICE/RETAIL
[Light Green Hatched]	NON-RESIDENTIAL - INDOOR AMENITY
[Light Yellow Hatched]	NON-RESIDENTIAL - HOTEL
[Light Cyan Hatched]	NON-RESIDENTIAL - INDOOR AMENITY

FOR REFERENCE ONLY
 ALL DIMENSIONS AND
 FUTURE DEVELOPMENT, BY OTHERS
 G.P.A. 4.5.01, 4.5.02, 4.5.03, 4.5.04, 4.5.05

LEVEL 5	
DATE: 11/18/2023	SCALE: 1/16" = 1'-0"
PROJECT: Pinnacle Living @ Capstan Village	PLAN # 4h

NO.	DATE	DESCRIPTION	BY
1	11/18/2023	ISSUE FOR PERMIT	J.M.
2	11/18/2023	ISSUE FOR PERMIT	J.M.
3	11/18/2023	ISSUE FOR PERMIT	J.M.
4	11/18/2023	ISSUE FOR PERMIT	J.M.
5	11/18/2023	ISSUE FOR PERMIT	J.M.

Pinnacle Living @ Capstan Village
 PHASE 3 & 4: 3208 Carcallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.



LEVEL 6 (OFFICE LEV. 5)
SCALE: 1/16" = 1'-0"

Pinnacle Living @ Capstan Village
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

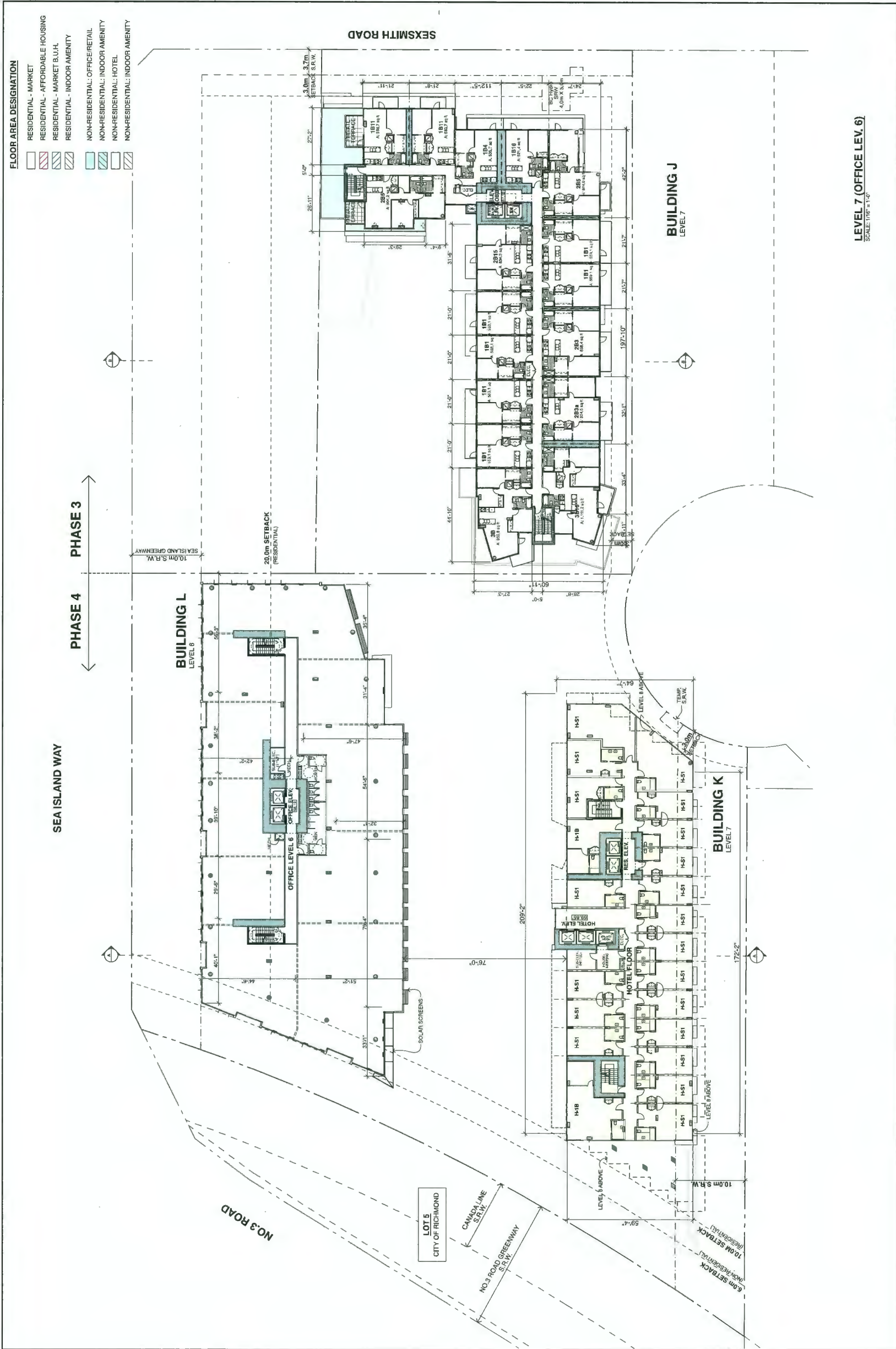
LEVEL 6 (OFFICE LEV. 5)
 SCALE: 1/16" = 1'-0"

PLAN #
 4j

NO.	REVISION / REVISION	DATE
1	ISSUED FOR PERMIT	2024.08.14
2	REVISED PER PERMIT COMMENTS	2024.08.14
3	REVISED PER PERMIT COMMENTS	2024.08.14
4	REVISED PER PERMIT COMMENTS	2024.08.14
5	REVISED PER PERMIT COMMENTS	2024.08.14
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7	REVISED PER PERMIT COMMENTS	2024.08.14
8	REVISED PER PERMIT COMMENTS	2024.08.14
9	REVISED PER PERMIT COMMENTS	2024.08.14
10	REVISED PER PERMIT COMMENTS	2024.08.14

bingham-hill architects
 ARCHITECTS

11111 156th Street, Richmond, BC V6V 2G9
 TEL: (604) 273-8888
 WWW: WWW.BINGHAMHILLARCHITECTS.COM



- FLOOR AREA DESIGNATION**
- RESIDENTIAL - MARKET
 - RESIDENTIAL - AFFORDABLE HOUSING
 - RESIDENTIAL - MARKET B.U.H.
 - RESIDENTIAL - INDOOR AMENITY
 - NON-RESIDENTIAL: OFFICE/RETAIL
 - NON-RESIDENTIAL: INDOOR AMENITY
 - NON-RESIDENTIAL: HOTEL
 - NON-RESIDENTIAL: INDOOR AMENITY

LEVEL 7 (OFFICE LEV. 6)
SCALE: 1/16" = 1'-0"

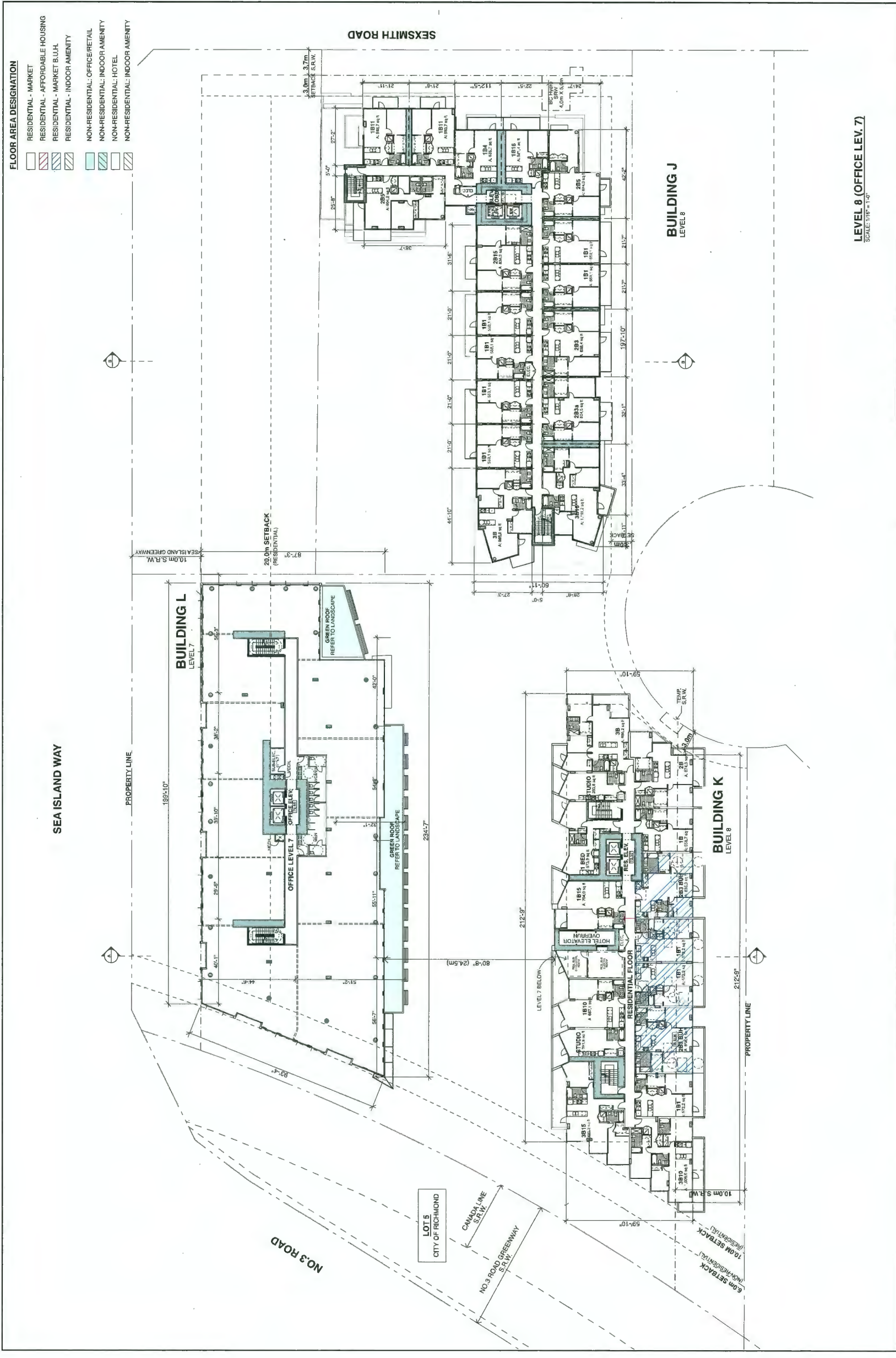
PINNACLE LIVING @ CAPSTAN VILLAGE
PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
RICHMOND, BRITISH COLUMBIA
for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

LEVEL 7 (OFFICE LEV. 6)

DATE: _____
DRAWN: _____
CHECKED: _____
DATE: _____
DRAWN: _____
CHECKED: _____

PROJECT NUMBER: _____
SCALE: 1/16" = 1'-0"
PLAN # 4j

ALL DIMENSIONS SHALL BE VERIFIED ON SITE



PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

NO.	ISSUE / REVISION	DATE
1	ISSUE FOR PERMIT	2024-08-15
2	REVISION TO PERMIT	2024-08-20
3	REVISION TO PERMIT	2024-09-05
4	REVISION TO PERMIT	2024-09-10
5	REVISION TO PERMIT	2024-09-15
6	REVISION TO PERMIT	2024-09-20
7	REVISION TO PERMIT	2024-09-25
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9	REVISION TO PERMIT	2024-10-05
10	REVISION TO PERMIT	2024-10-10

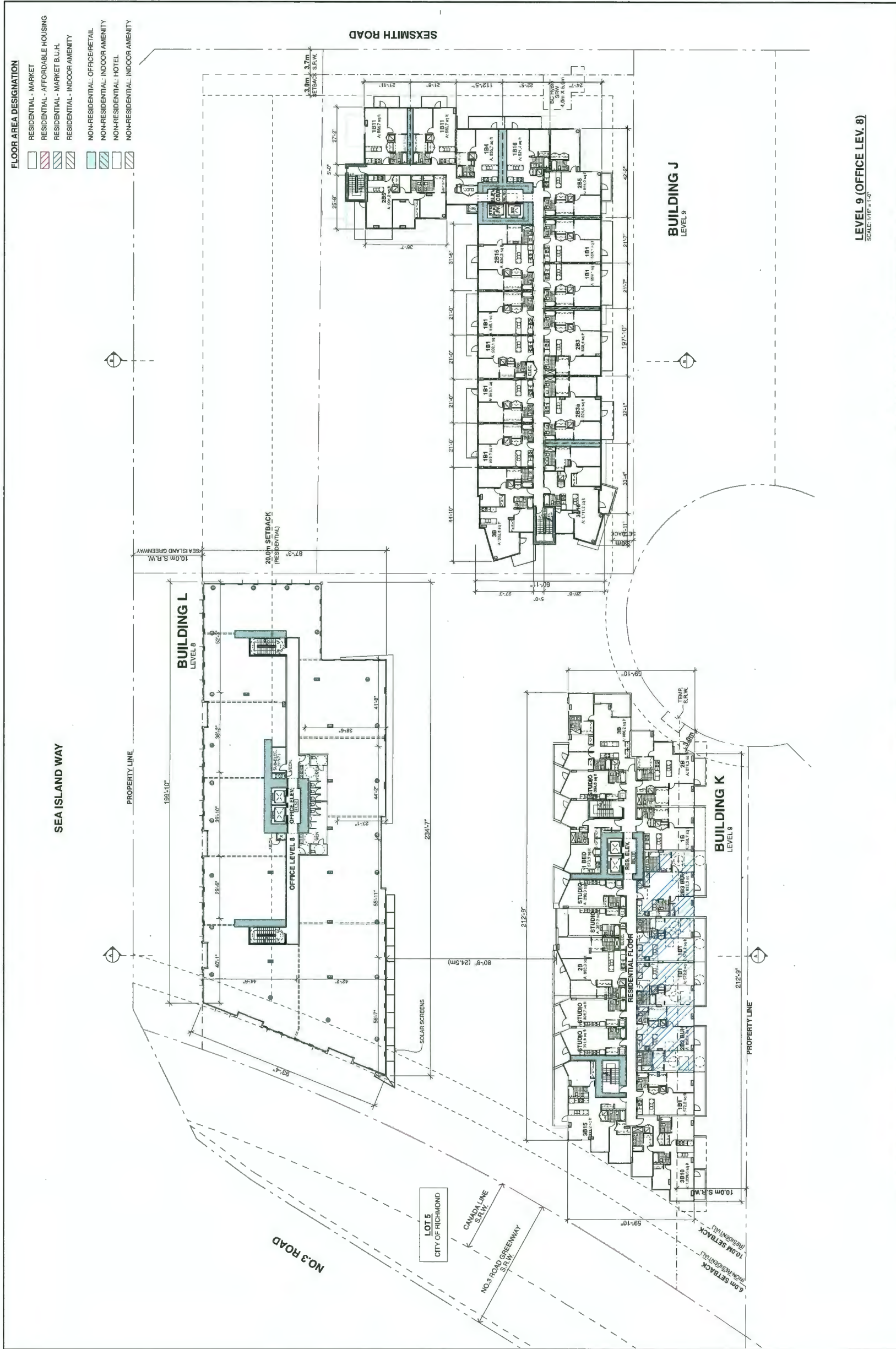
LEVEL 8 (OFFICE LEV. 7)
 SCALE: 1/16" = 1'-0"

LEVEL 8 (OFFICE LEV. 7)
 SCALE: 1/16" = 1'-0"

LEVEL 8 (OFFICE LEV. 7)	PLAN # 4k
ALL DIMENSIONS SHALL BE NOTED ON SITE	

bingham hill
 architects

1100 14th Street
 Vancouver, BC V6Z 1Y7
 Tel: 604.681.1100
 Fax: 604.681.1101
 Email: info@binghamhill.com



PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

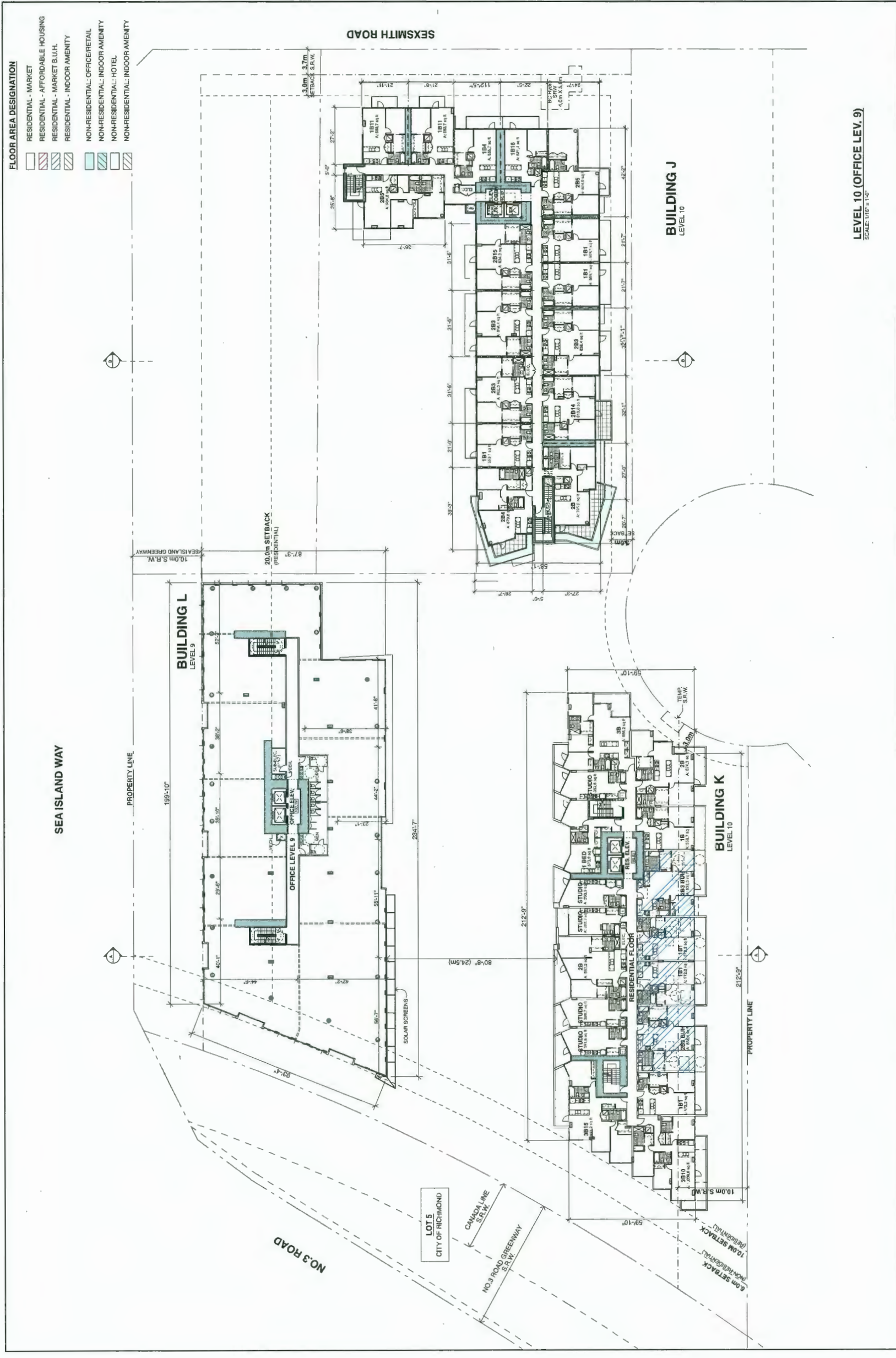
LEVEL 9 (OFFICE LEV. 8)
 SCALE: 1/16" = 1'-0"

LEVEL 9 (OFFICE LEV. 8)
 SCALE: 1/16" = 1'-0"

NO.	DATE	DESCRIPTION
1	10/27/2017	ISSUED FOR PERMIT
2	11/15/2017	ISSUED FOR PERMIT
3	12/15/2017	ISSUED FOR PERMIT
4	01/10/2018	ISSUED FOR PERMIT
5	02/01/2018	ISSUED FOR PERMIT
6	02/01/2018	ISSUED FOR PERMIT
7	02/01/2018	ISSUED FOR PERMIT
8	02/01/2018	ISSUED FOR PERMIT
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11	02/01/2018	ISSUED FOR PERMIT
12	02/01/2018	ISSUED FOR PERMIT
13	02/01/2018	ISSUED FOR PERMIT
14	02/01/2018	ISSUED FOR PERMIT
15	02/01/2018	ISSUED FOR PERMIT
16	02/01/2018	ISSUED FOR PERMIT
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47	02/01/2018	ISSUED FOR PERMIT
48	02/01/2018	ISSUED FOR PERMIT
49	02/01/2018	ISSUED FOR PERMIT
50	02/01/2018	ISSUED FOR PERMIT

Legend:
 FLOOR AREA DESIGNATION
 RESIDENTIAL - MARKET
 RESIDENTIAL - AFFORDABLE HOUSING
 RESIDENTIAL - MARKET B.U.H.
 RESIDENTIAL - INDOOR AMENITY
 NON-RESIDENTIAL: OFFICE/RETAIL
 NON-RESIDENTIAL: INDOOR AMENITY
 NON-RESIDENTIAL: HOTEL
 NON-RESIDENTIAL: INDOOR AMENITY

Project Information:
 SCALE: 1/16" = 1'-0"
 PLAN # 41



PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carcallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

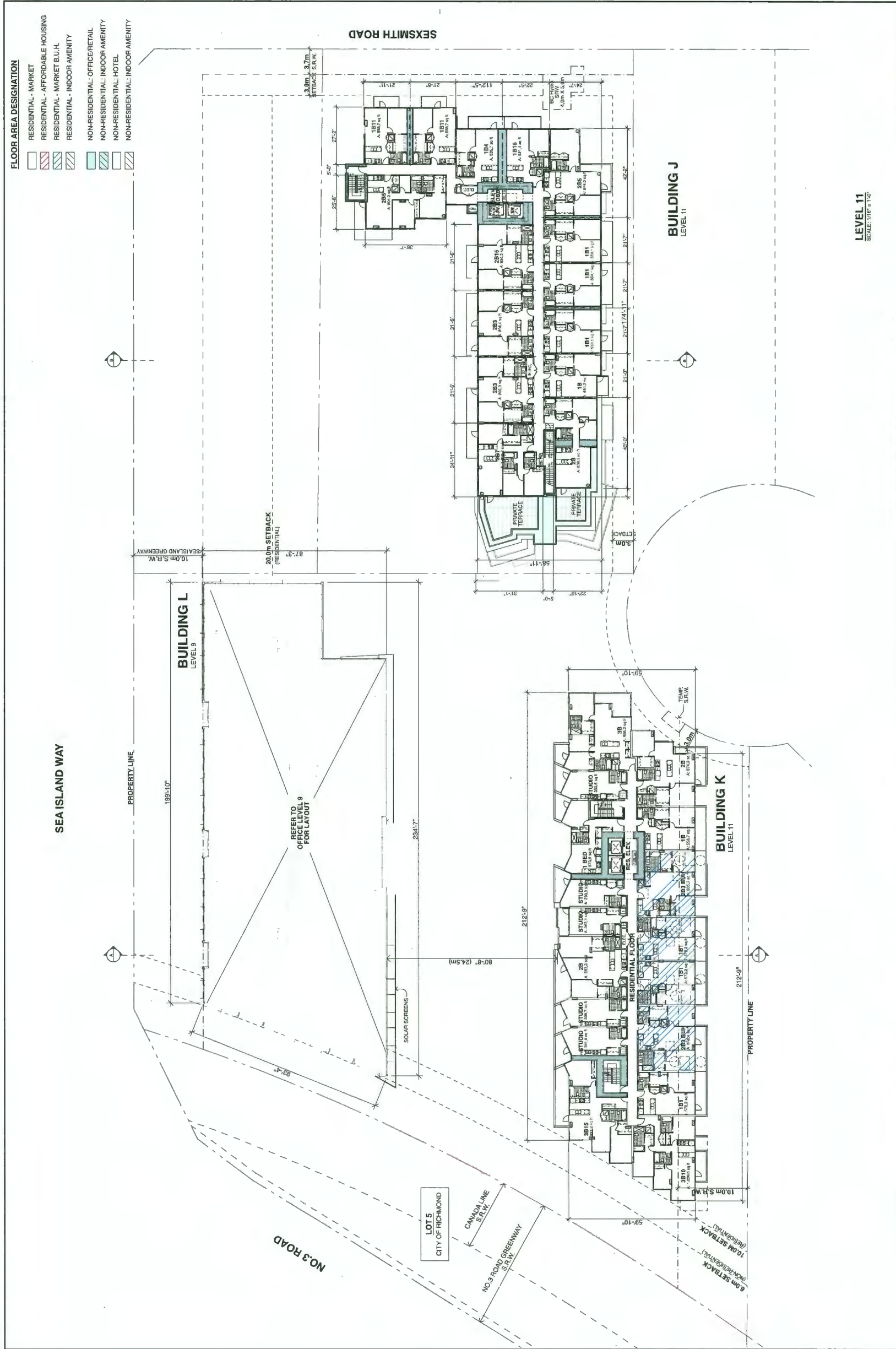
NO.	DATE / REVISION	DATE
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2	PRELIMINARY PLAN	
3	PRELIMINARY PLAN	
4	PRELIMINARY PLAN	
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96	PRELIMINARY PLAN	
97	PRELIMINARY PLAN	
98	PRELIMINARY PLAN	
99	PRELIMINARY PLAN	
100	PRELIMINARY PLAN	

bingham hill
ARCHITECTS

LEVEL 10 (OFFICE LEV. 9)
SCALE 1/16" = 1'-0"

DRAWN: [Name]
CHECKED: [Name]
DATE: [Date]

PLAN # 4M



PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

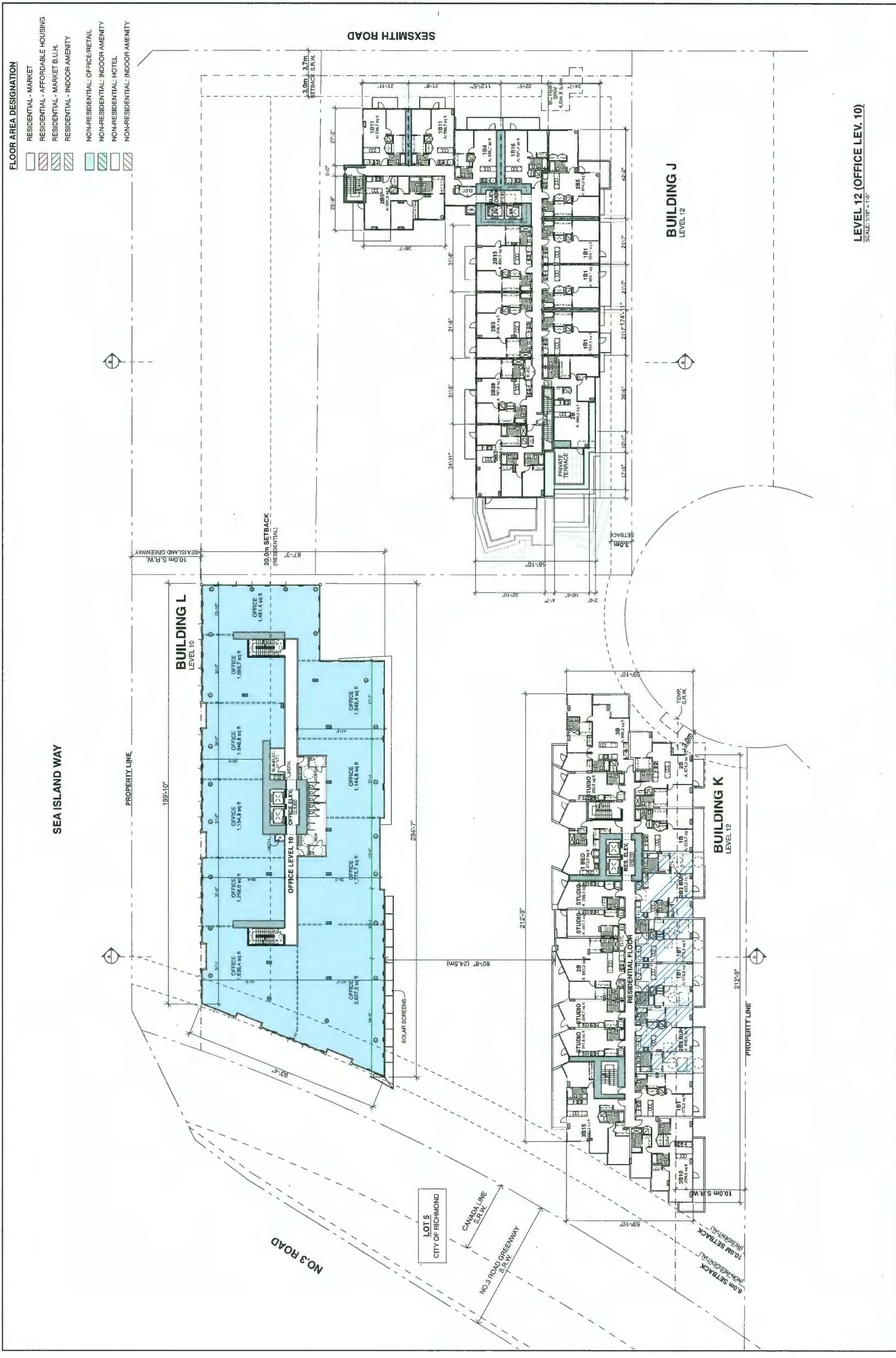
LEVEL 11

LEVEL 11
 SCALE: 1/16" = 1'-0"

PLAN #
 4n

NO.	REVISION / NUMBER	DATE
1	ISSUE FOR PERMIT	2023.08.15
2	ISSUE FOR PERMIT	2023.08.15
3	ISSUE FOR PERMIT	2023.08.15
4	ISSUE FOR PERMIT	2023.08.15
5	ISSUE FOR PERMIT	2023.08.15
6	ISSUE FOR PERMIT	2023.08.15

ALL DIMENSIONS SHALL BE VERIFIED ON SITE.



PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

LEVEL 12 (OFFICE LEV. 10)
 SCALE: 1/16" = 1'-0"

LEVEL 12 (OFFICE LEV. 10)
 SCALE: 1/16" = 1'-0"

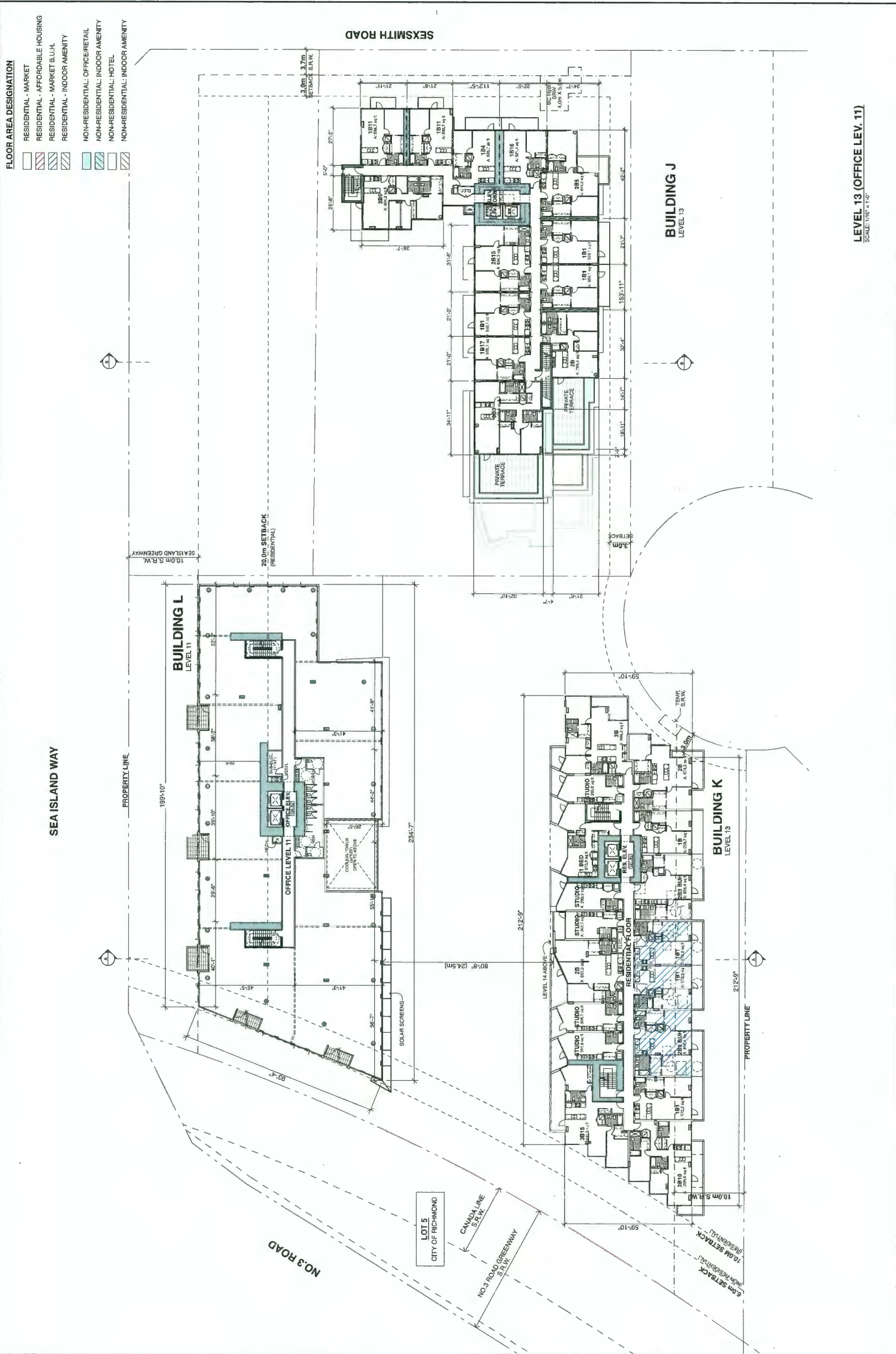
PLAN # 40

ALL DIMENSIONS SHALL BE VERIFIED ON SITE

NO.	DATE / REVISION	DATE
1	ISSUE FOR PERMIT	
2	ISSUE FOR PERMIT	
3	ISSUE FOR PERMIT	
4	ISSUE FOR PERMIT	
5	ISSUE FOR PERMIT	
6	ISSUE FOR PERMIT	
7	ISSUE FOR PERMIT	
8	ISSUE FOR PERMIT	
9	ISSUE FOR PERMIT	
10	ISSUE FOR PERMIT	

bingham+hill
 ARCHITECTS

1111 14th Street, Suite 100
 Richmond, BC V6Y 1R1
 Tel: 604.273.8888
 Fax: 604.273.8889
 www.binghamhill.com



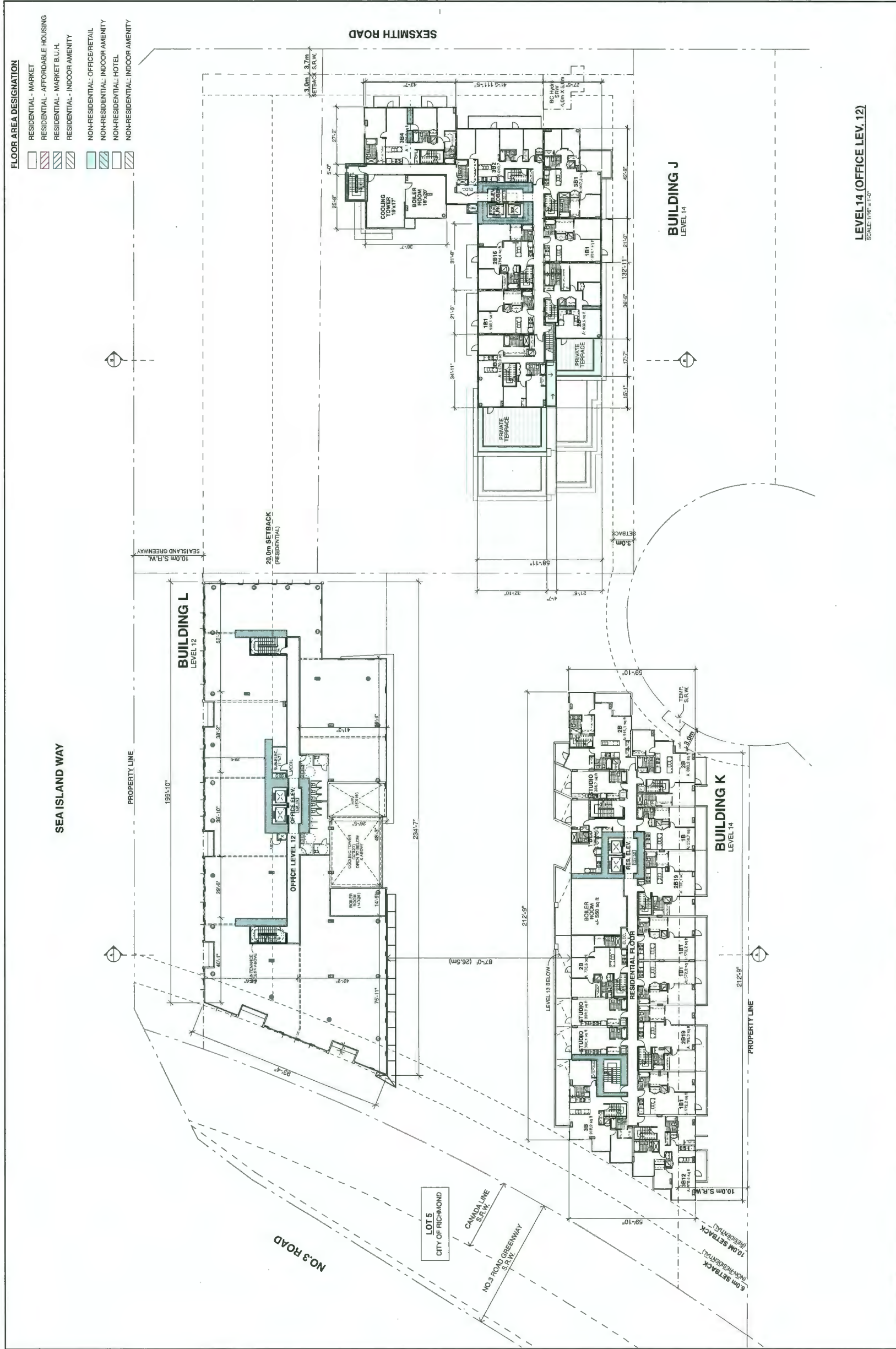
- FLOOR AREA DESIGNATION**
- RESIDENTIAL - MARKET
 - RESIDENTIAL - AFFORDABLE HOUSING
 - RESIDENTIAL - MARKET B.U.H.
 - RESIDENTIAL - INDOOR AMENITY
 - NON-RESIDENTIAL: OFFICE/RETAIL
 - NON-RESIDENTIAL: INDOOR AMENITY
 - NON-RESIDENTIAL: HOTEL
 - NON-RESIDENTIAL: INDOOR AMENITY

LEVEL 13 (OFFICE LEV. 11)		PLAN #	4p
DATE	1/17/17	DRAWN	1/17/17
SCALE	1/16" = 1'-0"	CHECKED	

bingham hill architects			
NO.	DATE / REVISION	DATE	
1	ISSUED FOR PERMIT		
2	REVISED PER COMMENTS		
3	REVISED PER COMMENTS		
4	REVISED PER COMMENTS		
5	REVISED PER COMMENTS		
6	REVISED PER COMMENTS		
7	REVISED PER COMMENTS		
8	REVISED PER COMMENTS		
9	REVISED PER COMMENTS		
10	REVISED PER COMMENTS		
11	REVISED PER COMMENTS		

PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

P:\Drawings\1807\1807.dwg



FLOOR AREA DESIGNATION

[Symbol]	RESIDENTIAL - MARKET
[Symbol]	RESIDENTIAL - AFFORDABLE HOUSING
[Symbol]	RESIDENTIAL - MARKET B.U.H.
[Symbol]	RESIDENTIAL - INDOOR AMENITY
[Symbol]	NON-RESIDENTIAL: OFFICE/RETAIL
[Symbol]	NON-RESIDENTIAL: INDOOR AMENITY
[Symbol]	NON-RESIDENTIAL: HOTEL
[Symbol]	NON-RESIDENTIAL: INDOOR AMENITY

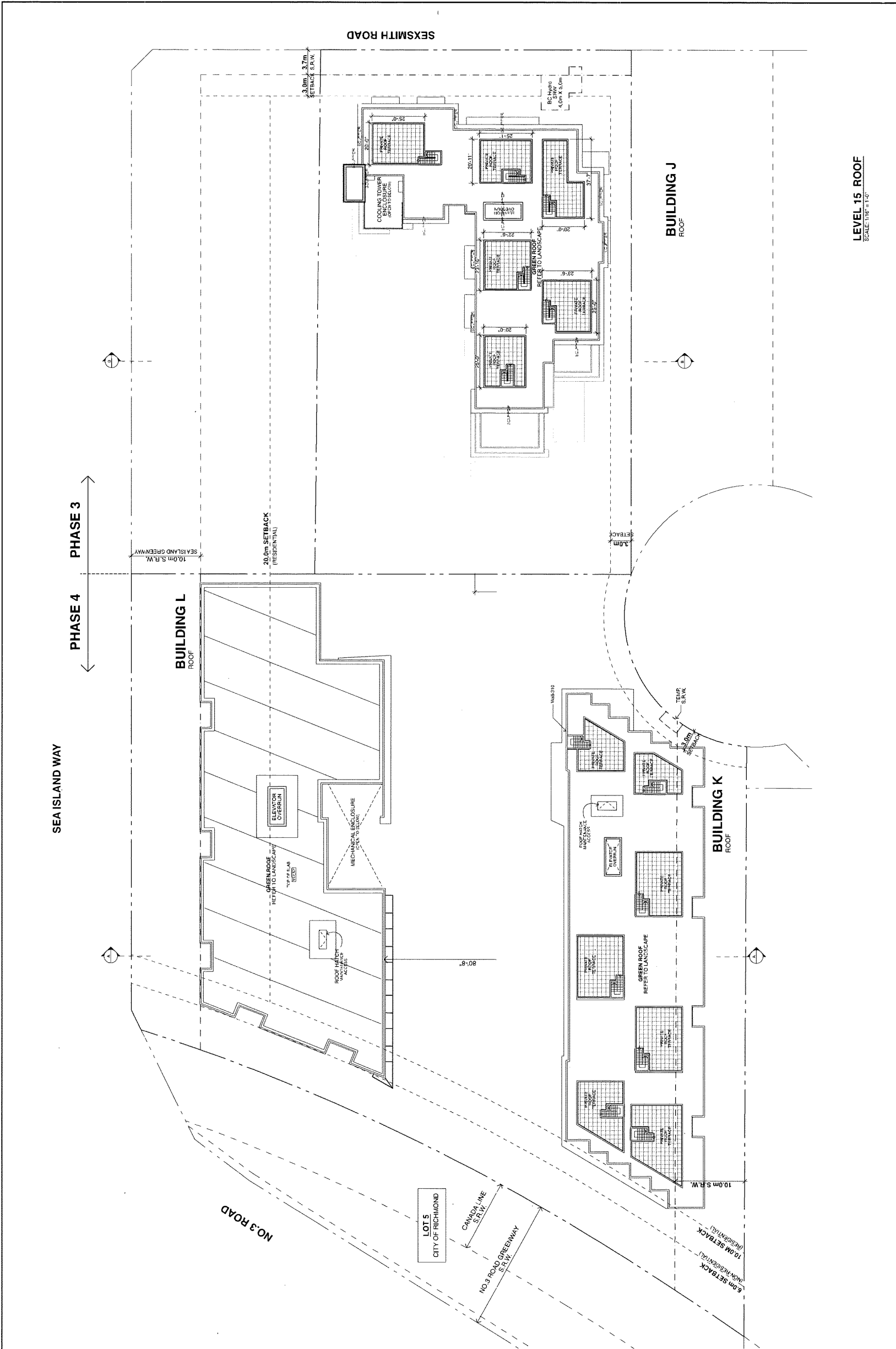
LEVEL 14 (OFFICE LEV. 12)
SCALE: 1/16" = 1'-0"

PINNACLE LIVING @ CAPSTAN VILLAGE
PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
RICHMOND, BRITISH COLUMBIA
for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

LEVEL 14 (OFFICE LEV. 12)
PLAN # 4q

NO.	DATE	BY	CHKD.	DESCRIPTION
1	2024.08.15	J. SMITH	M. JONES	ISSUED FOR PERMIT
2	2024.08.15	J. SMITH	M. JONES	REVISION: CORRECTED ROOM SIZES
3	2024.08.15	J. SMITH	M. JONES	REVISION: ADDED TERRACE AREAS
4	2024.08.15	J. SMITH	M. JONES	REVISION: FINAL CHECK





LEVEL 15 ROOF
SCALE: 1/8" = 1'-0"

Pinnacle Living @ Capstan Village
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

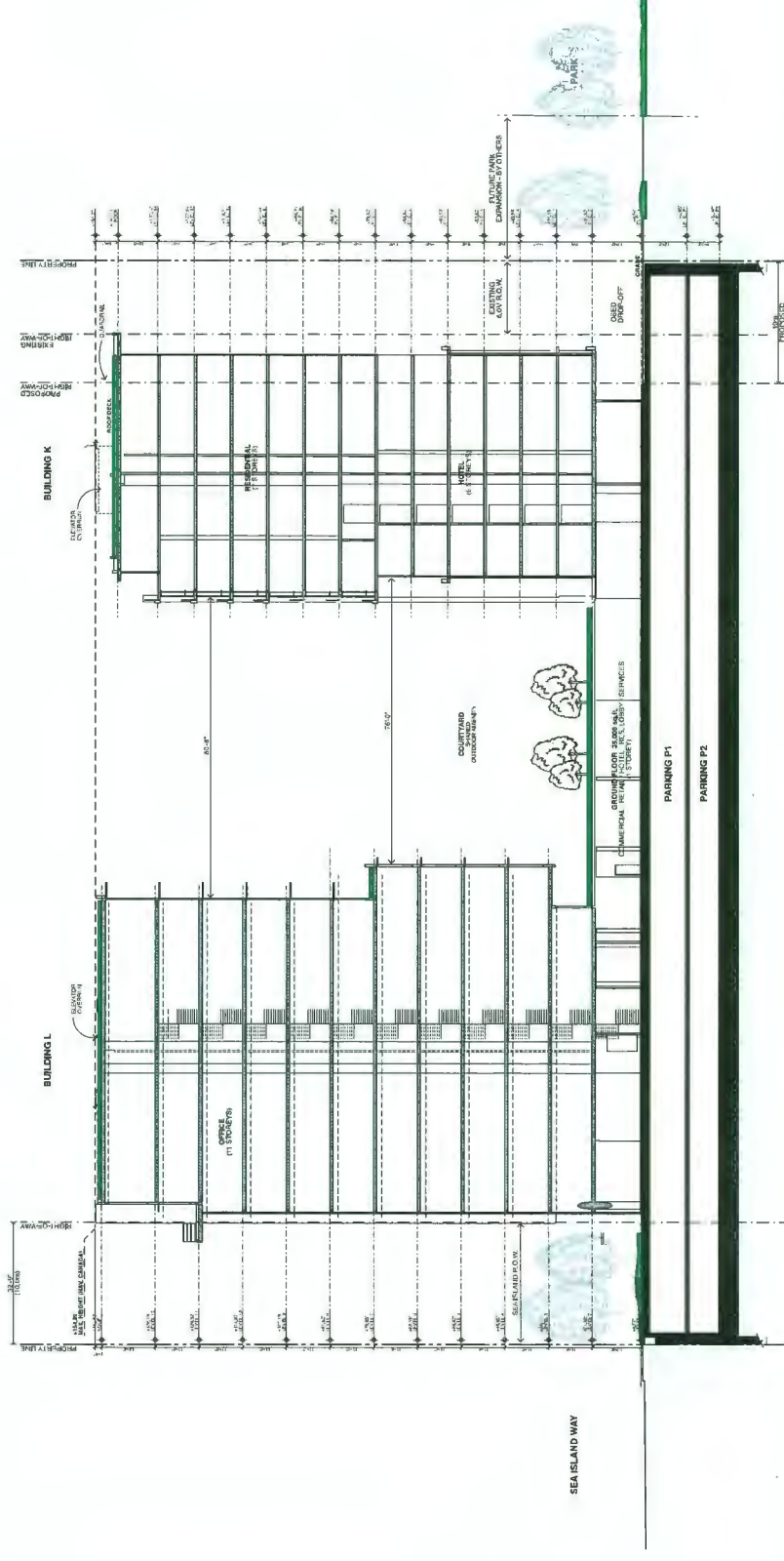
LEVEL 15 ROOF

DATE	DESCRIPTION	BY	CHKD

AL: ARCHITECTS SHALL BE VERIFIED ON SITE

bingham-hill
 ARCHITECTS

SCALE	DATE	PLAN #
1/8" = 1'-0"		4R



SECTION A
SCALE: 1/16" = 1'-0"

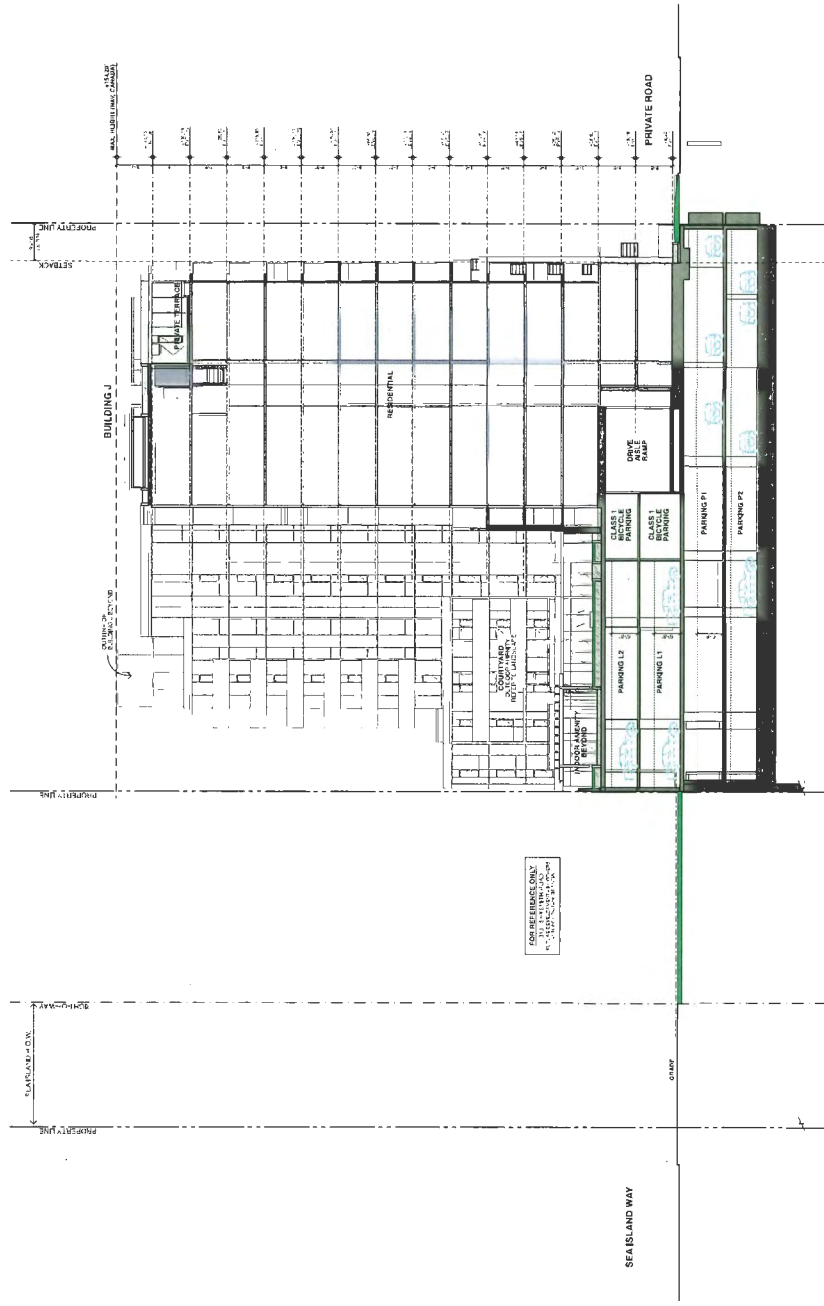
PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

NO.	REVISION / PERSON	DATE
1	REVISED PER PLAN	11/11/11
2	REVISED PER PLAN	11/11/11
3	REVISED PER PLAN	11/11/11
4	REVISED PER PLAN	11/11/11
5	REVISED PER PLAN	11/11/11
6	REVISED PER PLAN	11/11/11
7	REVISED PER PLAN	11/11/11
8	REVISED PER PLAN	11/11/11
9	REVISED PER PLAN	11/11/11
10	REVISED PER PLAN	11/11/11

SECTION A

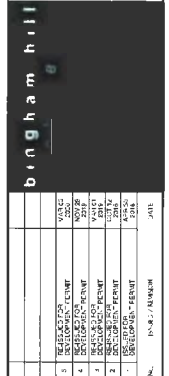
ALL DIMENSIONS UNLESS NOTED OTHERWISE

DATE: 11/11/11
 SCALE: 1/16" = 1'-0"
 PLAN # 6a



SECTION B
SCALE: 1/16" = 1'-0"

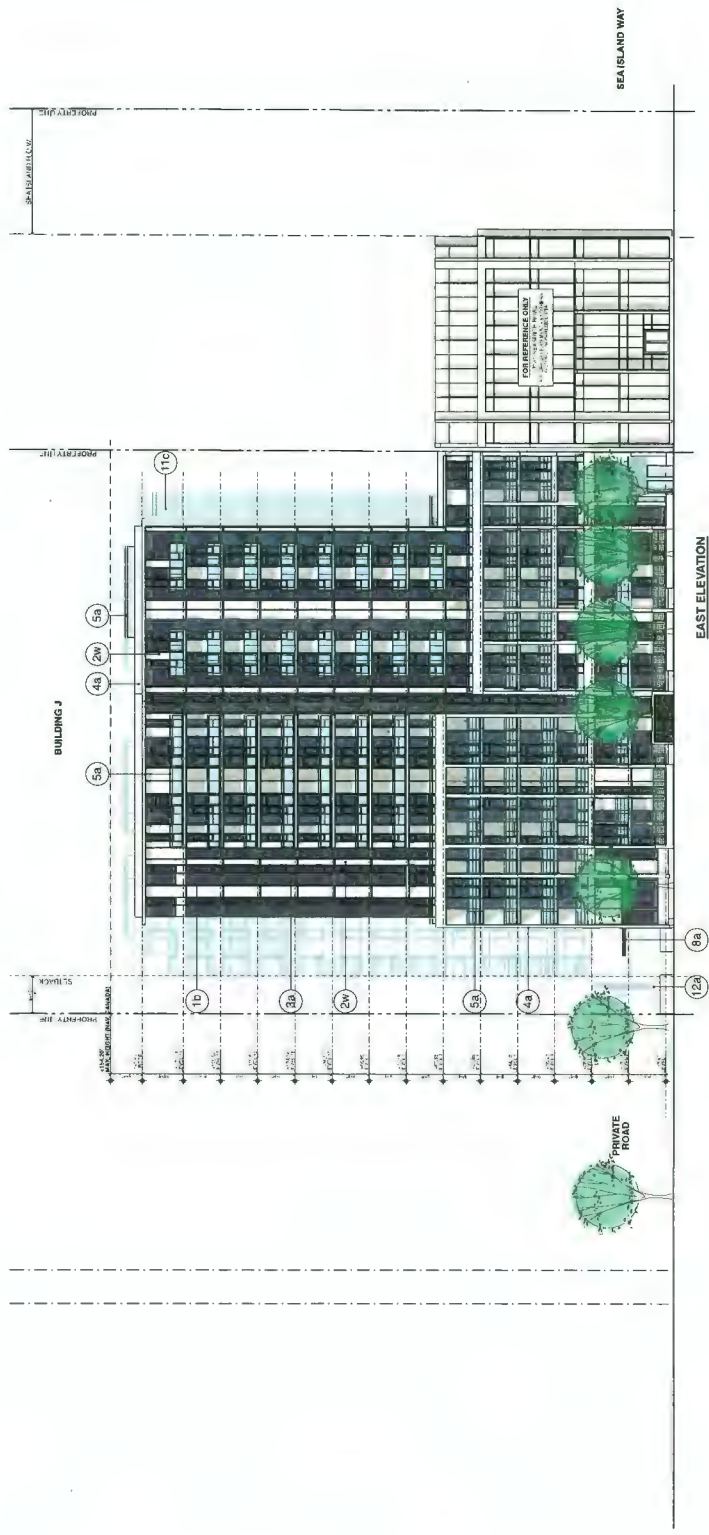
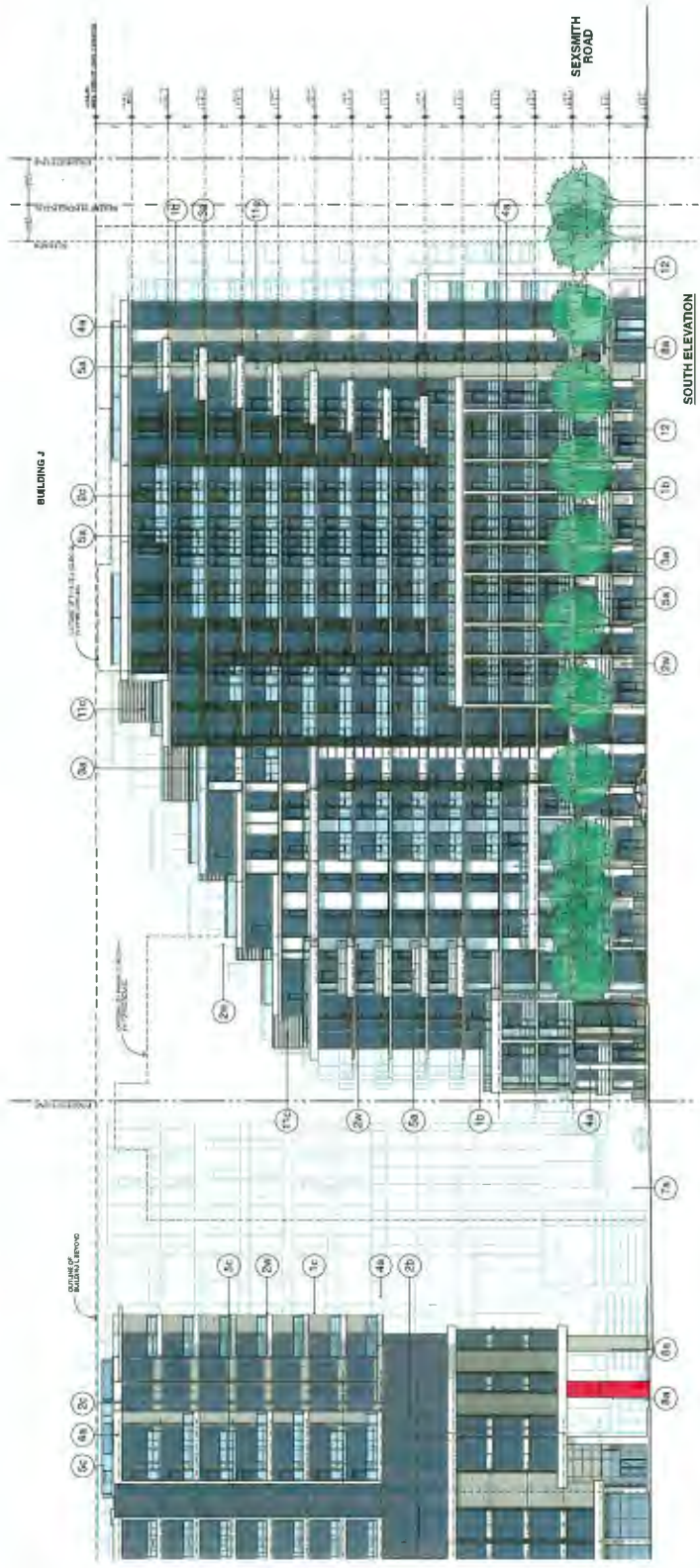
PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.



SECTION B		PLAN #	
AL-201900421441-ET-101010101		1/16" = 1'-0"	6b
DATE	1/16/20	SCALE	1/16" = 1'-0"
DESIGNER	AL-201900421441-ET-101010101	DATE	1/16/20
CHECKER		SCALE	1/16" = 1'-0"
DATE		DATE	1/16/20

LIST OF MATERIALS

- 1 GLAZING IN ALUMINUM FRAMES
 - 1a - silver frame; clear enclosed aluminum
 - 1b - dark grey frame; match BM 2133 "Black-Jack"
 - 1c - white frame
- 2 SPANDREL GLASS IN ALUMINUM FRAMES
 - 2a - light blue; match BM 2021-40 "Blue Egg"
 - 2b - red; match BM 2004-10 "Deep Rose"
 - 2c - dark grey; match BM 2133-20 "Black-Jack"
 - 2d - white
- 3 METAL SPANDREL IN ALUMINUM FRAMES
 - 3a - grey; match BM 2133-20 "Black-Jack"
 - 3b - white
 - 3c - silver
- 4 PAINTED CONCRETE
 - 4a - white
 - 4b - clear render
- 5 GUARDRAILS
 - 5a - dark grey alum. frame w/ clear temp. glass
 - 5b - silver alum. frame w/ clear temp. glass
 - 5c - white alum. frame w/ clear temp. glass
 - 5d - dark grey alum. frame w/ clear temp. glass
- 6 PRIVACY SCREENS
 - 6a - translucent white temp. glass
 - 6b - dark grey alum. frame & grille
 - 6c - translucent lamp. glass
- 7 OVERHEAD GARAGE DOOR
 - 7a - dark grey
- 8 STEEL & GLASS CANOPY
 - 8a - medium grey frame; match BM 2133-50 "Pigeon Grey"
 - 8b - dark grey frame; match BM 2133-20 "Black-Jack"
 - 8c - white
- 9 METAL LOUVRE
 - 9a - dark grey; match BM 2133-20 "Black-Jack"
 - 9b - silver
 - 9c - white
- 10 TRELLIS
 - 10a - stained timber
- 11 METAL PANEL
 - 11a - match BM 2004-10 "Deep Green"
 - 11b - green; match BM 2004-40 "Green Fields"
 - 11c - green; match BM 2004-40 "Green Fields"
 - 11d - green; match BM 2004-40 "Green Fields"
 - 11e - green; match BM 2004-40 "Green Fields"
 - 11f - green; match BM 2004-40 "Green Fields"
 - 11g - green; match BM 2004-40 "Green Fields"
 - 11h - green; match BM 2004-40 "Green Fields"
 - 11i - green; match BM 2004-40 "Green Fields"
 - 11j - green; match BM 2004-40 "Green Fields"
 - 11k - green; match BM 2004-40 "Green Fields"
 - 11l - green; match BM 2004-40 "Green Fields"
 - 11m - green; match BM 2004-40 "Green Fields"
 - 11n - green; match BM 2004-40 "Green Fields"
 - 11o - green; match BM 2004-40 "Green Fields"
 - 11p - green; match BM 2004-40 "Green Fields"
 - 11q - green; match BM 2004-40 "Green Fields"
 - 11r - green; match BM 2004-40 "Green Fields"
 - 11s - green; match BM 2004-40 "Green Fields"
 - 11t - green; match BM 2004-40 "Green Fields"
 - 11u - green; match BM 2004-40 "Green Fields"
 - 11v - green; match BM 2004-40 "Green Fields"
 - 11w - green; match BM 2004-40 "Green Fields"
 - 11x - green; match BM 2004-40 "Green Fields"
 - 11y - green; match BM 2004-40 "Green Fields"
 - 11z - green; match BM 2004-40 "Green Fields"
- 12 SOLAR SCREEN
 - 12a - white frame
 - 12b - white frame
 - 12c - dark grey frame; match BM 2133-20 "Black-Jack"
- 13 TRANSLUCENT GLASS RW
 - 13a - red



PINNACLE LIVING @ CAPSTAN VILLAGE
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 RICHMOND, BRITISH COLUMBIA
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NO.	ISSUE / REVISION	DATE
1	ISSUE FOR PERMIT	
2	ISSUE FOR PERMIT	
3	ISSUE FOR PERMIT	
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12	ISSUE FOR PERMIT	

**ELEVATIONS:
BUILDING J**

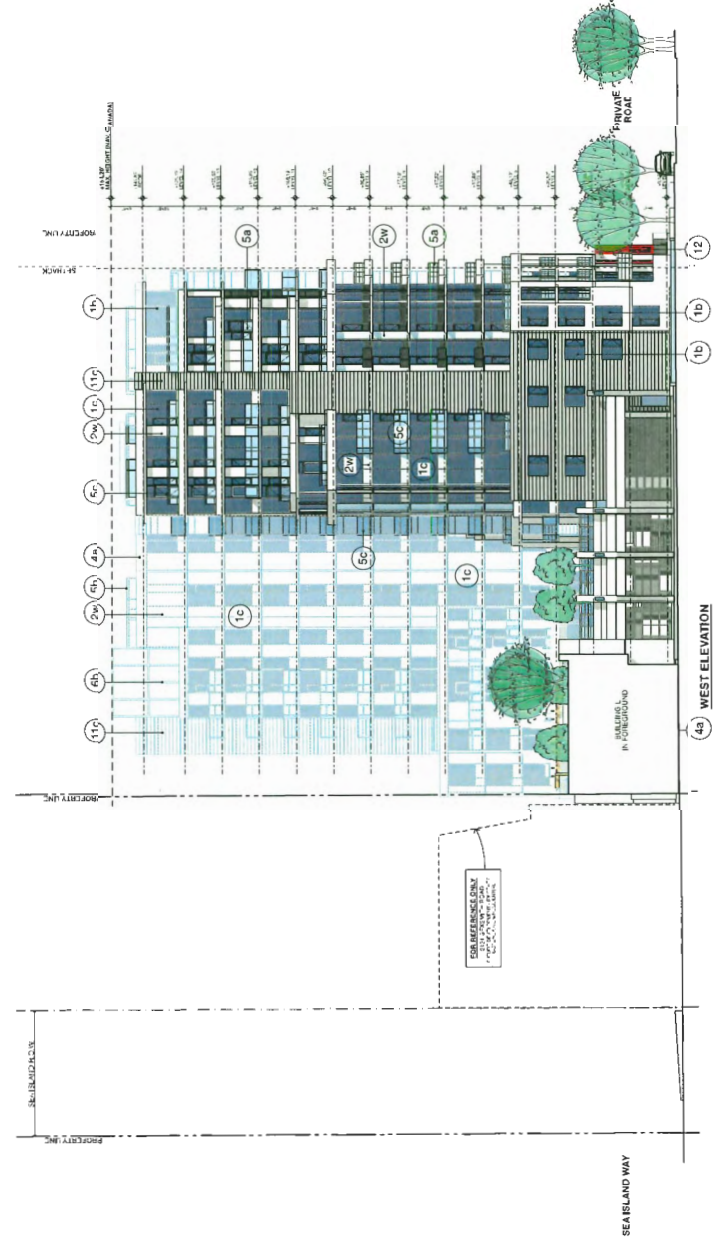
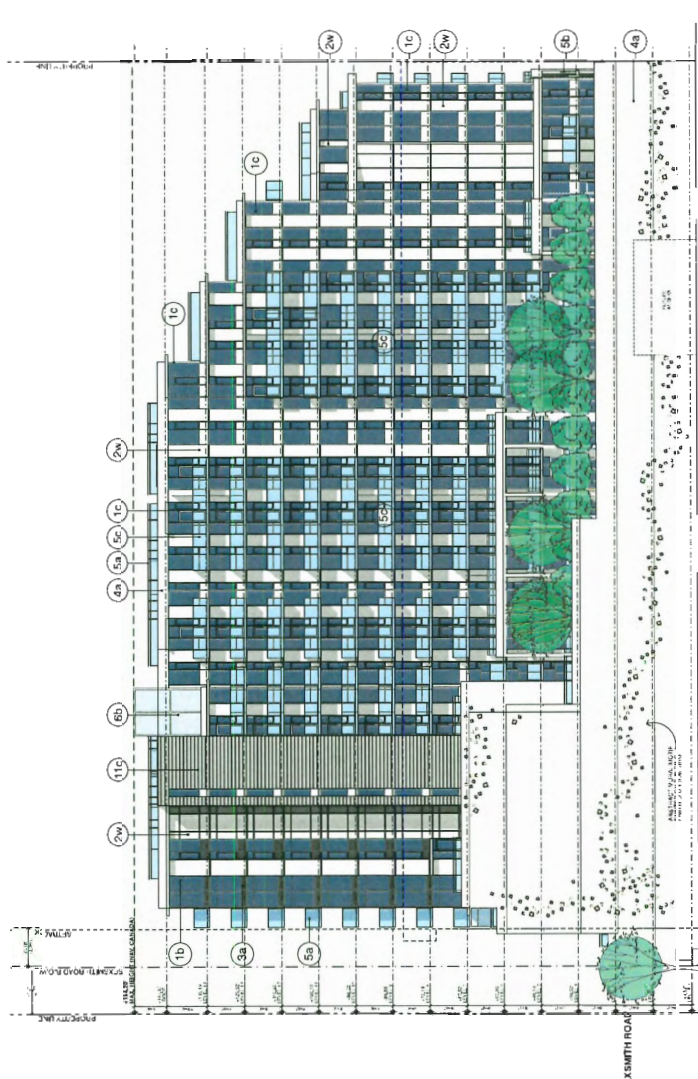
ALL DIMENSIONS SHALL BE VERIFIED ON SITE

SCALE: 1/16" = 1'-0"

PLAN # **7a**

LIST OF MATERIALS

- 1) GLAZING ALUMINUM FRAMES
 - 1a - silver frame clear anodized aluminum
 - 1b - dark grey frame match BM 2133-20 "Black-Jack"
 - 1c - white frame
- 2) SPANDREL GLASS IN ALUMINUM FRAMES
 - 2a - clear glass match BM 2004-40 "Crystal Clear"
 - 2b - 1/4" clear glass match BM 2004-40 "Crystal Clear"
 - 2c - 1/4" clear glass match BM 2004-40 "Crystal Clear"
 - 2d - 1/4" clear glass match BM 2004-40 "Crystal Clear"
 - 2e - 1/4" clear glass match BM 2004-40 "Crystal Clear"
 - 2f - 1/4" clear glass match BM 2004-40 "Crystal Clear"
 - 2g - 1/4" clear glass match BM 2004-40 "Crystal Clear"
 - 2h - 1/4" clear glass match BM 2004-40 "Crystal Clear"
 - 2i - 1/4" clear glass match BM 2004-40 "Crystal Clear"
 - 2j - 1/4" clear glass match BM 2004-40 "Crystal Clear"
 - 2k - 1/4" clear glass match BM 2004-40 "Crystal Clear"
 - 2l - 1/4" clear glass match BM 2004-40 "Crystal Clear"
 - 2m - 1/4" clear glass match BM 2004-40 "Crystal Clear"
 - 2n - 1/4" clear glass match BM 2004-40 "Crystal Clear"
 - 2o - 1/4" clear glass match BM 2004-40 "Crystal Clear"
 - 2p - 1/4" clear glass match BM 2004-40 "Crystal Clear"
 - 2q - 1/4" clear glass match BM 2004-40 "Crystal Clear"
 - 2r - 1/4" clear glass match BM 2004-40 "Crystal Clear"
 - 2s - 1/4" clear glass match BM 2004-40 "Crystal Clear"
 - 2t - 1/4" clear glass match BM 2004-40 "Crystal Clear"
 - 2u - 1/4" clear glass match BM 2004-40 "Crystal Clear"
 - 2v - 1/4" clear glass match BM 2004-40 "Crystal Clear"
 - 2w - 1/4" clear glass match BM 2004-40 "Crystal Clear"
 - 2x - 1/4" clear glass match BM 2004-40 "Crystal Clear"
 - 2y - 1/4" clear glass match BM 2004-40 "Crystal Clear"
 - 2z - 1/4" clear glass match BM 2004-40 "Crystal Clear"
- 3) METAL SPANDREL IN ALUMINUM FRAMES
 - 3a - dark grey match BM 2133-20 "Black-Jack"
 - 3b - white
 - 3c - silver
- 4) PAINTED CONCRETE
 - 4a - white
 - 4b - clear coat
- 5) GUARDRAILS
 - 5a - dark grey alum. frame w/ clear lense, glass
 - 5b - silver alum. frame w/ clear lense, glass
 - 5c - white alum. frame w/ clear lense, glass
- 6) PRIVACY SCREEN
 - 6a - translucent white lense, glass
 - 6b - dark grey alum. frame & grille
 - 6c - translucent lense, glass
- 7) OVERHEAD GARAGE DOOR
 - 7a - dark grey
- 8) STEEL & GLASS CANOPY
 - 8a - medium grey frame match BM 2133-50 "Pigeon Gray"
 - 8b - dark grey frame match BM 2133-20 "Black-Jack"
 - 8c - white
- 9) METAL LOUIRE
 - 9a - dark grey match BM 2133-20 "Black-Jack"
 - 9b - white
- 10) TRELLIS
 - 10a - painted lense
- 11) METAL PANEL
 - 11a - dark grey match BM 2004-40 "Crystal Clear"
 - 11b - green match BM 2004-50 "Green Fields"
 - 11c - green match BM 2004-40 "Crystal Clear"
 - 11d - green match BM 2004-50 "Green Fields"
 - 11e - green match BM 2004-40 "Crystal Clear"
 - 11f - medium grey match BM 2133-50 "Pigeon Gray"
 - 11g - dark grey match BM 2133-20 "Black-Jack"
 - 11h - white
- 12) SOLAR SCREEN
 - 12a - white frame
 - 12b - dark grey frame match BM 2133-20 "Black-Jack"
 - 12c - dark grey frame match BM 2133-20 "Black-Jack"
- 13) TRANSLUCENT GLASS RM
 - 13a - 10d



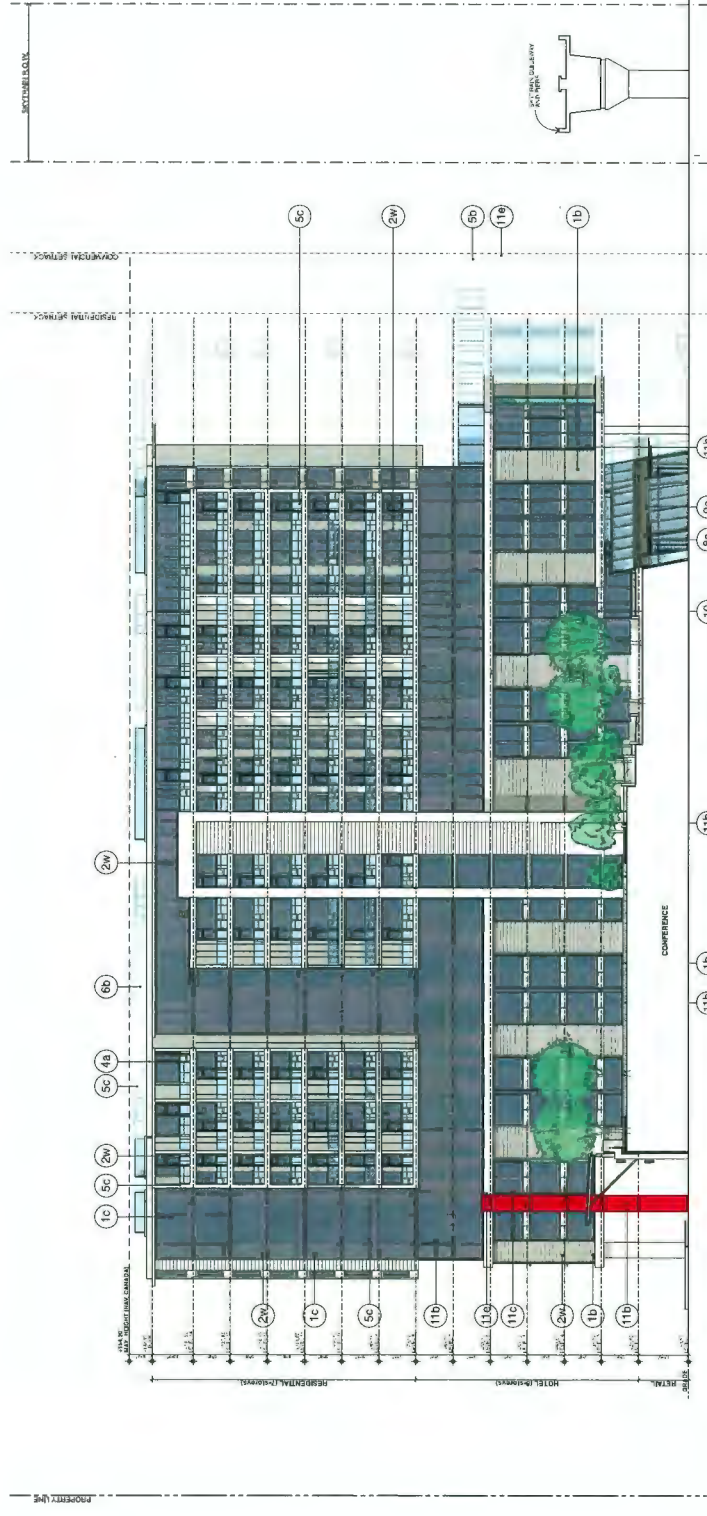
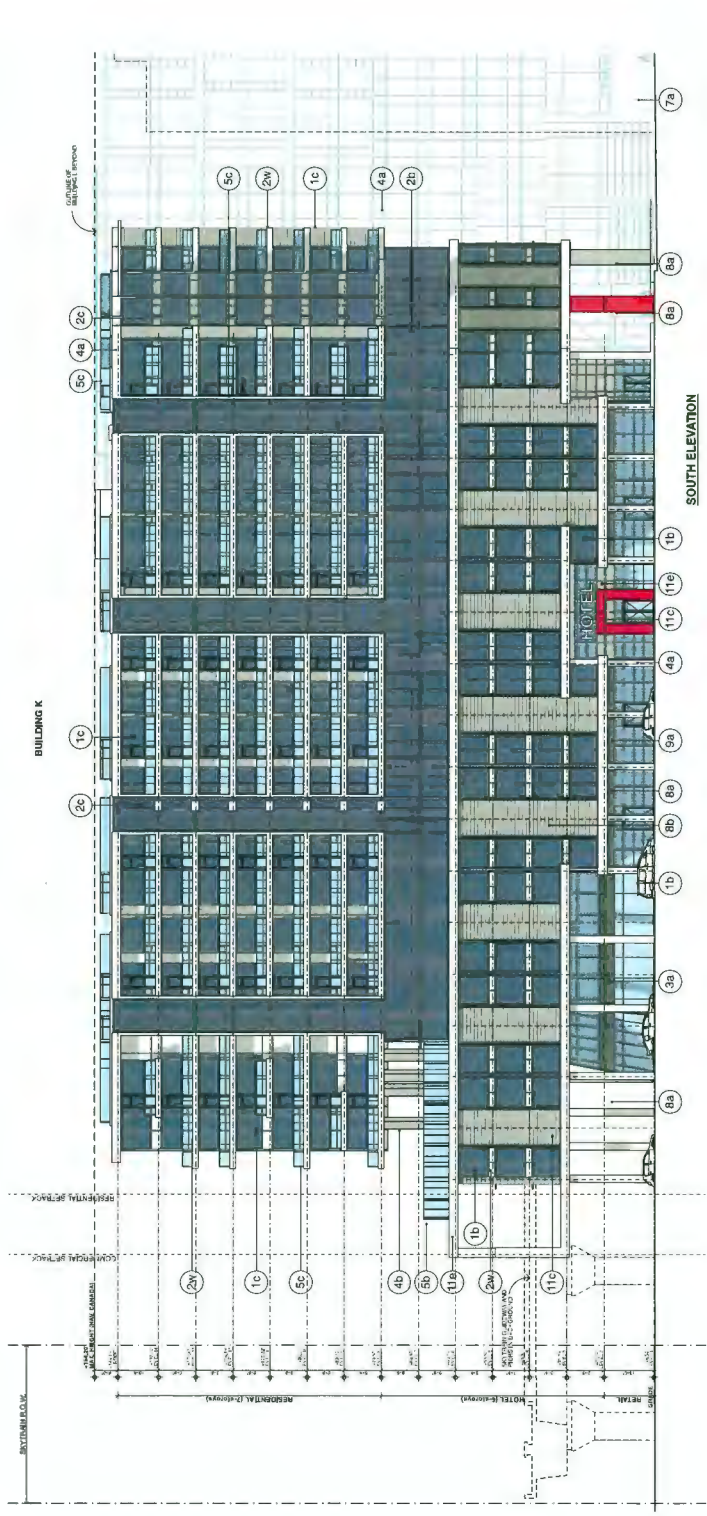
PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

NO.	REV.	DATE	BY	CHKD.	APP.
1					
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ELEVATIONS:		DRAWING NUMBER	
BUILDING J		PLAN #	
SCALE	DATE	BY	CHKD.
1/16" = 1'-0"			
		PROJECT	
		7b	

LIST OF MATERIALS

- 1) GLAZING IN ALUMINUM FRAMES
 - 1a - silver frame; clear insulating aluminum
 - 1b - dark grey frame; match BM 2133 "Black-Jack"
 - 1c - white frame
- 2) SPANDREL GLASS IN ALUMINUM FRAMES
 - 2a - silver frame; clear insulating aluminum
 - 2b - dark grey frame; match BM 2133 "Black-Jack"
 - 2c - white frame
- 3) METAL SPANDREL IN ALUMINUM FRAMES
 - 3a - dark grey; match BM 2133-20 "Black-Jack"
 - 3b - silver
 - 3c - white
- 4) PAINTED CONCRETE
 - 4a - white
 - 4b - clear sealer
- 5) GUARDRAILS
 - 5a - dark grey alum. frame w/ clear temp. glass
 - 5b - silver alum. frame w/ clear temp. glass
 - 5c - white alum. frame w/ clear temp. glass
- 6) PRIVACY SCREEN
 - 6a - dark grey alum. frame w/ translucent white temp. glass
 - 6b - silver alum. frame w/ translucent white temp. glass
 - 6c - transparent temp. glass
- 7) OVERHEAD GARAGE DOOR
 - 7a - dark grey
- 8) STEEL & GLASS CANOPY
 - 8a - medium grey frame; match BM 2133-50 "Pigeon Grey"
 - 8b - dark grey frame; match BM 2133-20 "Black-Jack"
 - 8c - white
- 9) METAL LOUVRE
 - 9a - dark grey; match BM 2133-20 "Black-Jack"
 - 9b - silver
 - 9c - white
- 10) TRELLIS
 - 10a - stained timber
- 11) METAL PANEL
 - 11a - green; match BM 2054-10 "Crown Green"
 - 11b - green; match BM 2054-50 "Crown Green"
 - 11c - green; match BM 2054-40 "Crown Green"
 - 11d - green; match BM 2054-20 "Crown Green"
 - 11e - medium grey; match BM 2133-50 "Pigeon Grey"
 - 11f - dark grey; match BM 2133-20 "Black-Jack"
 - 11g - white
- 12) SOLAR SCREEN
 - 12a - white frame
 - 12b - silver frame
 - 12c - dark grey frame; match BM 2133-20 "Black-Jack"
- 13) TRANSLUCENT GLASS RN
 - 13a - red



PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

NO.	REVISION / NUMBER	DATE
1	ISSUE FOR PERMIT	2024.08.15
2	ISSUE FOR PERMIT	2024.08.15
3	ISSUE FOR PERMIT	2024.08.15
4	ISSUE FOR PERMIT	2024.08.15
5	ISSUE FOR PERMIT	2024.08.15
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100	ISSUE FOR PERMIT	2024.08.15

ELEVATIONS: BUILDING K

ALL DIMENSIONS SHALL BE VERIFIED ON SITE

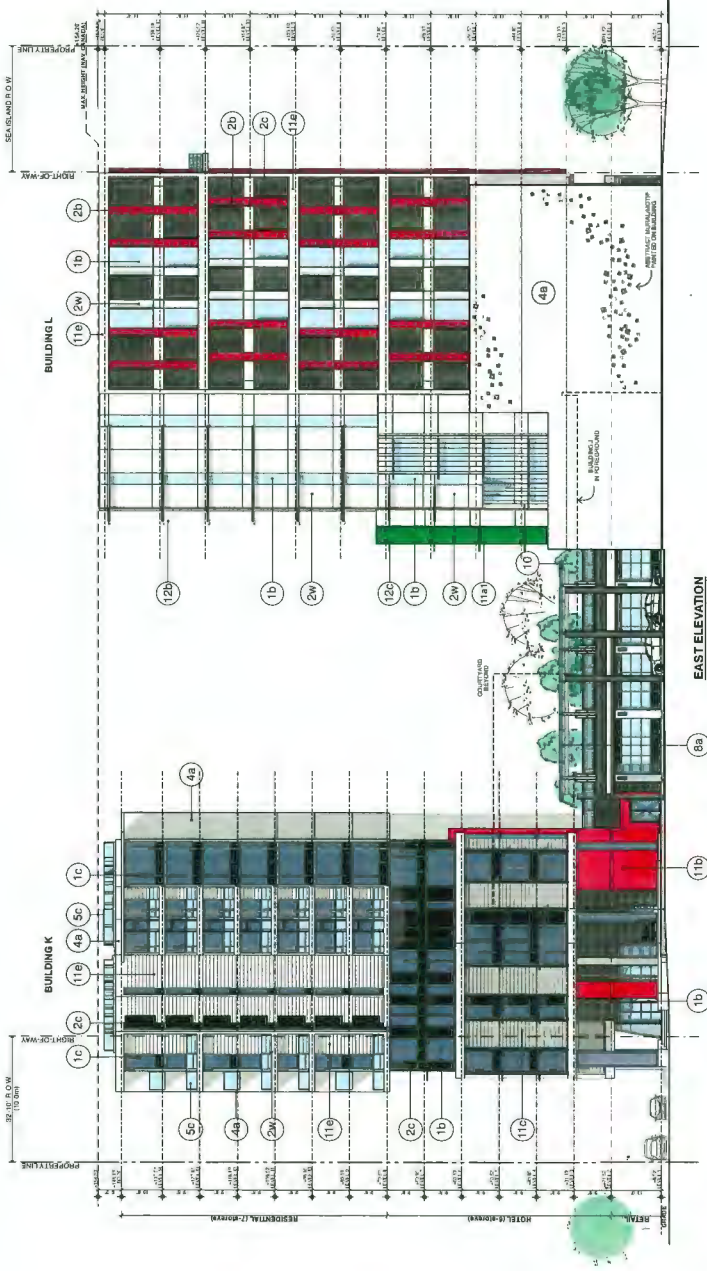
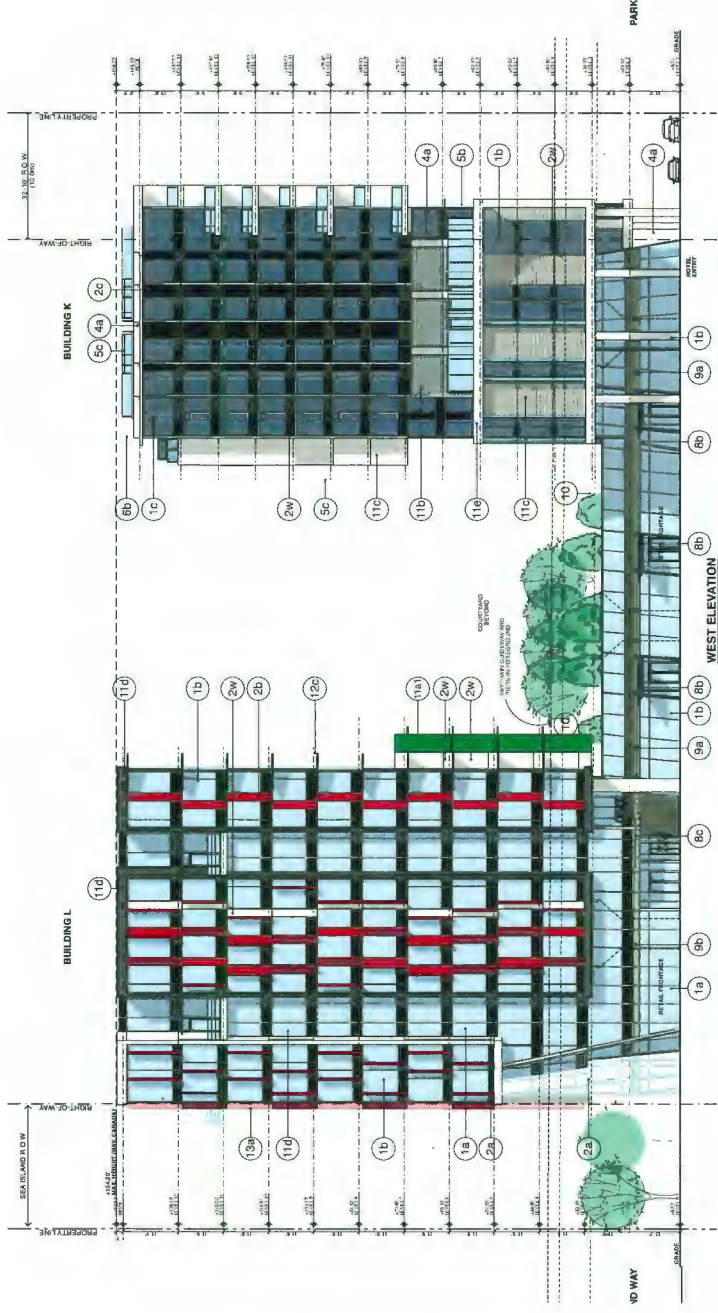
DATE: 2024.08.15

SCALE: 1/16" = 1'-0"

PLAN # 7C

LIST OF MATERIALS

- 1 GLAZING IN ALUMINUM FRAMES
 - 1a - dark grey frame: match BM 2133 "Black-Jack"
 - 1b - white frame
 - 1c - white frame
- 2 SPANDREL GLASS IN ALUMINUM FRAMES
 - 2a - light blue: match BM 2051-60 "Blue's Egg"
 - 2b - clear: match BM 2051-60 "Black-Jack"
 - 2c - clear: match BM 2133-20 "Black-Jack"
 - 2d - white: match BM 2133-20 "Black-Jack"
- 3 METAL SPANDREL IN ALUMINUM FRAMES
 - 3a - dark grey: match BM 2133-20 "Black-Jack"
 - 3b - white
 - 3c - silver
- 4 PAINTED CONCRETE
 - 4a - white
 - 4b - clear sealers
- 5 QUADRANTS
 - 5a - dark grey alum. frame w/ clear temp. glass
 - 5b - white alum. frame w/ clear temp. glass
 - 5c - white alum. frame w/ clear temp. glass
- 6 PRIVACY SCREEN
 - 6a - dark grey alum. frame w/ translucent white temp. glass
 - 6b - dark grey alum. frame & grille
 - 6c - translucent temp. glass
- 7 OVERHEAD GARAGE DOOR
 - 7a - dark grey
- 8 STEEL & GLASS CANOPY
 - 8a - medium grey frame: match BM 2133-50 "Pigeon Gray"
 - 8b - dark grey frame: match BM 2133-20 "Black-Jack"
 - 8c - white frame: match BM 2133-20 "Black-Jack"
- 9 METAL LOUVER
 - 9a - dark grey: match BM 2133-20 "Black-Jack"
 - 9b - silver
- 10 TRELLIS
 - 10a - stained timber
- 11 METAL PANEL
 - 11a - green: match BM 2034-10 "Clever Green"
 - 11b - green: match BM 2034-30 "Grassy Field"
 - 11c - green: match BM 2034-40 "Crispy Field"
 - 11d - green: match BM 2034-50 "Clear Green"
 - 11e - red: match BM 2051-10 "Red Rock"
 - 11f - medium grey: match BM 2133-50 "Pigeon Gray"
 - 11g - dark grey: match BM 2133-20 "Black-Jack"
 - 11h - white
- 12 SOLAR SCREEN
 - 12a - white frame
 - 12b - white frame
 - 12c - white frame
 - 12d - dark grey frame: match BM 2133-20 "Black-Jack"
- 13 TRANSLUCENT GLASS FIN
 - 13a - 760



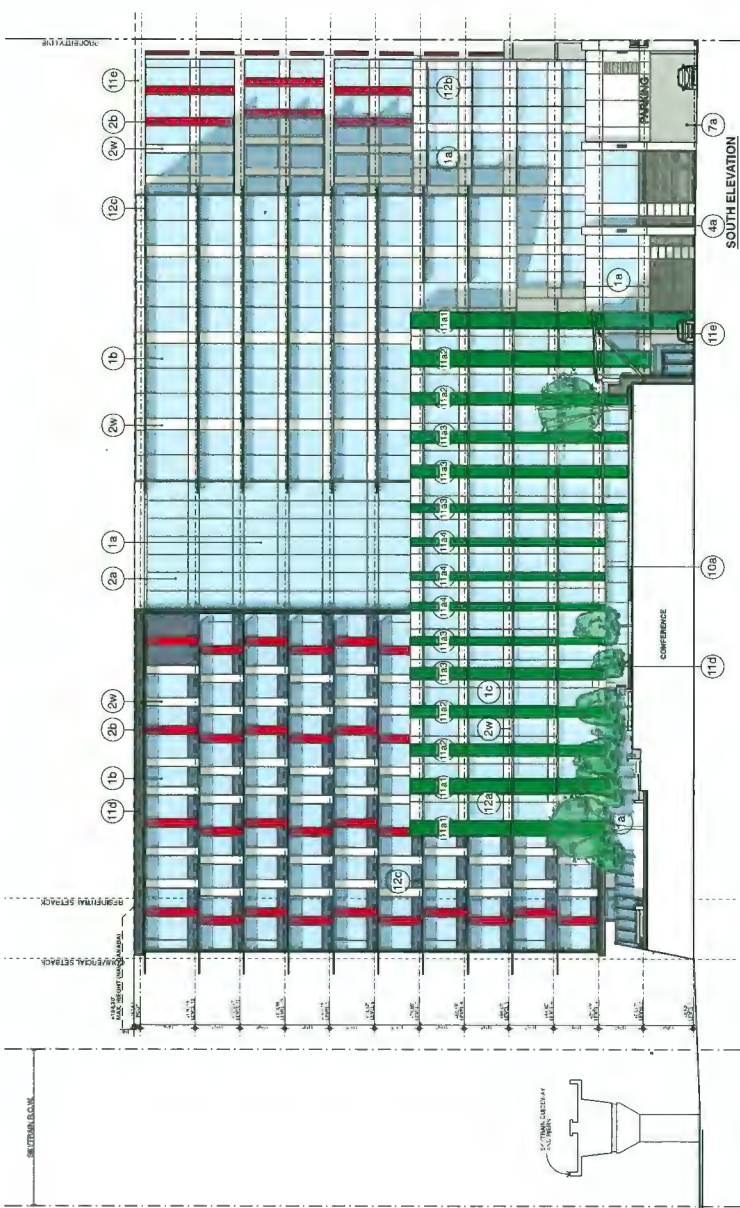
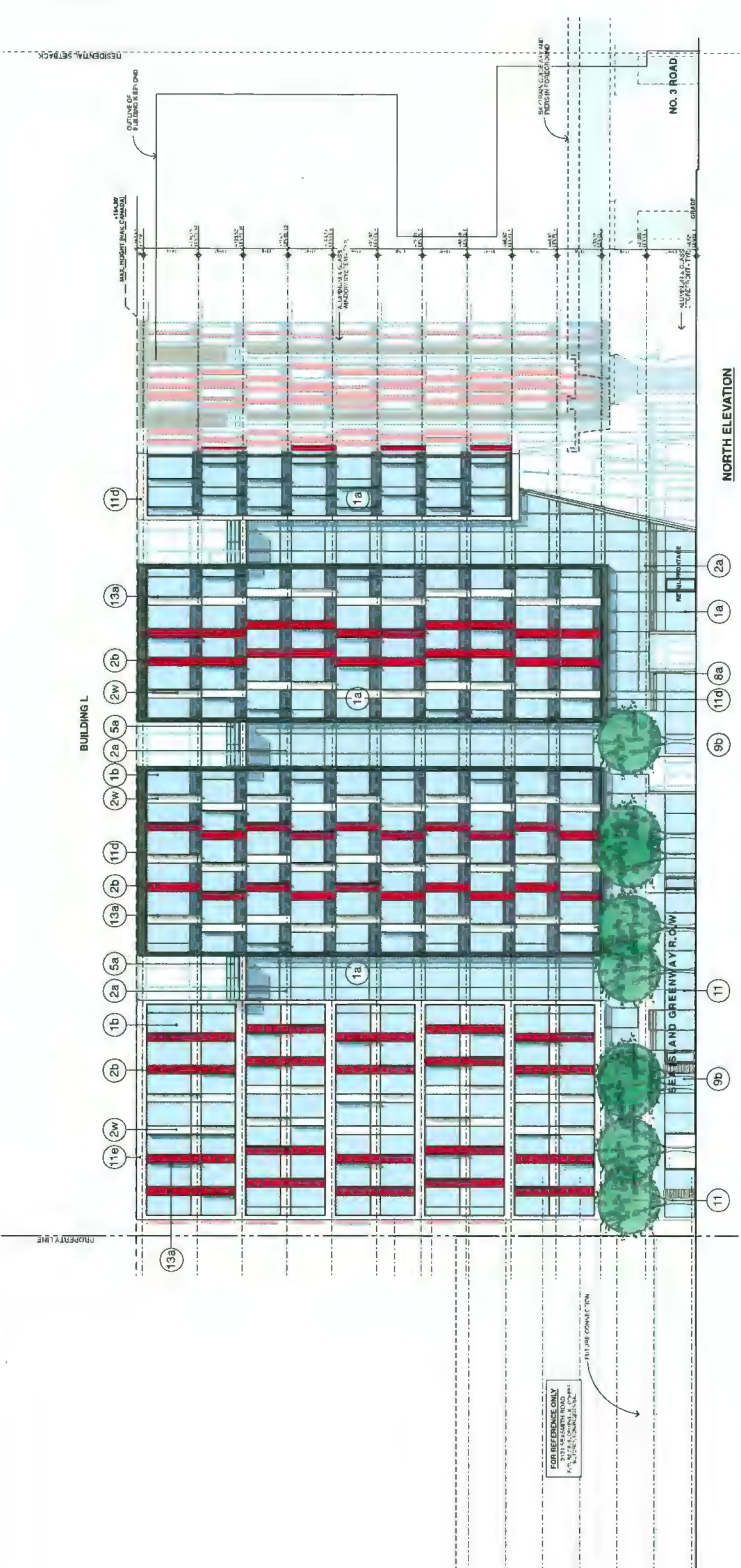
PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	
2	REVISED FOR PERMIT	
3	REVISED FOR PERMIT	
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ELEVATIONS: BUILDING K/L	
PROJECT #	1706
DATE	11/16/21
SCALE	AS SHOWN
DESIGNER	ARCHITECT
CLIENT	PINNACLE LIVING
PROJECT NAME	PINNACLE LIVING @ CAPSTAN VILLAGE
PLAN #	7d

LIST OF MATERIALS

- 1) GLAZING IN ALUMINUM FRAMES
 - 1a - silver frame, clear anodized aluminum
 - 1b - dark grey frame, match BM 2133 "Black-Jack"
 - 1c - white frame
- 2) SPANDREL GLASS IN ALUMINUM FRAMES
 - 2a - clear glass, match BM 2133 "Black-Jack"
 - 2b - tint match BM 2004-10 "Deep Rose"
 - 2c - dark grey, match BM 2133-20 "Black-Jack"
 - 2d - white
- 3) METAL SPANDREL IN ALUMINUM FRAMES
 - 3a - dark grey, match BM 2133-20 "Black-Jack"
 - 3b - silver
 - 3c - white
- 4) PAINTED CONCRETE
 - 4a - white
 - 4b - clear render
- 5) GUARDRAILS
 - 5a - dark grey alum. frame w/ clear lmpg. glass
 - 5b - silver alum. frame w/ clear lmpg. glass
 - 5c - white alum. frame w/ clear lmpg. glass
- 6) PRIVACY SCREEN
 - 6a - dark grey alum. frame w/ translucent white lmpg. glass
 - 6b - silver alum. frame w/ translucent white lmpg. glass
 - 6c - transparent lmpg. glass
- 7) OVERHEAD GARAGE DOOR
 - 7a - dark grey
- 8) STEEL & GLASS CANOPY
 - 8a - medium grey frame, match BM 2133-20 "Black-Jack"
 - 8b - dark grey frame, match BM 2133-20 "Black-Jack"
 - 8c - white
- 9) METAL LOUVRE
 - 9a - dark grey, match BM 2133-20 "Black-Jack"
 - 9b - silver
- 10) TRELLIS
 - 10a - stained timber
- 11) METAL PANEL
 - 11a - green, match BM 2004-10 "Crown Green"
 - 11b - green, match BM 2004-10 "Crown Green"
 - 11c - green, match BM 2004-10 "Crown Green"
 - 11d - green, match BM 2004-10 "Crown Green"
 - 11e - red, match BM 2005-10 "Red Rock"
 - 11f - red, match BM 2005-10 "Red Rock"
 - 11g - red, match BM 2005-10 "Red Rock"
 - 11h - dark grey, match BM 2133-20 "Black-Jack"
 - 11i - dark grey, match BM 2133-20 "Black-Jack"
 - 11j - white
- 12) SOLAR SCREEN
 - 12a - white frame
 - 12b - silver frame
 - 12c - dark grey frame, match BM 2133-20 "Black-Jack"
- 13) TRANSLUCENT GLASS FN
 - 13a - red



PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

NO.	ISSUED / REVIEW	DATE
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2	REVISED	2024.02.01
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ELEVATIONS: BUILDING L

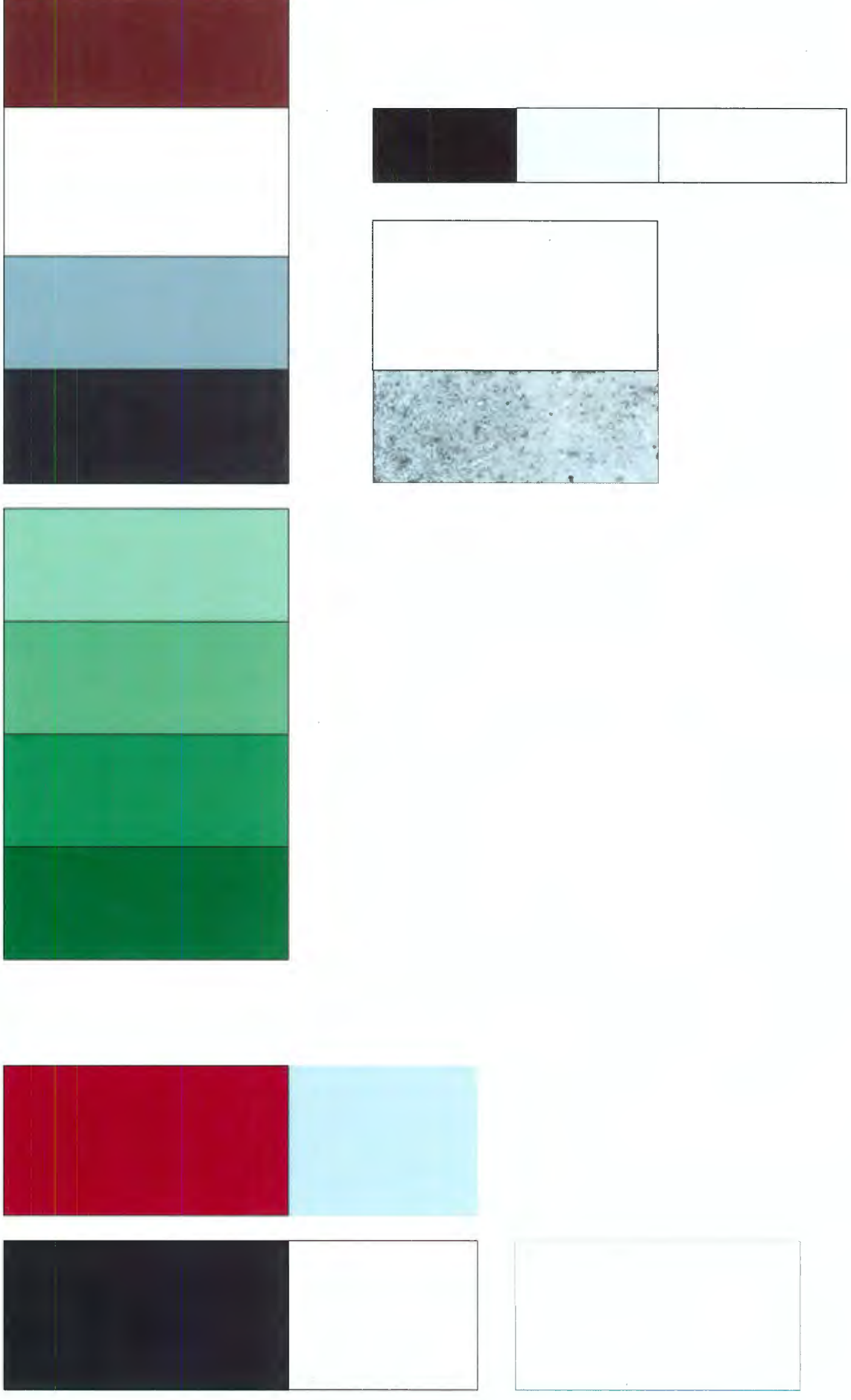
SCALE: 1/8" = 1'-0"

DATE: 2024.01.15

PLAN # 7e

LIST OF MATERIALS

- 1) GLAZING IN ALUMINIUM FRAMES
 - 1a - silver frame; clear encased aluminum
 - 1b - dark grey frame; match BM 2133 "Black-Jack"
 - 1c - white frame
- 2) SPANDREL GLASS IN ALUMINIUM FRAMES
 - 2a - clear glass; match BM 2054 "Crystal Clear"
 - 2b - red; match BM 2054-10 "Deep Forest"
 - 2c - dark grey; match BM 2133-20 "Black-Jack"
 - 2d - white
- 3) METAL SPANDREL IN ALUMINIUM FRAMES
 - 3a - dark grey; match BM 2133-20 "Black-Jack"
 - 3b - silver
 - 3c - white
- 4) PAINTED CONCRETE
 - 4a - white
 - 4b - clear steel
- 5) GUARDRAILS
 - 5a - clear grey alum. frame w/ clear lens, glass
 - 5b - silver alum. frame w/ clear lens, glass
 - 5c - white alum. frame w/ clear lens, glass
 - 5d - dark grey alum. frame & grille
- 6) PRIVACY SCREEN
 - 6a - translucent white lens, glass
 - 6b - translucent lens, glass
- 7) OVERHEAD GARAGE DOOR
 - 7a - dark grey
- 8) STEEL & GLASS CANOPY
 - 8a - medium grey frame; match BM 2133-50 "Pigeon Grey"
 - 8b - dark grey frame; match BM 2133-50 "Black-Jack"
 - 8c - white
- 9) METAL LOUIRE
 - 9a - dark grey; match BM 2133-20 "Black-Jack"
 - 9b - silver
- 10) TELLUR
 - 10a - stained timber
- 11) METAL PANEL
 - 11a - green; match BM 2054-10 "Crystal Clear"
 - 11b - green; match BM 2054-20 "Crystal Clear"
 - 11c - green; match BM 2054-40 "Crystal Clear"
 - 11d - green; match BM 2054-50 "Crystal Clear"
 - 11e - green; match BM 2054-60 "Crystal Clear"
 - 11f - green; match BM 2054-70 "Crystal Clear"
 - 11g - green; match BM 2054-80 "Crystal Clear"
 - 11h - green; match BM 2054-90 "Crystal Clear"
 - 11i - medium grey; match BM 2133-50 "Pigeon Grey"
 - 11j - dark grey; match BM 2133-20 "Black-Jack"
 - 11k - white
- 12) SOLAR SCREEN
 - 12a - white frame
 - 12b - silver frame
 - 12c - dark grey frame; match BM 2133-20 "Black-Jack"
- 13) TRANSLUCENT GLASS FN
 - 13a - red



PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

NO.	DATE / REVISION	DATE
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11	ISSUE FOR PERMIT	2024.08.14
12	ISSUE FOR PERMIT	2024.08.14
13	ISSUE FOR PERMIT	2024.08.14
14	ISSUE FOR PERMIT	2024.08.14
15	ISSUE FOR PERMIT	2024.08.14
16	ISSUE FOR PERMIT	2024.08.14
17	ISSUE FOR PERMIT	2024.08.14
18	ISSUE FOR PERMIT	2024.08.14
19	ISSUE FOR PERMIT	2024.08.14
20	ISSUE FOR PERMIT	2024.08.14

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ARCHITECTS
 1111 14th Street, Suite 100
 Vancouver, BC V6Z 1Y1
 TEL: 604.681.1111
 FAX: 604.681.1112
 WWW: WWW.BINGHAMHILL.COM

BUILDING MATERIALS & COLOUR SAMPLES

SCALE: 1/8" = 1'-0"

DATE: 2024.08.14

PROJECT: 1708

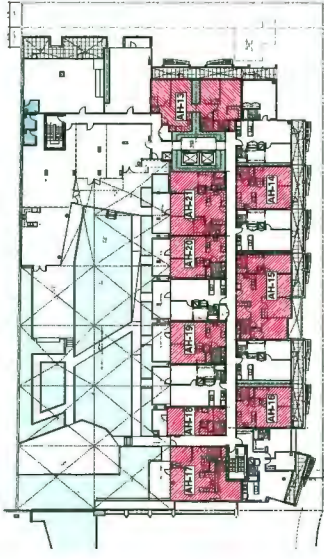
PLAN # 8a

ALL DIMENSIONS SHALL BE VERIFIED ON SITE

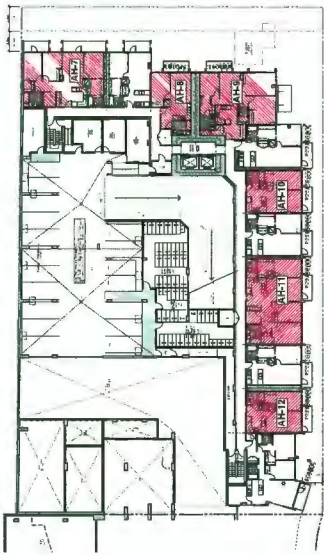
AFFORDABLE HOUSING SUMMARY

REF. #	LEVEL	UNIT TYPE	BUH UNIT (1)	PERMANENT AREA (sq. ft.)	# of UNITS	TOTAL HABITABLE AREA (sq. ft.)
AH-1	1	2BED	YES	73.1		
AH-2		3BED	YES	62.3		
AH-3		1BED	YES	53.3		
AH-4		3BED	YES	108.7		
AH-5		1BED	YES	57.2		
AH-6		1BED	YES	51.4		
AH-7	2	3BED	YES	100.5		
AH-8		1BED	YES	50.6		
AH-9		3BED	YES	104.3		
AH-10		1BED	YES	55.3		
AH-11		3BED	YES	108.7		
AH-12		1BED	YES	51.4		
AH-13	3	3BED	YES	91.5		
AH-14		1BED	YES	53.3		
AH-15		3BED	YES	108.7		
AH-16		1BED	YES	51.4		
AH-17		2BED	YES	73.8		
AH-18		BACH	YES	37.4		
AH-19	4	1BED	YES	51.8		
AH-20		1BED	YES	51.8		
AH-21		2BED	YES	77.8		
AH-22		2BED	YES	81.3		
AH-23		3BED	YES	99.3		
AH-24		3BED	YES	91.5		
AH-25	5	1BED	YES	53.3		
AH-26		3BED	YES	108.7		
AH-27		1BED	YES	51.4		
AH-28		2BED	YES	68.4		
AH-29		BACH	YES	37.4		
AH-30		1BED	YES	51.8		
AH-31	5	1BED	YES	51.8		
AH-32		2BED	YES	77.8		
AH-33		3BED	YES	81.3		
AH-34		3BED	YES	99.3		
AH-35		3BED	YES	91.5		
AH-36		3BED	YES	108.6		
AH-37	5	2BED	YES	76.1		
AH-38		3BED	YES	91.7		
AH-39		1BED	YES	51.8		
AH-40		1BED	YES	51.8		
AH-41	2BED	YES	77.8			
					41	3,007.1

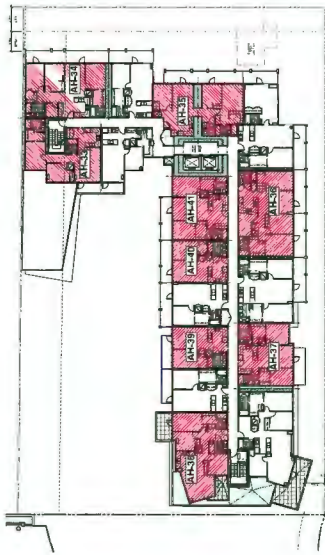
(1) "BUH Unit" means Basic Universal Housing (BUH) unit and shall be designed and constructed to comply with all applicable Richmond Zoning Bylaw requirements.



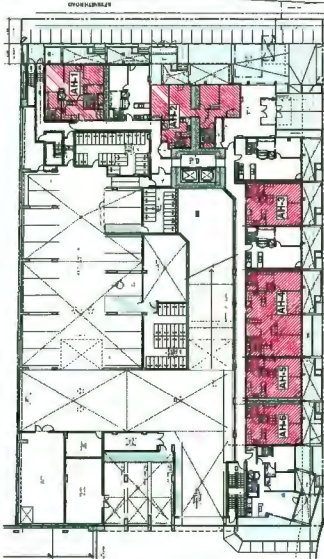
BUILDING J - LEVEL 3



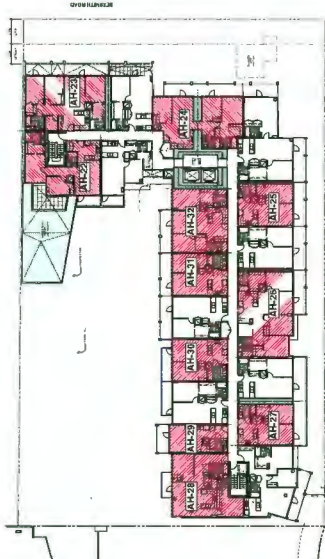
BUILDING J - LEVEL 2



BUILDING J - LEVEL 5



BUILDING J - LEVEL 1



BUILDING J - LEVEL 4

AFFORDABLE HOUSING KEY PLANS

PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

NO.	NAME / NUMBER	DATE
1	DESIGN/REVIEW	
2	DESIGN/REVIEW	
3	DESIGN/REVIEW	
4	DESIGN/REVIEW	
5	DESIGN/REVIEW	
6	DESIGN/REVIEW	
7	DESIGN/REVIEW	
8	DESIGN/REVIEW	
9	DESIGN/REVIEW	
10	DESIGN/REVIEW	

AFFORDABLE HOUSING KEY PLANS
 ALL DIMENSIONS SHALL BE METRIC UNITS

PROJECT #	1706
SCALE	1" = 20'
PLAN #	11a-1

FROM CITY OF RICHMOND
Section 4: General Development Regulations

4.16 Basic Universal Housing Features

- Purpose**
- 4.16.1 The basic universal housing features described in Section 4.16 are intended to facilitate ready access, use and occupancy of a dwelling unit by a person with a disability.
- Building Access**
- 4.16.2 Each dwelling unit and each type of amenity space shall be accessible to a person with a disability from a road and from an on-site parking area.
- 4.16.3 Access to the elevator shall be provided from both the road and the entry to the on-site parking area.
- 4.16.4 An automatic door opener shall be provided for the main entry.
- Doors and Doorways**
- 4.16.5 The minimum clear opening for all entry doors to every dwelling unit and doors in common bathroom and to common living areas shall be no less than 850.0 mm (which will be provided by a swing door).^{(B4.16.5.1) (See 9/2/22)}
- 4.16.6 The minimum clear opening for the interior doors to at least one bedroom, one accessible bathroom and to common living areas in every dwelling unit shall be no less than 800.0 mm (which will be provided by a swing door).^{(B4.16.6.1) (See 9/2/22)}
- 4.16.7 Doors in every dwelling unit and common areas shall be operable by devices that do not require light grasping or twisting of wrist.
- 4.16.8 Flush thresholds throughout the building shall be a maximum of 13.0 mm in height.
- 4.16.9 The above-noted requirements for doors do not apply to mechanical rooms, service areas, closets, etc. where through access is not required and access to a person with a disability is not anticipated.
- 4.16.10 Clear openings shall be measured as illustrated in Figure 1 below.

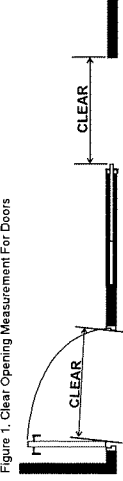
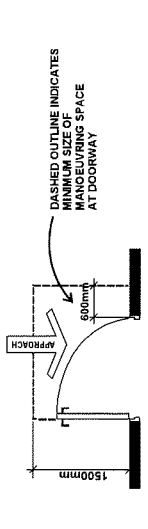


Figure 1. Clear Opening Measurement For Doors

Manoeuvring Space at Doorways

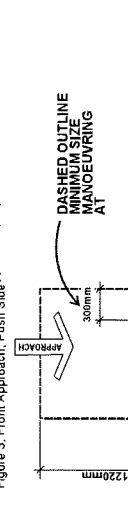
- 4.16.11 Entry doors to every dwelling unit and door assemblies in common areas shall have a clear and level area which is not less than the following:
- Where the door swings toward the area (push door), 1500.0 mm long by the width of the door plus at least 300.0 mm clear space on the latch side, as illustrated in Figure 2 below. This requirement to apply to door assemblies to one bathroom and one bedroom in 2 bedroom and larger dwelling units.^{(B4.16.11.1) (See 9/2/22)}

Figure 2. Front Approach, Push Side (B4.16.11.1) (See 9/2/22)



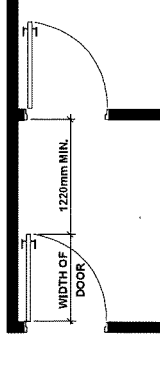
- Where the door swings away from the area (pull door), 1220.0 mm long by the width of the door plus at least 300.0 mm clear space on the latch side, as illustrated in Figure 3 below. This requirement to apply to door assemblies to common living areas in every dwelling unit, and one bathroom and one bedroom in 2 bedroom and larger dwelling units.^{(B4.16.11.2) (See 9/2/22)}

Figure 3. Front Approach, Pull Side (B4.16.11.2) (See 9/2/22)



- Where there are doors in a series in common areas, there must be separation of at least 1220.0 mm plus the width of the door, as illustrated in Figure 4 below.

Figure 4. Separation of Doors in Series



- Entry doors to every dwelling unit are exempted from the requirement to provide the 1220.0 mm long clear area and 300.0 mm or 600.0 mm clear space for width in living is provided for future conversion for an automatic door opener.^{(B4.16.11.3) (See 9/2/22)}

Corridor Widths

- 4.16.12 Common corridors shall be no less than 1220.0 mm wide and provide a clear area not less than 1500.0 mm by 1500.0 mm adjacent to the elevator entrance.^{(B4.16.12.1) (See 9/2/22)}

Floor Surfaces

- 4.16.13 Floor surfaces throughout the building shall have no abrupt changes in level, i.e., a maximum break of the flush threshold of 13.0 mm height. This requirement does not apply to exterior balcony, patio and deck door sills.^{(B4.16.13.1) (See 9/2/22)}
- 4.16.14 Floor surfaces shall be slip resistant.
- 4.16.15 Where carpets are used, they must be firmly fixed, have a firm underlay and pile under 13.0 mm height.

Windows

- 4.16.16 Windows which are accessible shall have a window sill height that does not exceed 750.0 mm above the floor to afford seated viewing. At least one window in the bedroom and one window in the living room shall afford such seated viewing.
- 4.16.17 Windows which are accessible shall have operating mechanisms operable with one hand and of a type that does not require light grasping, pinching or twisting of the unit.

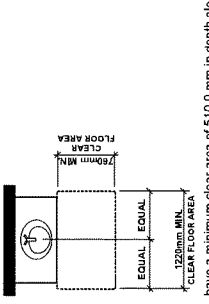
Outlets and Switches

- 4.16.18 Light switches and electrical panels shall be 900.0 mm to 1200.0 mm from the floor. Intercom buttons shall be a maximum 1375.0 mm from the floor.^{(B4.16.18.1) (See 9/2/22)}
- 4.16.19 Electrical outlets, cable outlets and telephone jacks shall be located 455.0 mm to 1200.0 mm from the floor.^{(B4.16.19.1) (See 9/2/22)}
- 4.16.20 Thermostats shall be located between 900.0 mm to 1200.0 mm from the floor.^{(B4.16.20.1) (See 9/2/22)}
- 4.16.21 The operable part of controls shall be located within reach of a clear floor area that has a width of not less than 750.0 mm.
- 4.16.22 Light switches will be rocker or paddle-type switches.

Bathrooms

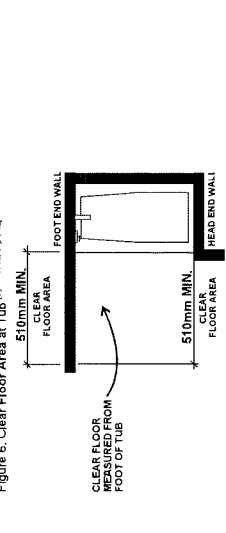
- 4.16.23 At least one bathroom shall:
- have a toilet positioned with the centre line of the toilet 420.0 mm to 480.0 mm from a side wall on which a grab bar can be installed and at least 510.0 mm from any obstruction on the non-grab bar side and at least 800.0 mm from any obstruction in front of the toilet; and^{(B4.16.23.1) (See 9/2/22)}
 - have a clear floor area at the sink of 760.0 mm by 1220.0 mm positioned for a parallel approach and centred on the sink, as illustrated in Figure 5 below.^{(B4.16.23.2) (See 9/2/22)}

Figure 5. Clear Floor Area at Sink



- have a minimum clear area of 510.0 mm in depth along the full length of the bathtub, as illustrated in Figure 6 below.^{(B4.16.23.3) (See 9/2/22)}

Figure 6. Clear Floor Area at Tub (B4.16.23.3) (See 9/2/22)



- have structural reinforcement in walls behind and beside the toilet and the walls around the tub and/or shower to facilitate the installation of grab bars; and
- include easy to grasp handles on faucets, e.g., lever-type faucets.

- 4.16.24 Where bathrooms are provided to serve a common amenity space, at least one shall be wheelchair accessible as described in the Building Code and the top of the rim of the toilet in that one bathroom shall be 480.0 mm above the floor.

Kitchens

- 4.16.25 The kitchen must have:
- some usable counter space and cupboards that can be easily accessed by people with disabilities, including people with wheelchairs, e.g., continuous counter between the stove and sink; adjustable shelves in all cabinets; pull-out work boards at 810.0 mm height; and pull-out cabinet shelves;
 - easy to grasp handles on faucets, e.g., lever-type faucets;
 - easy to reach and grasp handles on cupboards, e.g., D or J type cabinet handles and grab edges under counters;
 - task lighting at sink, stove and key work areas; and
 - plumbing and utility pipes located to provide for a potential 810.0 mm wide under counter workspace so as not to prevent the easy future conversion of counter space and sinks to being universally accessible for knee space under the sink and where there is a counter top stove built in.

Bedroom & Closet

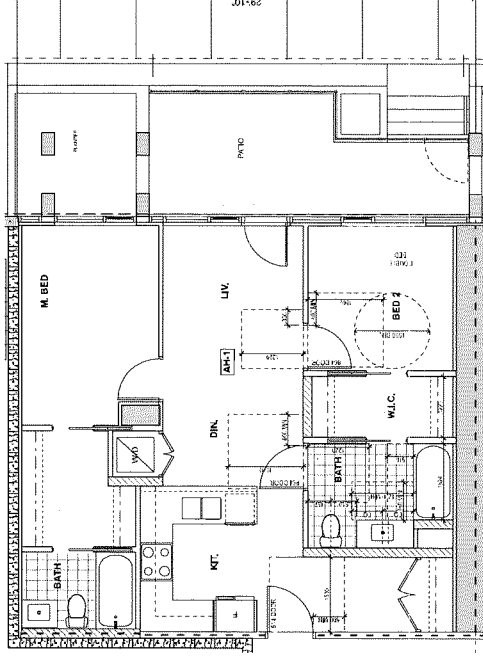
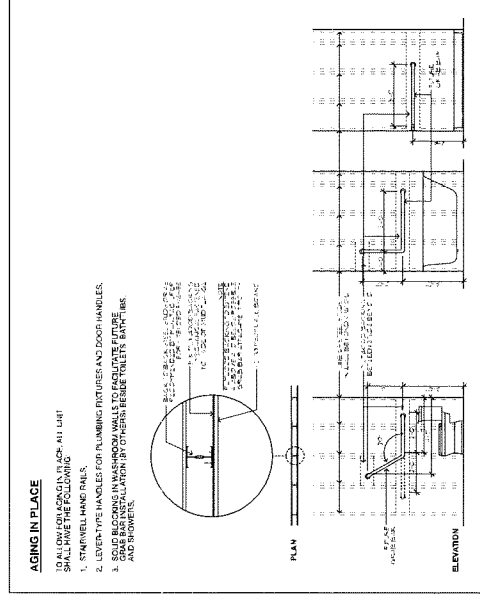
- 4.16.26 The space around a bed in a dwelling unit that consists of a bachelor suite and at least one bedroom in every other dwelling unit shall have sufficient space to provide a turning diameter of 1500.0 mm on one side of a double bed.
- 4.16.27 The clothes closet in a dwelling unit that consists of a bachelor suite and at least one bedroom in every other dwelling unit shall have a clear opening of at least 900.0 mm, clear floor space of at least 750.0 mm by 1200.0 mm and a clothes hanger rod that can be lowered to 1200.0 mm.

Patio and Balconies

- 4.16.28 Access doors shall have a minimum clear opening of 800.0 mm.^{(B4.16.28.1) (See 9/2/22)}
- 4.16.29 Minimum dimensions of any balcony or patio shall be 1500.0 mm by 1500.0 mm. This requirement does not apply to Juliet or French style of balcony or patio.^{(B4.16.29.1) (See 9/2/22)}

Section 4: General Development Regulations

TABLE 1.3



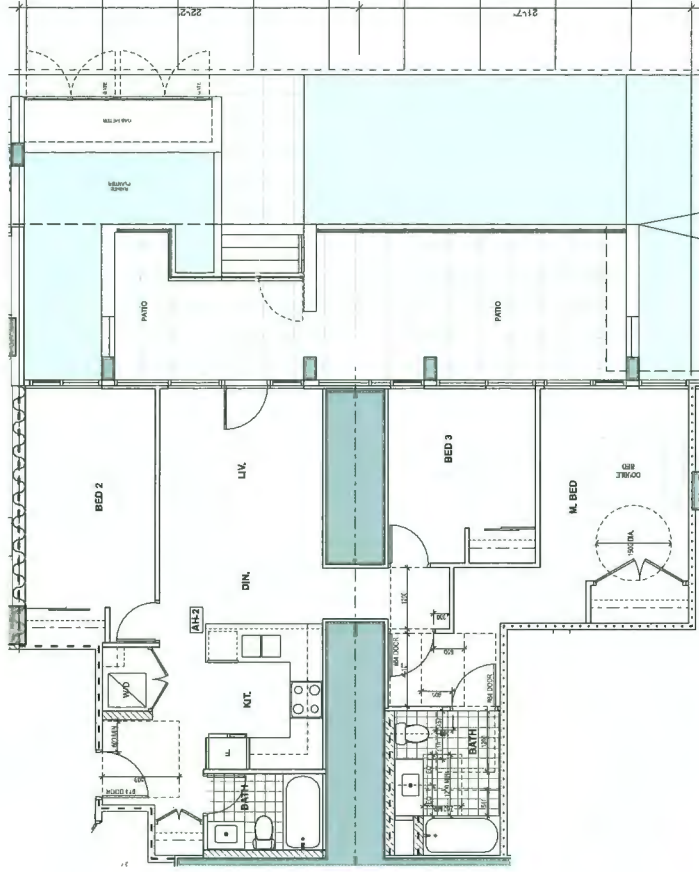
AH-1 - ONE REQ'D
 SCALE: 1/4" = 1'-0"

PINNACLE LIVING @ CAPSTAN VILLAGE
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 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

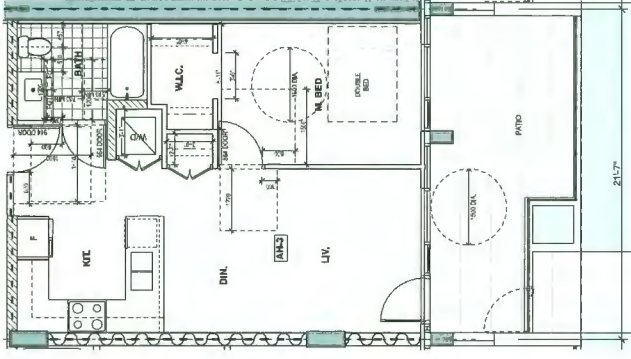
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6.	2022-04-07
7.	2022-04-07
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10.	2022-04-07

AFFORDABLE HOUSING UNIT PLANS

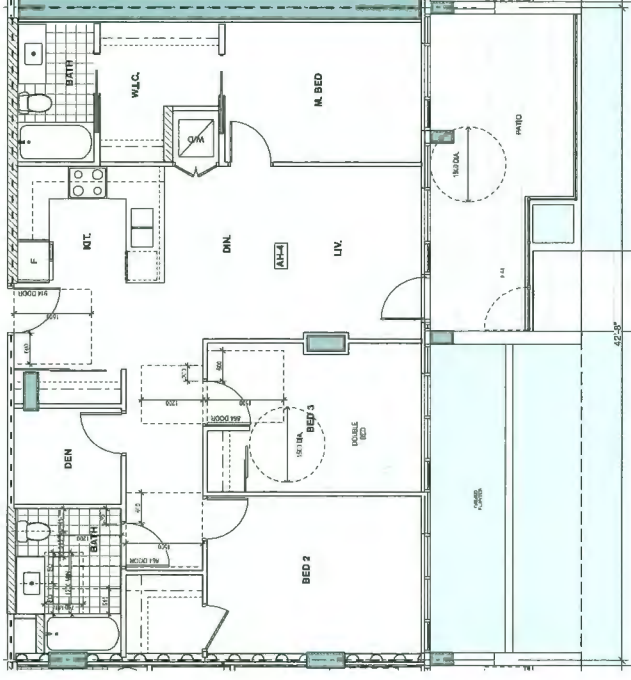
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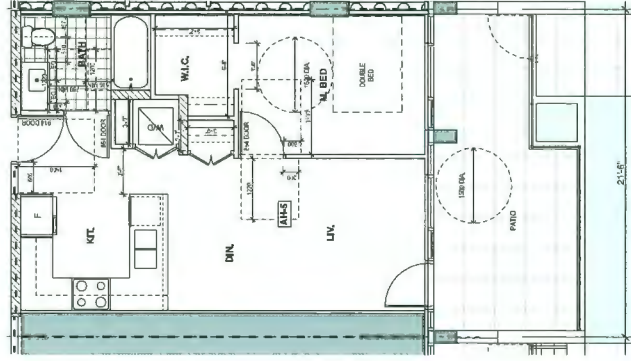
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AH-3, AH-9, AH-13, AH-24 - 4 REQ'D
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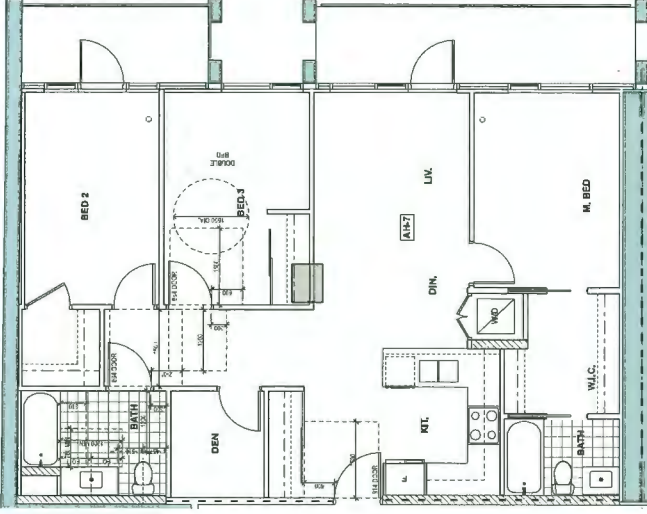
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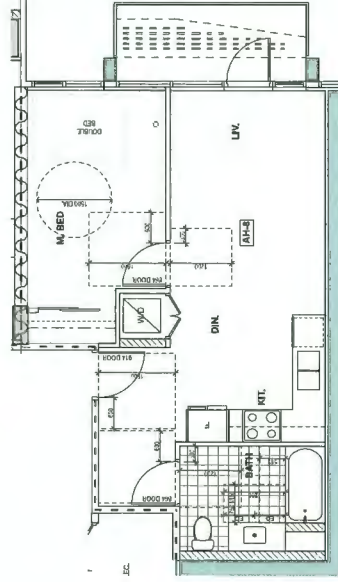
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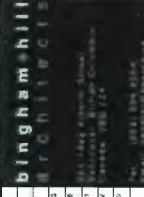


AH-7, AH-23, AH-34 - 3 REQ'D
SCALE: 1/8" = 1'-0"



AH-8 - ONE REQ'D
SCALE: 1/8" = 1'-0"

PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.



NO.	DESCRIPTION / REVISION	DATE
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2	ISSUED FOR PERMIT	
3	ISSUED FOR PERMIT	
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6	ISSUED FOR PERMIT	

AFFORDABLE HOUSING UNIT PLANS

NO.	DESCRIPTION	DATE
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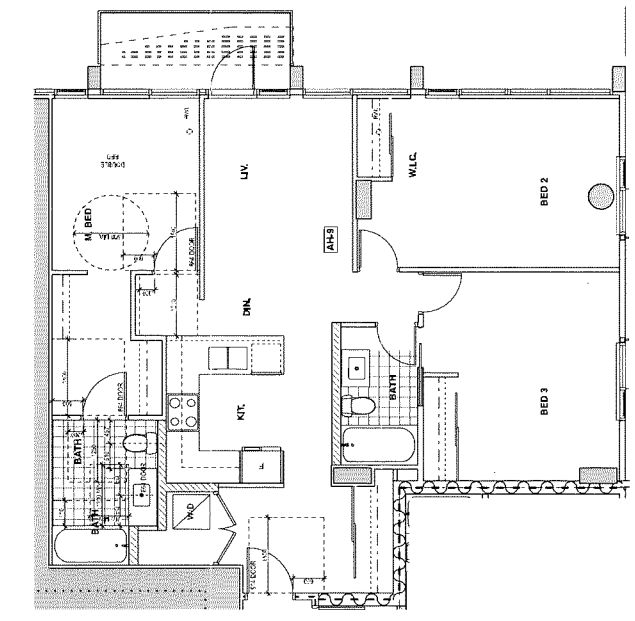
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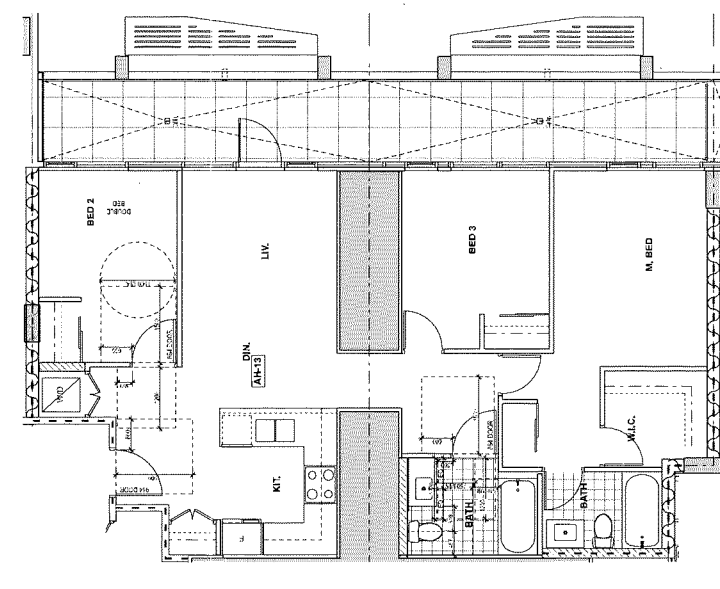
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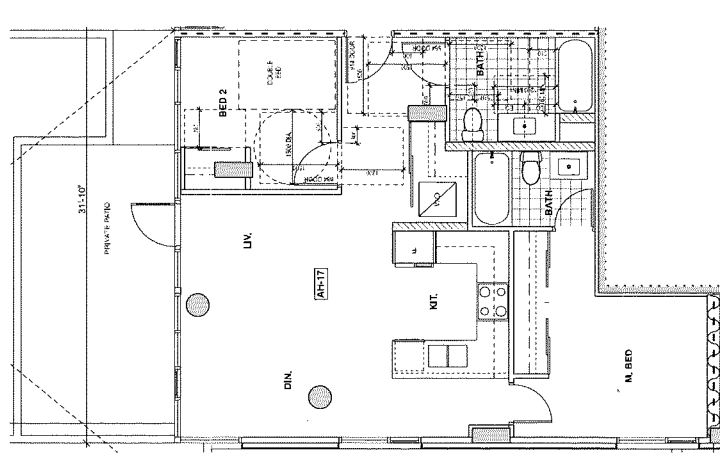
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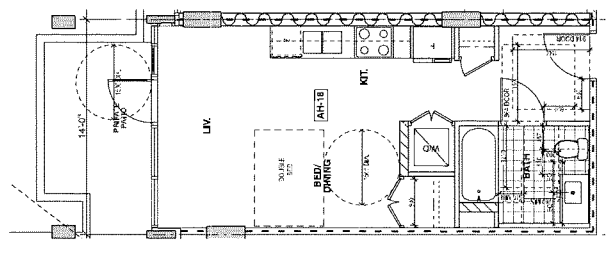
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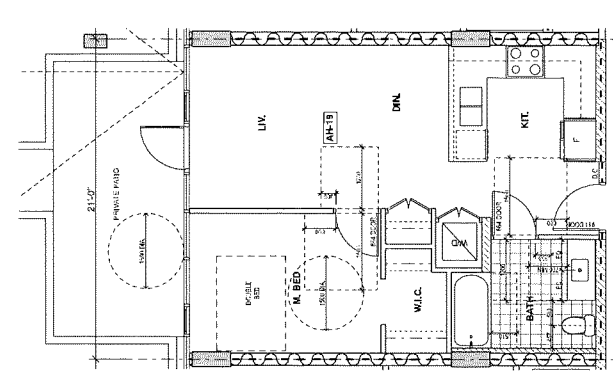
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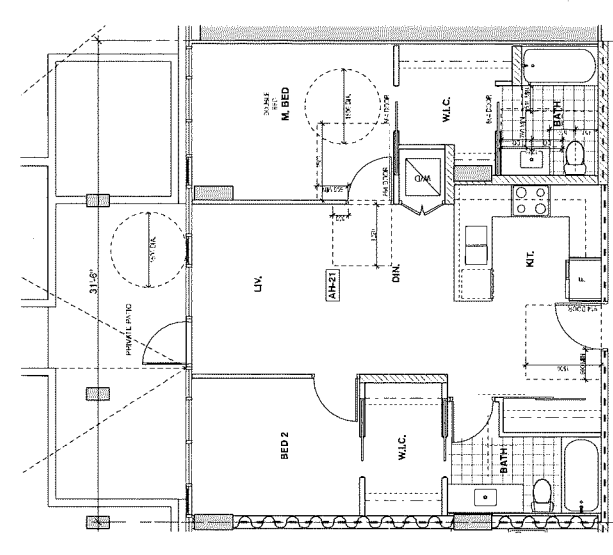
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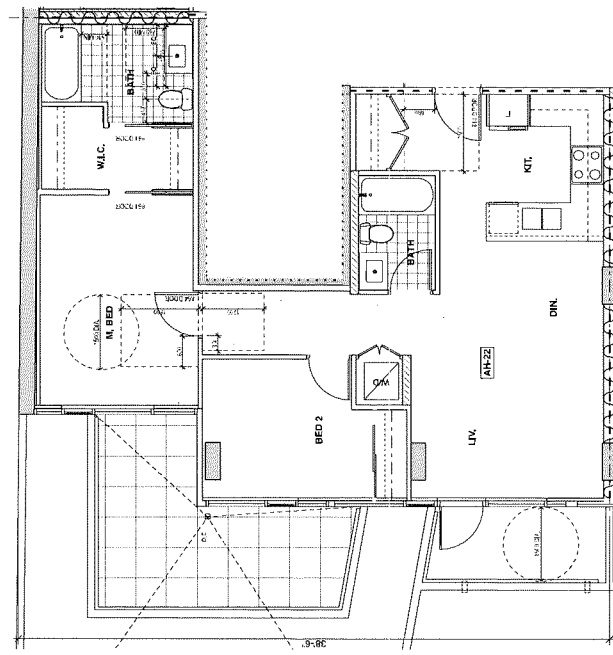
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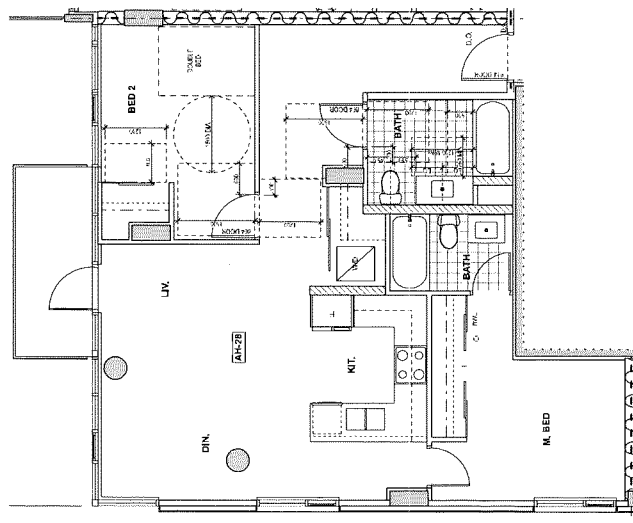
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AH-40 - 6 REQ'D**
SCALE: 1/4" = 1'-0"



AH-21, AH-32, AH-41 - 3 REQ'D
SCALE: 1/4" = 1'-0"

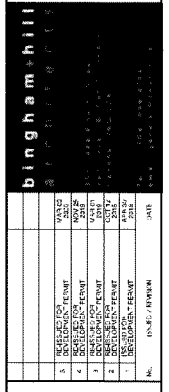


AH-22, AH-33 - 2 REQ'D
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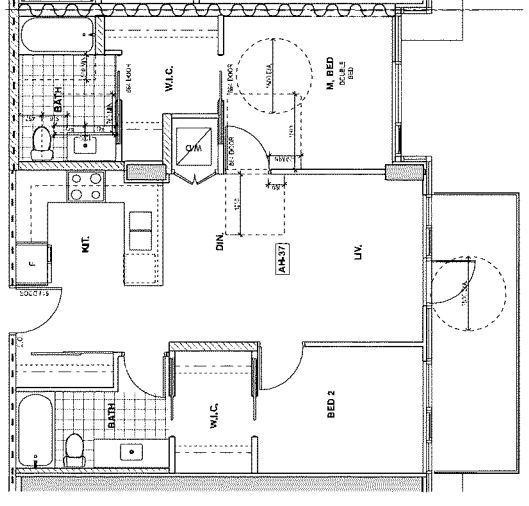


AH-28 - ONE REQ'D
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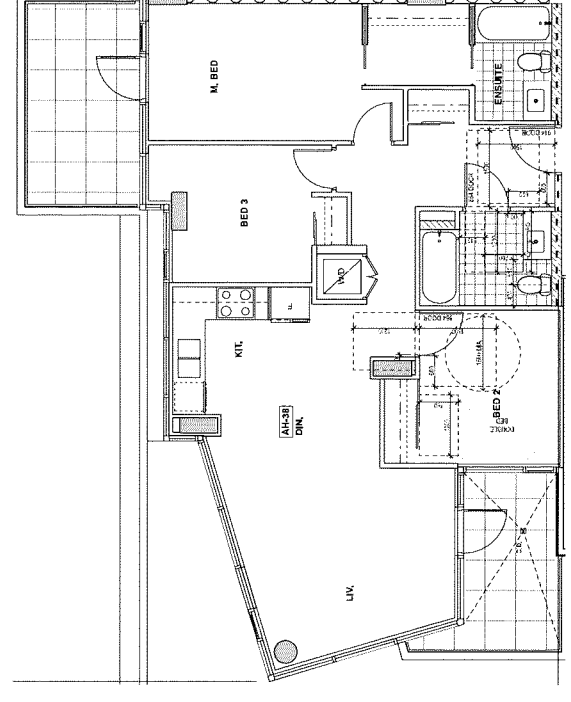
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RICHMOND, BRITISH COLUMBIA
for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.



AFFORDABLE HOUSING UNIT PLANS		DATE: 1/1/06	SCALE: 1/4" = 1'-0"	PLAN #
		DATE: 1/1/06	SCALE: 1/4" = 1'-0"	11a-4
		DATE: 1/1/06	SCALE: 1/4" = 1'-0"	11a-4



AH-37 - ONE REQ'D
SCALE 1/4" = 1'-0"



AH-38 - ONE REQ'D
SCALE 1/4" = 1'-0"

PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT		
2	REVISIONS		
3	REVISIONS		
4	REVISIONS		
5	REVISIONS		
6	REVISIONS		
7	REVISIONS		
8	REVISIONS		
9	REVISIONS		
10	REVISIONS		

AFFORDABLE HOUSING UNIT PLANS
 ALL DIMENSIONS SHALL BE VERIFIED ON SITE

DATE	1706	DESIGN NUMBER	PLAN #
SCALE		OWNER	11a-5
DESIGNED BY		CHECKED BY	

CONTRACT NO. 18-821292-11a-5
 DRAWING NO. 11a-5
 SHEET NO. 11a-5
 DATE OF ISSUE: 1706

FROM CITY OF RICHMOND
Section 4: General Development Regulations

4.16 Basic Universal Housing Features

Purpose

4.16.1 The basic universal housing features described in Section 4.16 are intended to facilitate ready access, use and occupancy of a dwelling unit by a person with a disability.

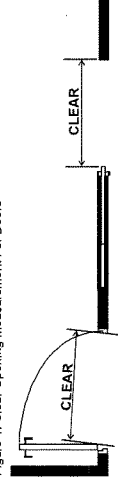
Building Access

- 4.16.2 Each dwelling unit and each type of amenity space shall be accessible to a person with a disability from a road and from an on-site parking area.
- 4.16.3 Access to the elevator shall be provided from both the road and the entry to the on-site parking area.
- 4.16.4 An automatic door opener shall be provided for the main entry.

Doors and Doorways

- 4.16.5 The minimum clear openings for all entry doors to every dwelling unit and doors in common areas shall be no less than 800.0 mm (which will be provided by a swing door). *[Refer to 4.16.10]*
- 4.16.6 The minimum clear opening for the interior doors to at least one bedroom, one accessible bathroom and to common living areas in every dwelling unit shall be no less than 800.0 mm (which will be provided by a swing door). *[Refer to 4.16.10]*
- 4.16.7 Doors in every dwelling unit and common areas shall be operable by devices that do not require tight grasping or twisting of wrist.
- 4.16.8 Flush thresholds throughout the building shall be a maximum of 13.0 mm in height.
- 4.16.9 The above-noted requirements for doors do not apply to mechanical rooms, service areas, closets, etc. where through access is not required and access to a person with a disability is not anticipated.
- 4.16.10 Clear openings shall be measured as illustrated in Figure 1 below.

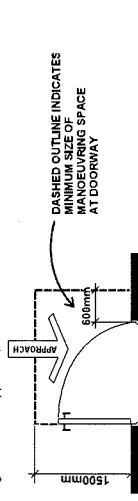
Figure 1. Clear Opening Measurement For Doors



Manoeuvring Space at Doorways

- 4.16.11 Entry doors to every dwelling unit and door assemblies in common areas shall have a clear and level area which is not less than the following:
 - a) Where the door swings toward the area (push door), 1500.0 mm long by the width of the door plus at least 600.0 mm clear space on the latch side, as illustrated in Figure 2 below. This requirement to apply to door assemblies to one bathroom and one bedroom in 2 bedroom and larger dwelling units. *[Refer to 4.16.10]*
 - b) 2 bedroom and larger dwelling units. *[Refer to 4.16.10]*

Figure 2. Front Approach, Push Side



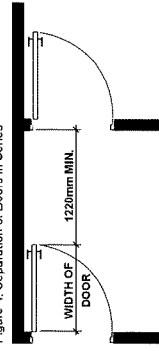
- 4.16.12 Where the door swings away from the area (pull door), 1220.0 mm long by the width of the door plus at least 300.0 mm clear space on the latch side, as illustrated in Figure 3 below. This requirement to apply to door assemblies to one bedroom and one bedroom in 2 bedroom and larger dwelling units. *[Refer to 4.16.10]*

Figure 3. Front Approach, Pull Side



- 4.16.13 Where there are doors in a series in common areas, there must be separation of at least 1220.0 mm plus the width of the door, as illustrated in Figure 4 below.

Figure 4. Separation of Doors in Series



- 4.16.14 Entry doors to every dwelling unit are exempted from the requirement to provide the 1220.0 mm long clear area and 300.0 mm or 600.0 mm clear space if rough-in wiring is provided for future conversion for an automatic door opener. *[Refer to 4.16.10]*

Corridor Widths

4.16.12 Common corridors shall be no less than 1200.0 mm wide and provide a clear area not less than 1500.0 mm by 1500.0 mm adjacent to the elevator entrance. *[Refer to 4.16.10]*

Floor Surfaces

- 4.16.13 Floor surfaces throughout the building shall have no abrupt changes in level. I.e., a maximum of 13.0 mm. This requirement does not apply to exterior balcony, patio and deck door sills. *[Refer to 4.16.10]*
- 4.16.14 Floor surfaces shall be slip resistant.
- 4.16.15 Where carpets are used, they must be firmly fixed, have a firm underlay and pile under 13.0 mm height.

Windows

- 4.16.16 Windows which are accessible shall have a window sill height that does not exceed 750.0 mm above the finished floor level. Windows in the bedroom and one window in the living room shall afford such seated viewing.
- 4.16.17 Windows which are accessible shall have opening mechanisms operable with one hand and of a type that does not require light grasping, pinching or twisting of the hand.

Outlets and Switches

- 4.16.18 Light switches and electrical panels shall be 800.0 mm to 1200.0 mm from the floor. Intercom buttons shall be a maximum 1375.0 mm from the floor. *[Refer to 4.16.10]*
- 4.16.19 Electrical outlets, cable outlets and telephone jacks shall be located 455.0 mm to 1200.0 mm from the floor. *[Refer to 4.16.10]*
- 4.16.20 Thermostats shall be located between 900.0 mm to 1200.0 mm from the floor. *[Refer to 4.16.10]*
- 4.16.21 The operable part of controls shall be located within reach of a clear floor area that has a width of not less than 750.0 mm.
- 4.16.22 Light switches will be rocker or paddle-type switches.

Bathrooms

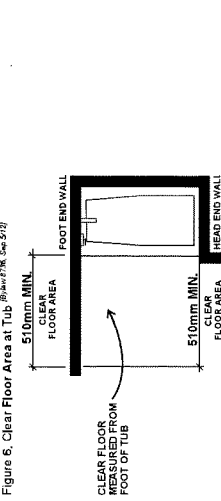
- 4.16.23 At least one bathroom shall:
 - a) have a toilet positioned with the centre line of the toilet 420.0 mm to 480.0 mm from a side wall on which a grab bar can be installed and at least 510.0 mm from any obstruction on the non-grab bar side and at least 800.0 mm from any obstruction in front of the toilet; and *[Refer to 4.16.10]*
 - b) have a clear floor area at the sink of 760.0 mm by 1220.0 mm positioned for a parallel approach and centred on the sink, as illustrated in Figure 5 below.

Figure 5. Clear Floor Area at Sink



- 4.16.24 Bathrooms shall have a minimum clear area of 510.0 mm in depth along the full length of the bathtub, as illustrated in Figure 6 below. *[Refer to 4.16.10]*

Figure 6. Clear Floor Area at Tub



- 4.16.25 Bathrooms shall have structural reinforcement in walls behind and beside the toilet and the walls around the tub and/or shower to facilitate the installation of grab bars; and
- 4.16.26 include easy to grasp handles on faucets, e.g., lever-type faucets.

- 4.16.27 Where bathrooms are provided to serve a common amenity space, at least one shall be wheelchair accessible as described in the Building Code and the top of the rim of the toilet in that one bathroom shall be 450.0 mm above the floor.

Kitchens

- 4.16.25 The kitchen must have:
 - a) some usable counter space and cupboards that can be easily accessed by people with disabilities, including people with wheelchairs, e.g., continuous counter between the sink and stove, full-height wall cabinets, pull-out work boards at 910.0 mm height; and pull-out cabinet shelves;
 - b) easy to grasp handles on faucets, e.g., lever-type faucets;
 - c) grab edges under counters;
 - d) task lighting at sink, stove and key work areas; and
 - e) plumbing and utility pipes located to provide for a potential 610.0 mm wide under counter workspace so as not to prevent the easy future conversion of counter space and sinks to being universally accessible for knee space under the sink and where there is a counter top stove built in.

Bedroom & Closet

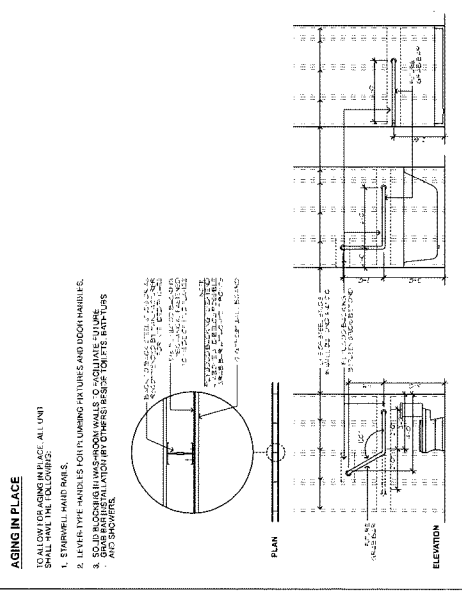
- 4.16.26 The space around a bed in a dwelling unit that consists of a bachelor suite and at least one bedroom in every other dwelling unit shall have sufficient space to provide a turning diameter of 1500.0 mm on one side of a double bed.
- 4.16.27 The clothes closet in a dwelling unit that consists of a bachelor suite and at least one bedroom in every other dwelling unit shall have a clear opening of at least 900.0 mm, clear floor space of at least 750.0 mm by 1200.0 mm and a clothes hanger rod that can be lowered to 1200.0 mm.

Patio and Balconies

- 4.16.28 Access doors shall have a minimum clear opening of 800.0 mm. *[Refer to 4.16.10]*
- 4.16.29 Minimum dimensions of any balcony or patio shall be 1500.0 mm by 1500.0 mm. This requirement does not apply to 'Juliet' or 'French' style of balcony or patio. *[Refer to 4.16.10]*

Section 4: General Development Regulations

11/16/2013

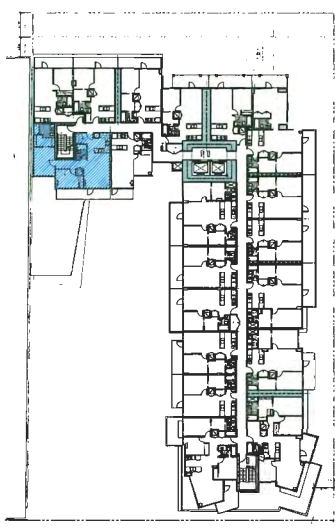


PINNACLE LIVING @ CAPSTAN VILLAGE
PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
RICHMOND, BRITISH COLUMBIA
for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

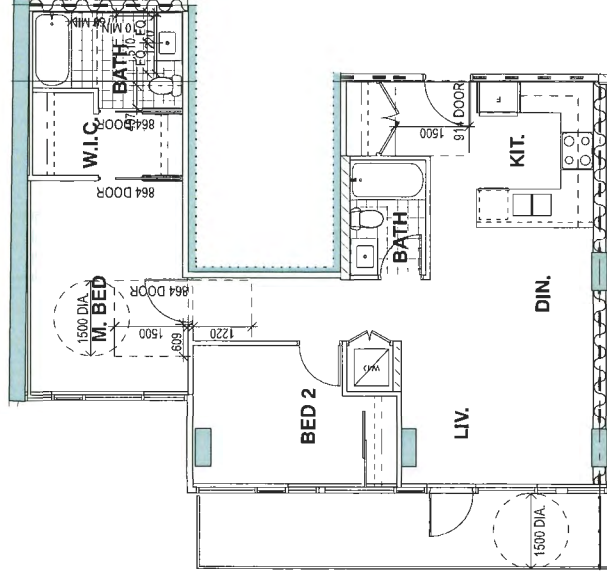
NO.	DATE	REVISION
1		ISSUED FOR PERMIT
2		REVISED PER COMMENTS
3		REVISED PER COMMENTS
4		REVISED PER COMMENTS
5		REVISED PER COMMENTS
6		REVISED PER COMMENTS

BASIC UNIVERSAL HOUSING REQUIREMENTS		DRAWING NUMBER	
DATE	1708	PLAN #	11b-1
DRAWN	3/17/13	CHECKED	
ALL DIMENSIONS SHALL BE VERIFIED ON SITE			

BUH KEY PLAN



BUILDING J - LEVEL 6



2-BEDROOM B.U.H. - ONE REQ'D
SCALE: 1/8" = 1'-0"

BUH REQUIREMENTS (PHASE 3)

HOUSING TYPE	# UNITS	% BUH	TOTAL BUH UNITS REQ'D
MARKET HOUSING	186	0.6	1
AFFORDABLE HOUSING	41	100	41
TOTAL	207	20	42

BASIC UNIVERSAL HOUSING SUMMARY (PHASE 3)

LEVEL	FLOOR AREA	# BUH UNITS					
		TOTAL	1 BED	1 BED + DEN	2 BED	2 BED + DEN	3 BED
6	81,334 sq ft	1	0	0	1	0	0
	874.8 sq ft						
TOTAL	874.69 sq ft	1	0	0	1	0	0

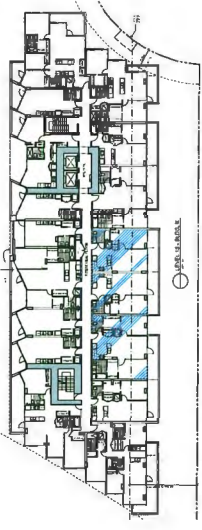
PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

bingham hill

BASIC UNIVERSAL HOUSING: PHASE 3

DATE: 11/15/2017
 SCALE: 1" = 30'
 PLAN # **11b-2**

BUH KEY PLANS



BUILDING K - LEVEL 13



BUILDING K - LEVEL 9 - 12



BUILDING K - LEVEL 8

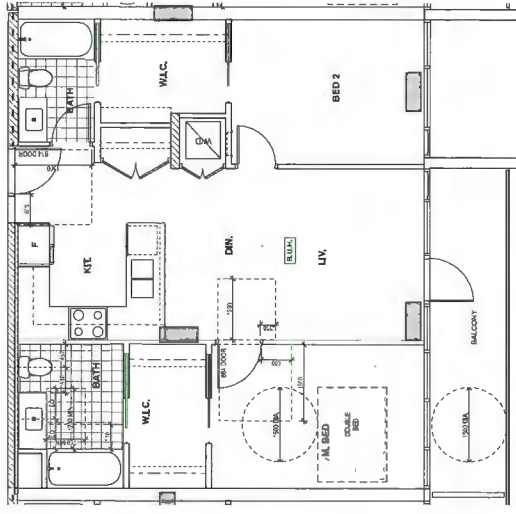
BUH REQUIREMENTS (PHASE 4)

HOUSING TYPE	# UNITS	% BUH UNITS REQ'D	TOTAL BUH UNITS REQ'D
MARKET HOUSING	115	20	23
AFFORDABLE HOUSING	0	100	0
TOTAL	115	20	23

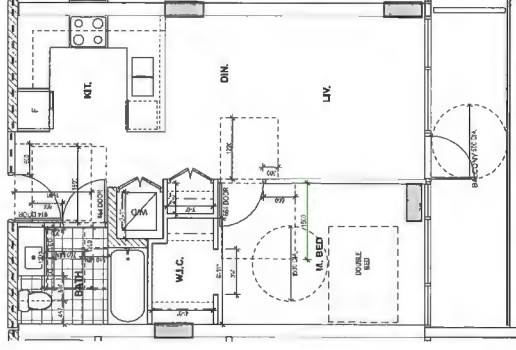
BASIC UNIVERSAL HOUSING SUMMARY (PHASE 4)

LEVEL	FLOOR AREA	# BUH UNITS					
		TOTAL	1 BED	1 BED + DEN	2 BED	2 BED + DEN	3 BED
8	2637.84 sqm 2,828.3 sqft	4	2	0	2	0	0
9	2637.84 sqm 2,828.3 sqft	4	2	0	2	0	0
10	2637.84 sqm 2,828.3 sqft	4	2	0	2	0	0
11	2637.84 sqm 2,828.3 sqft	4	2	0	2	0	0
12	2637.84 sqm 2,828.3 sqft	4	2	0	2	0	0
13	187.6 sqm 2,018.9 sqft	3	2	0	1	0	0
TOTAL	15960.8 sqm 17,216.46 sqft	23	12	0	11	0	0

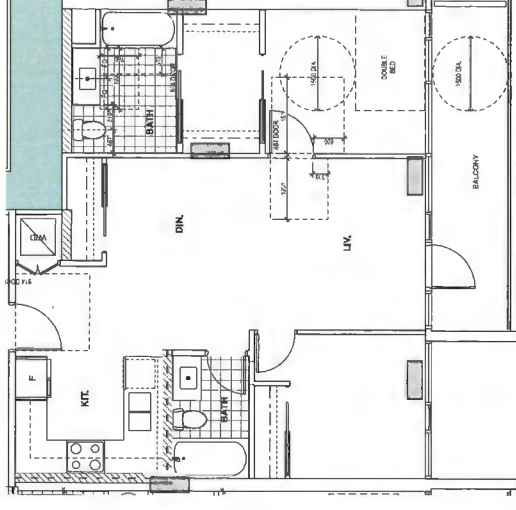
BUH UNIT PLANS



2-BEDROOM B.U.H. - 6 REQ'D
SCALE: 1/4" = 1'-0"



1-BEDROOM B.U.H. - 12 REQ'D
SCALE: 1/4" = 1'-0"



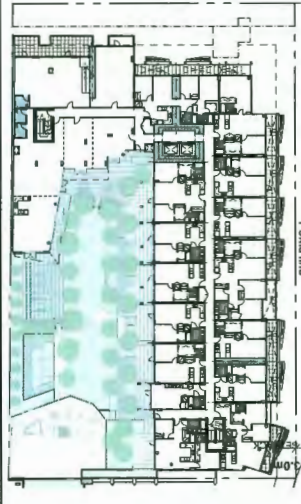
2-BEDROOM B.U.H. - 11 REQ'D
SCALE: 1/4" = 1'-0"

PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
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 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

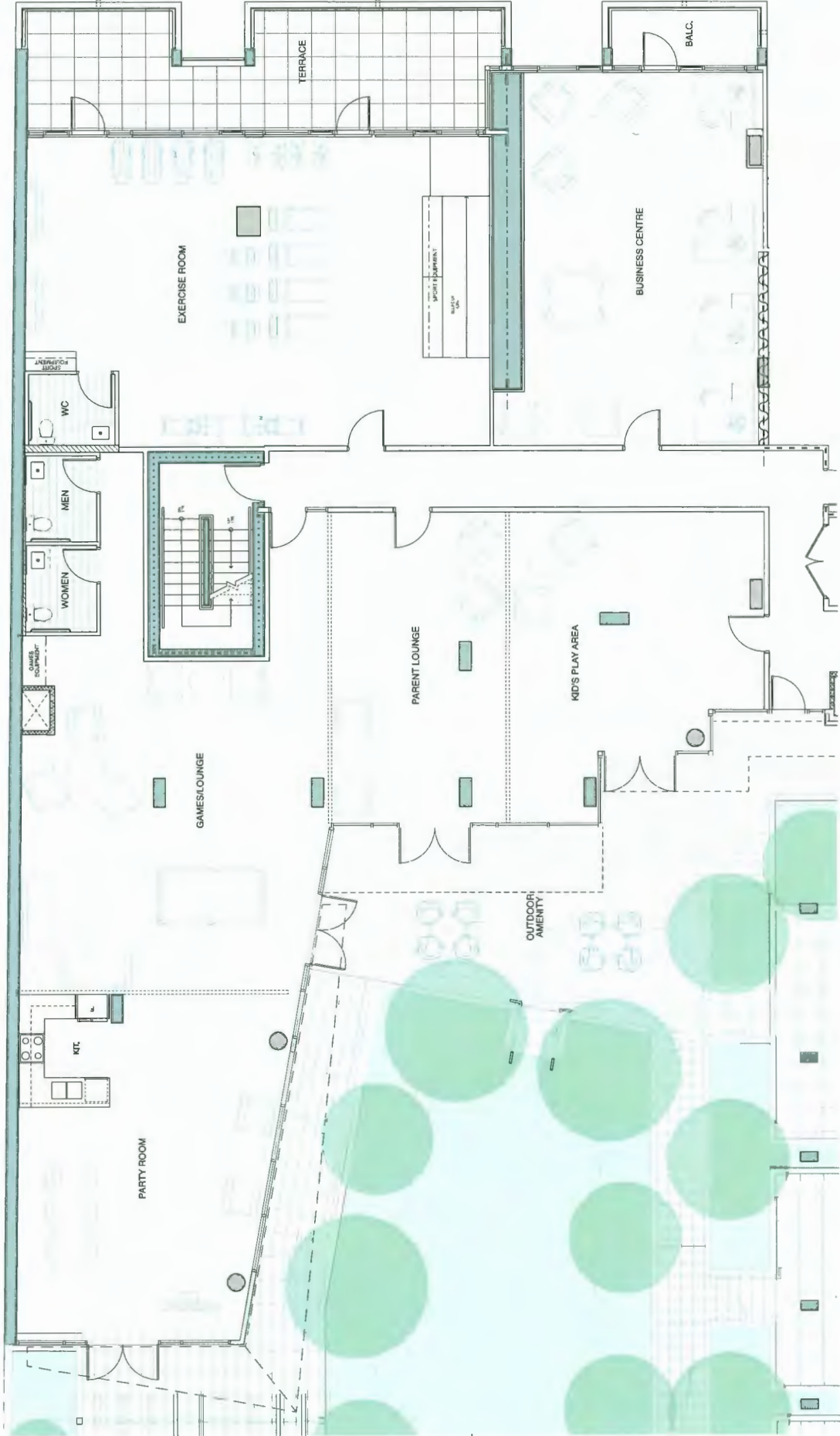


BASIC UNIVERSAL HOUSING: PHASE 4

DATE	1706	DATE	11b-3
SCALE	1" = 30'	SCALE	11b-3
PLAN #	11b-3	PLAN #	11b-3

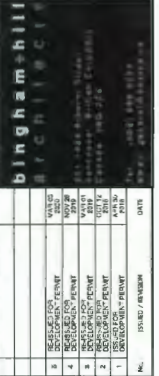


BUILDING J
LEVEL 3 - PHASE 3



LEVEL 3 - BUILDING J
SCALE: 1/4"=1'-0"

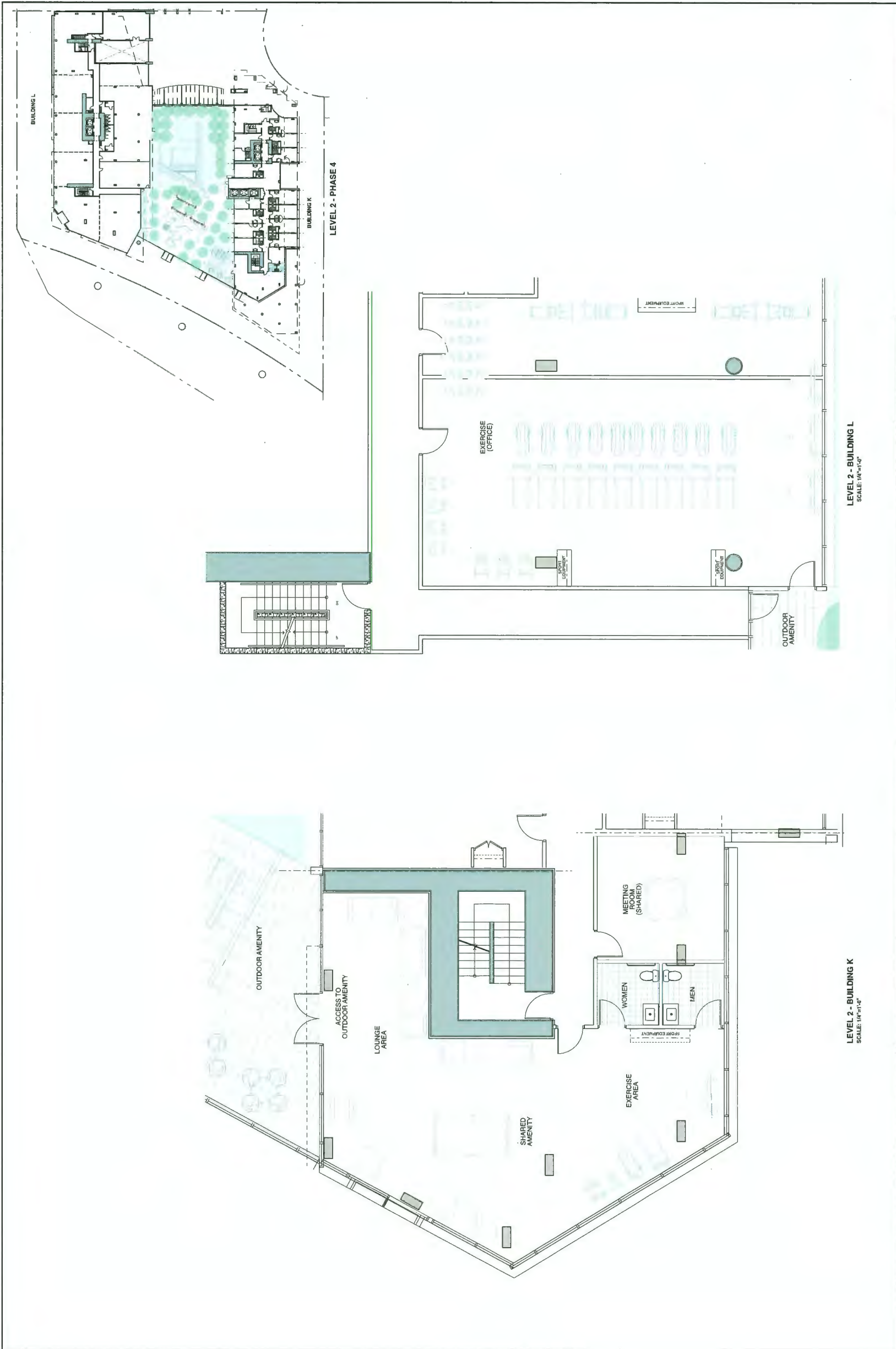
PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.



INDOOR AMENITY PHASE 3
 ALL DIMENSIONS SHOWN UNLESS NOTED ON SITE

NO.	DATE	DESCRIPTION	BY
1	2024.08.15	ISSUE FOR PERMIT	AL
2	2024.08.15	ISSUE FOR PERMIT	AL
3	2024.08.15	ISSUE FOR PERMIT	AL
4	2024.08.15	ISSUE FOR PERMIT	AL
5	2024.08.15	ISSUE FOR PERMIT	AL
6	2024.08.15	ISSUE FOR PERMIT	AL
7	2024.08.15	ISSUE FOR PERMIT	AL
8	2024.08.15	ISSUE FOR PERMIT	AL
9	2024.08.15	ISSUE FOR PERMIT	AL
10	2024.08.15	ISSUE FOR PERMIT	AL

DESIGN NUMBER: PLAN # 11c-1



PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

bingham hill
 architects

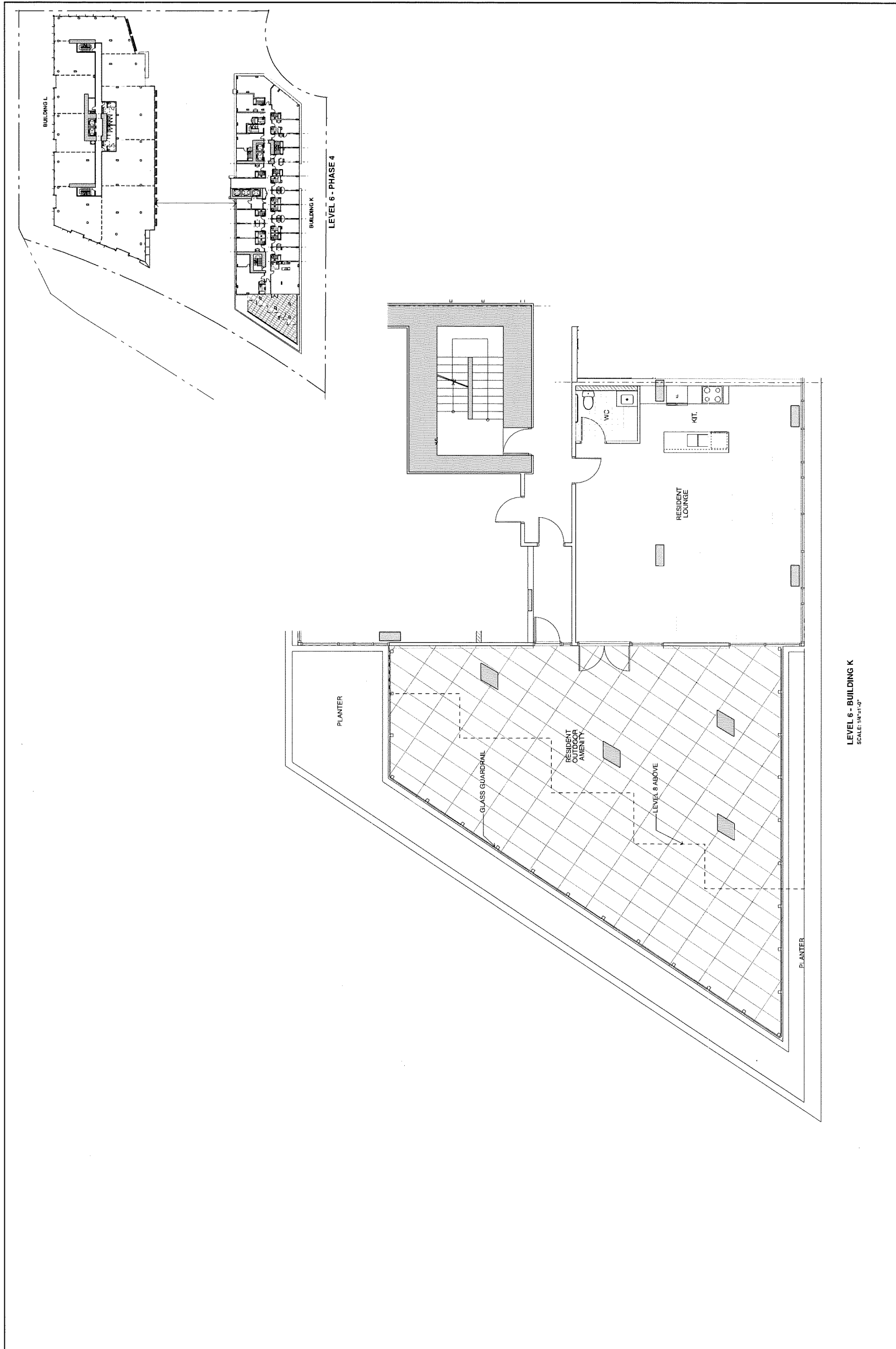
No.	DATE / NUMBER	DATE
1	18/03/2018	18/03/2018
2	18/03/2018	18/03/2018
3	18/03/2018	18/03/2018
4	18/03/2018	18/03/2018
5	18/03/2018	18/03/2018
6	18/03/2018	18/03/2018

INDOOR AMENITY PHASE 4

ALL DIMENSIONS SHALL BE SHOWN ON SITE

SCALE	DATE	BY	CHECKED
1/8"=1'-0"	17/06	EVAN	C-0000

DRAWING NUMBER
PLAN # 11c-2



LEVEL 6 - BUILDING K
SCALE: 1/8"=1'-0"

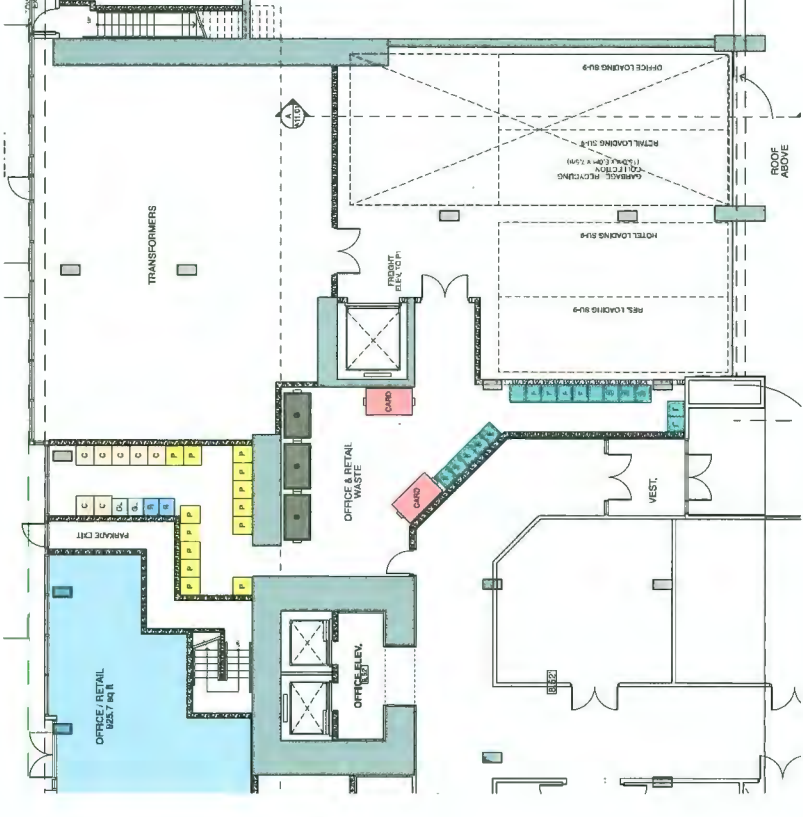
PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: **PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.**

NO.	DESCRIPTION	DATE
1	PRELIMINARY PERMIT	11/11/11
2	PERMIT TO CONSTRUCT	01/11/12
3	PERMIT TO OCCUPY	01/11/12
4	PERMIT TO OCCUPY	01/11/12
5	PERMIT TO OCCUPY	01/11/12
6	PERMIT TO OCCUPY	01/11/12
7	PERMIT TO OCCUPY	01/11/12
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9	PERMIT TO OCCUPY	01/11/12
10	PERMIT TO OCCUPY	01/11/12

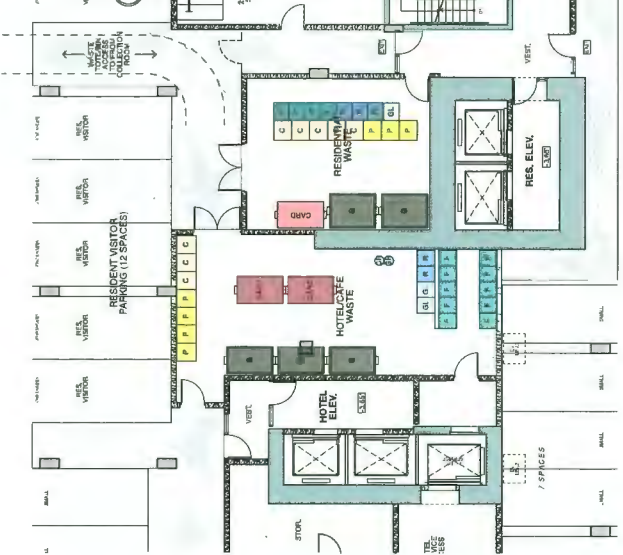
INDOOR AMENITY PHASE 4

ALL DIMENSIONS SHALL BE VERIFIED ON SITE.

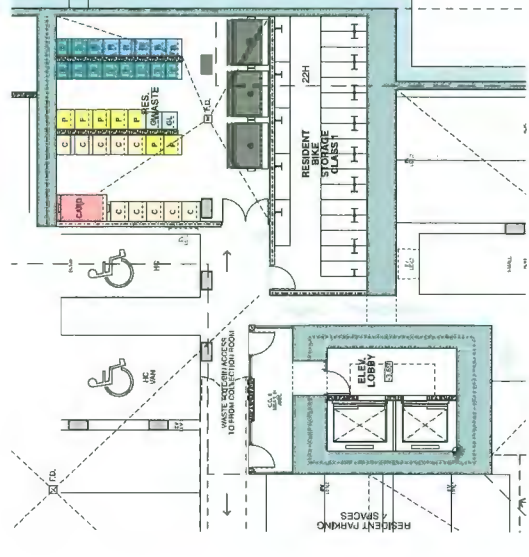
DATE: 11/06
 DRAWN: [Name]
 CHECKED: [Name]
 PROJECT: 11C-3



LEVEL 1 - BUILDING 'I' OFFICE/RETAIL WASTE ROOM
1/8"=1'-0"



LEVEL P1 - BUILDING 'K' HOTEL & RESIDENTIAL WASTE ROOMS
1/8"=1'-0"



LEVEL P1 - BUILDING 'J' RESIDENTIAL WASTE ROOM
1/8"=1'-0"

RESIDENTIAL WASTE ROOM INFORMATION (BUILDING J)

WASTE SERVICES PROVIDED	BIN SIZE	# OF BINS	COLLECTION SERVICE	FREQUENCY
GARBAGE BIN	4 yd ³	3	PRIVATE	3/week
CARDBOARD BIN	3 yd ³	1	PRIVATE	2/week
PAPER RECYCLING CART	360L	7	PRIVATE	1/week
MIXED CONTAINERS RECYCLING CART	360L	10	PRIVATE	1/week
GLASS RECYCLING CART	260L	2	PRIVATE	1/week
FOOD SCRAPS CART	260L	9	PRIVATE	1/week
REFUNDABLE BEVERAGE CART	260L	5	PRIVATE	1/week

HOTEL/CAFE WASTE ROOM INFORMATION (BUILDING K)

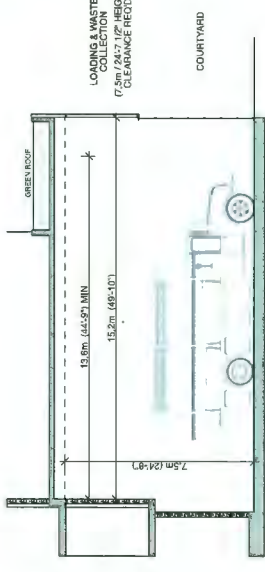
WASTE SERVICES PROVIDED	BIN SIZE	# OF BINS	COLLECTION SERVICE	FREQUENCY
GARBAGE BIN	3 yd ³	3	PRIVATE	2/week
CARDBOARD BIN	3 yd ³	2	PRIVATE	2/week
PAPER RECYCLING CART	360L	4	PRIVATE	2/week
MIXED CONTAINERS RECYCLING CART	360L	3	PRIVATE	2/week
GLASS RECYCLING CART	260L	2	PRIVATE	2/week
FOOD SCRAPS CART	260L	10	PRIVATE	2/week
REFUNDABLE BEVERAGE CART	260L	2	PRIVATE	2/week

RESIDENTIAL WASTE ROOM INFORMATION (BUILDING K)

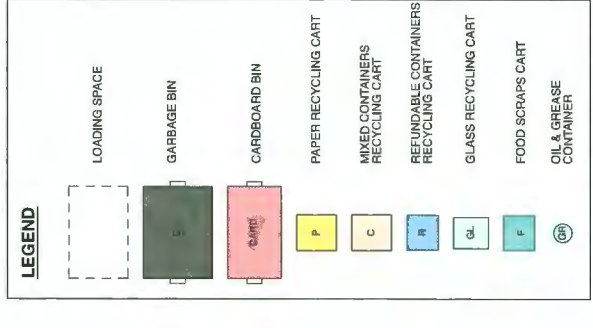
WASTE SERVICES PROVIDED	BIN SIZE	# OF BINS	COLLECTION SERVICE	FREQUENCY
GARBAGE BIN	4 yd ³	2	PRIVATE	2/week
CARDBOARD BIN	3 yd ³	3	PRIVATE	1/week
PAPER RECYCLING CART	360L	5	PRIVATE	1/week
MIXED CONTAINERS RECYCLING CART	360L	1	PRIVATE	1/week
GLASS RECYCLING CART	260L	4	PRIVATE	1/week
FOOD SCRAPS CART	260L	3	PRIVATE	1/week
REFUNDABLE BEVERAGE CART	260L	3	PRIVATE	1/week

OFFICE/RETAIL WASTE ROOM INFORMATION (BUILDING L)

WASTE SERVICES PROVIDED	BIN SIZE	# OF BINS	COLLECTION SERVICE	FREQUENCY
GARBAGE BIN	3 yd ³	3	PRIVATE	3/week
CARDBOARD BIN	3 yd ³	2	PRIVATE	3/week
PAPER RECYCLING CART	360L	13	PRIVATE	3/week
MIXED CONTAINERS RECYCLING CART	360L	7	PRIVATE	3/week
GLASS RECYCLING CART	260L	2	PRIVATE	3/week
FOOD SCRAPS CART	260L	19	PRIVATE	3/week
REFUNDABLE BEVERAGE CART	260L	2	PRIVATE	3/week



SECT. A - VEHICLE CLEARANCE
1/8"=1'-0"



PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

WASTE MANAGEMENT PLAN (1)

ALL DISCHARGES SHALL BE REPORTED ON SITE

PROJECT NUMBER	1106	PLAN #	11d
SCALE	AS SHOWN	DATE	CHECKED

DATE: 11/18/2024

PROJECT: Pinnacle Living @ Capstan Village

PHASE: 3 & 4

LOCATION: 3208 Carscallen Road & 3200 No. 3 Road, Richmond, BC

CLIENT: Pinnacle Living (Capstan Village) Lands Inc.

DESIGNER: Bingham Hill

DATE: 11/18/2024

PROJECT: Pinnacle Living @ Capstan Village

PHASE: 3 & 4

LOCATION: 3208 Carscallen Road & 3200 No. 3 Road, Richmond, BC

CLIENT: Pinnacle Living (Capstan Village) Lands Inc.

DESIGNER: Bingham Hill

DATE: 11/18/2024

CAFSTAN VILLAGE PHASE 3&4 RICHMOND, BC.

Project: CAFSTAN VILLAGE PHASE 3&4 RICHMOND, BC.

Checked by: 17th Oct 2018

Date: 17th Oct 2018

Scale: AS1

Drawing Title: Landscape Key Plan

Scale	Notes
SCALE 1/4" = 1'-0"	PER LEVEL 1 PHASE LANDSCAPE SECTIONS
SCALE 1/4" = 1'-0"	PER LEVEL 2 PHASE LANDSCAPE SECTIONS
SCALE 1/4" = 1'-0"	PER LEVEL 3 PHASE LANDSCAPE SECTIONS
SCALE 1/4" = 1'-0"	PER LEVEL 4 PHASE LANDSCAPE SECTIONS
SCALE 1/4" = 1'-0"	PER LEVEL 5 PHASE LANDSCAPE SECTIONS
SCALE AS NOTED	PER THE LANDSCAPE OUTLINE PLANNING SPACE PLAN

GENERAL NOTES

1. Refer to architectural drawings for all walls and other details and elevations, unless otherwise noted.
2. Refer to electrical drawings for all lighting, lighting layout and applications.
3. Refer to structural and mechanical drawings for all foundation and air terminations.
4. All plantings to be made in accordance with B.C.T.V.A. Standards.
5. All trees to be planted in accordance with B.C.T.V.A. Standards.
6. All plants to be installed in accordance with the B.C. Landcare Standards current edition. For container plants 40 and smaller, plant sizes shall be as shown in the plant list and the standard for all other plants, both plant size and container size shall be as shown in the plant list. Specifically, when the plant list calls for 40 class containers, these shall be as defined in the B.C. Landcare Standards current edition.
7. All trees to be minimum 10 cubic meters of growing medium, unless otherwise specified.

Plant Preparation and Placement Notes:

1. All growing medium to be placed in containers or raised beds/beds and amended with a soil conditioner (see Appendix B). Growing medium shall be as specified in the specifications.
2. Clearly identify source and type for each. Transported soil growing medium is preferred. Provide one complete sample of each type of proposed growing medium for each different soil texture and composition.
3. Substrate shall be water at least once (7 days) prior to planting.
4. Contractor shall not move or work growing medium or address when they are excessively wet, unevenly dry, or frozen or in any manner which will adversely affect growing medium.
5. Site drainage shall be in 20mm (3/4") diameter drain gravel from any and all City as shown in details.
6. Place growing medium against structure to required from grade; add minimum depths as detailed unless shown otherwise.

PHASE 3 TREE REPLACEMENT BREAKDOWN SUMMARY

Total Trees Replacement Required	68
Phase 3 Deciduous at 6cm caliper Conifers at 2m height	70
Total Trees Replacement Provided	70

PHASE 4 TREE REPLACEMENT BREAKDOWN SUMMARY

Total Trees Replacement Required	26
Phase 4 Deciduous at 6cm caliper Conifers at 2m height	96
Total Trees Replacement Provided	115

PLANT LIST: TREES

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE/COMMENTS
	15	Acer campestre	Heige Maple	7cm cal., B&B
	24	Acer palmatum	Japanese Maple	7cm cal., B&B
	10	Acer platanoides 'Columnare'	Columnar Norway Maple	8cm cal., B&B
	52	Cornus kousa 'Starlight'	Kousa Dogwood	7cm cal., B&B
	11	Prunus yedoensis 'Akebono'	Akabono Cherry	8cm cal., B&B Specimen
	9	Picea pungens 'Fastigiata'	Blue Colorado Spruce	3m ht. B&B
	40	Syzyria japonicus	Japanese Snowball	8cm cal., B&B
	17	Deciduous Street Trees	- to be specified by City of Richmond	8cm cal., B&B Specimen
	10	Evergreen Street Trees	- to be specified by City of Richmond	8cm cal., B&B Specimen

SHRUBS

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE/COMMENTS
	300	Rhododendron Cunninghamii	Rhododendron	#2 pot, 24" o.c.
	1354	Rhododendron	Rhododendron	#2 pot, 18" o.c.
	729	Taxus x media 'Thicket'	Yew hedge	5 ht. B&B

GROUNDCOVERS / PERENNIALS / GRASSES

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE/COMMENTS
	481	Carex oshimensis 'Evergold'	Japanese Sedge	#2 pot, 24" o.c.
	819	Eriogonum fasciculatum 'Whisper'	Whisper	#2 pot, 14" o.c.
	51	Helleborus argenteus 'Silver Lace'	White Helleborus	#2 pot, 14" o.c.
	247	Hosta nobilis	Hosta	#2 pot, 16" o.c.
	127	Hosta sieboldii	Hosta	#2 pot, 24" o.c.
	127	Liriodendron tulipifera 'Halo'	Liriodendron	#2 pot, 12" o.c.
	484	Nepenthes domestica 'Hatchling Dwarf'	Monkey Plant	#2 pot, 18" o.c.
	1138	Liriodendron tulipifera 'Heavenly Blue'	Heavenly Blue	#2 pot, 12" o.c.
	614	Poystrychium munitum 'Royal'	Heavenly Blue	#2 pot, 18" o.c.
	248	Sida acuta 'Ruelleit'	Mexican Feather Grass	#2 pot, 18" o.c.
	527	Tanacetum vulgare 'Aureum'	Common Tansy	#2 pot, 18" o.c.

GENERAL NOTES

1. Refer to architectural drawings for all walls and other details and elevations, unless otherwise noted.
2. Refer to electrical drawings for all lighting, lighting layout and applications.
3. Refer to structural and mechanical drawings for all foundation and air terminations.
4. All plantings to be made in accordance with B.C.T.V.A. Standards.
5. All trees to be planted in accordance with B.C.T.V.A. Standards.
6. All plants to be installed in accordance with the B.C. Landcare Standards current edition. For container plants 40 and smaller, plant sizes shall be as shown in the plant list and the standard for all other plants, both plant size and container size shall be as shown in the plant list. Specifically, when the plant list calls for 40 class containers, these shall be as defined in the B.C. Landcare Standards current edition.
7. All trees to be minimum 10 cubic meters of growing medium, unless otherwise specified.

PHASE 3 TREE REPLACEMENT BREAKDOWN SUMMARY

Total Trees Replacement Required	68
Phase 3 Deciduous at 6cm caliper Conifers at 2m height	70
Total Trees Replacement Provided	70

PHASE 4 TREE REPLACEMENT BREAKDOWN SUMMARY

Total Trees Replacement Required	26
Phase 4 Deciduous at 6cm caliper Conifers at 2m height	96
Total Trees Replacement Provided	115

PLANT LIST: TREES

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE/COMMENTS
	15	Acer campestre	Heige Maple	7cm cal., B&B
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	52	Cornus kousa 'Starlight'	Kousa Dogwood	7cm cal., B&B
	11	Prunus yedoensis 'Akebono'	Akabono Cherry	8cm cal., B&B Specimen
	9	Picea pungens 'Fastigiata'	Blue Colorado Spruce	3m ht. B&B
	40	Syzyria japonicus	Japanese Snowball	8cm cal., B&B
	17	Deciduous Street Trees	- to be specified by City of Richmond	8cm cal., B&B Specimen
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	484	Nepenthes domestica 'Hatchling Dwarf'	Monkey Plant	#2 pot, 18" o.c.
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	248	Sida acuta 'Ruelleit'	Mexican Feather Grass	#2 pot, 18" o.c.
	527	Tanacetum vulgare 'Aureum'	Common Tansy	#2 pot, 18" o.c.

GENERAL NOTES

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Total Trees Replacement Required	26
Phase 4 Deciduous at 6cm caliper Conifers at 2m height	96
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Landscape Drawing List

Scale	Notes
SCALE 1/4" = 1'-0"	PER LEVEL 1 PHASE LANDSCAPE SECTIONS
SCALE 1/4" = 1'-0"	PER LEVEL 2 PHASE LANDSCAPE SECTIONS
SCALE 1/4" = 1'-0"	PER LEVEL 3 PHASE LANDSCAPE SECTIONS
SCALE 1/4" = 1'-0"	PER LEVEL 4 PHASE LANDSCAPE SECTIONS
SCALE 1/4" = 1'-0"	PER LEVEL 5 PHASE LANDSCAPE SECTIONS
SCALE AS NOTED	PER THE LANDSCAPE OUTLINE PLANNING SPACE PLAN

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Paving Schedule

Detail	Key	Material	Size	Supplier	Colour	Finish
		Asphalt (1/4" = 1'-0")	2.5" INCH			Rich
		Sodalized Lown On Grate			Refer to plan coordinated with P&E	To the City of Richmond details
		Rubber Ply Surface			TD	To the City of Richmond details
		C.P. concrete paving On Grate (Round Level)			TD	To the City of Richmond details
		C.P. concrete paving On Grate (Forward Level)			TD	To the City of Richmond details



NO.	DATE	BY	REVISION
6	Dec 12, 2018	SK	Issued for BP
5	Nov 15, 2018	SK	Revised for ADP
4	Nov 10, 2018	SK	Issued for ADP
3	Apr 23, 2018	SK	Issued for ADP
2	Nov 13, 2017	SK	Revised for BP
1	Nov 13, 2017	SK	Issued for BP

Durst & Kovalik Ltd
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 Richmond, BC V6V 1Y2
 Tel: 604-273-1111
 Fax: 604-273-1112
 www.durst.com

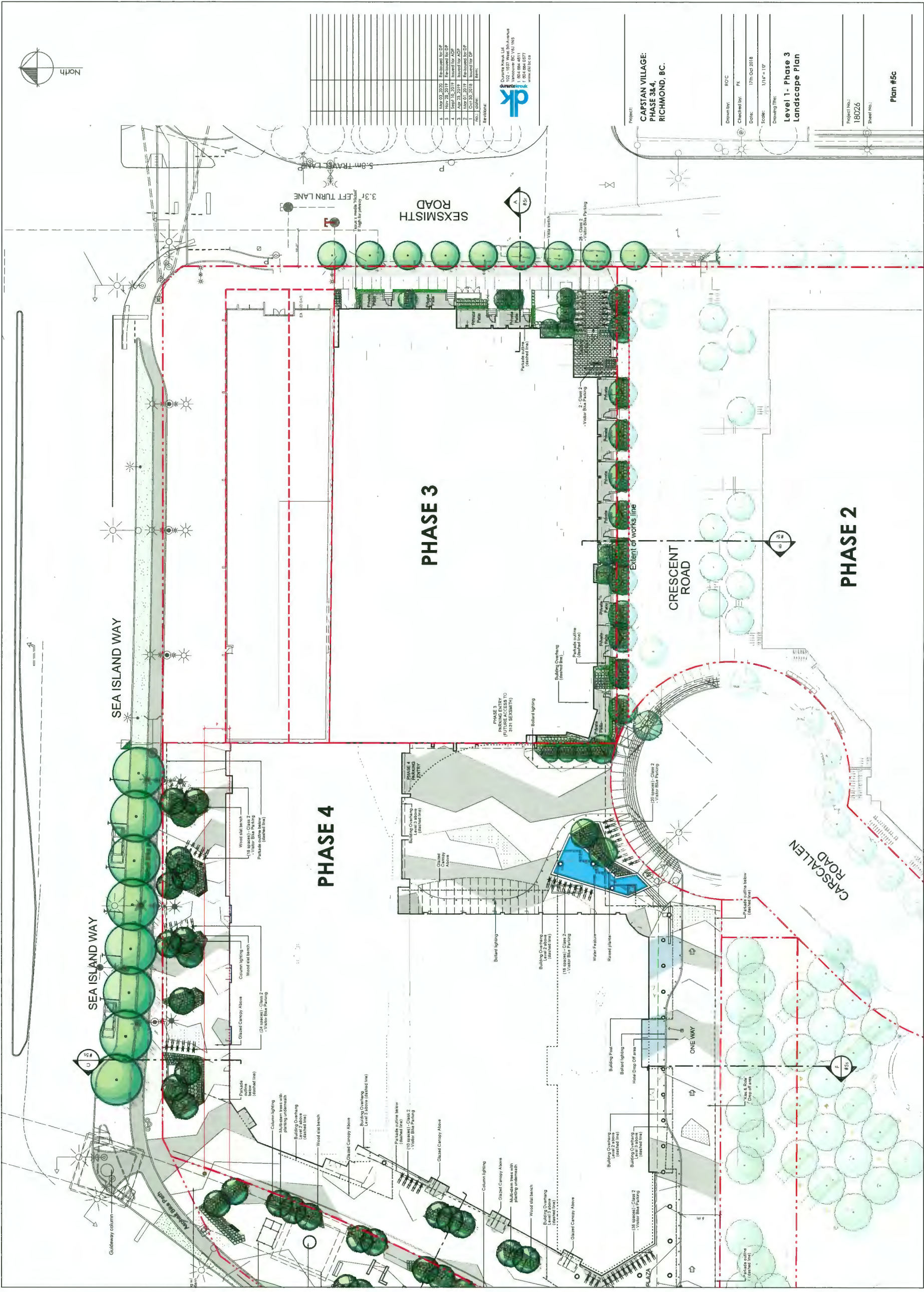
Project:
**CAPSTAN VILLAGE:
 PHASE 4,
 RICHMOND, BC.**

Drawn by: SKC
 Checked by: PK
 Date: 17th Oct 2018
 Scale: 1:225 = 1"=1'0"

Drawing Title:
**Overall Landscape Plan
 Phase 3&4**

Project No:
180226
 Sheet No.:

Plan #5b



NO.	DATE	DESCRIPTION	BY
6	May 03, 2022	Revised to DP	PK
5	Nov 18, 2019	Revised to DP	PK
4	Nov 18, 2019	Revised to DP	PK
3	Apr 23, 2019	Revised to ADP	PK
2	Mar 01, 2019	Revised to DP	PK
1	Nov 20, 2018	Revised to DP	PK

Drawn by: R/C
 Checked by: PK
 Date: 17th Oct 2018
 Scale: 1/14" = 1'0"
 Drawing Title: **Level 1 - Phase 3 Landscape Plan**
 Project: **CAPSTAN VILLAGE: PHASE 3&4, RICHMOND, BC.**
 Project No.: 180226
 Sheet No.:
 Plan #5c



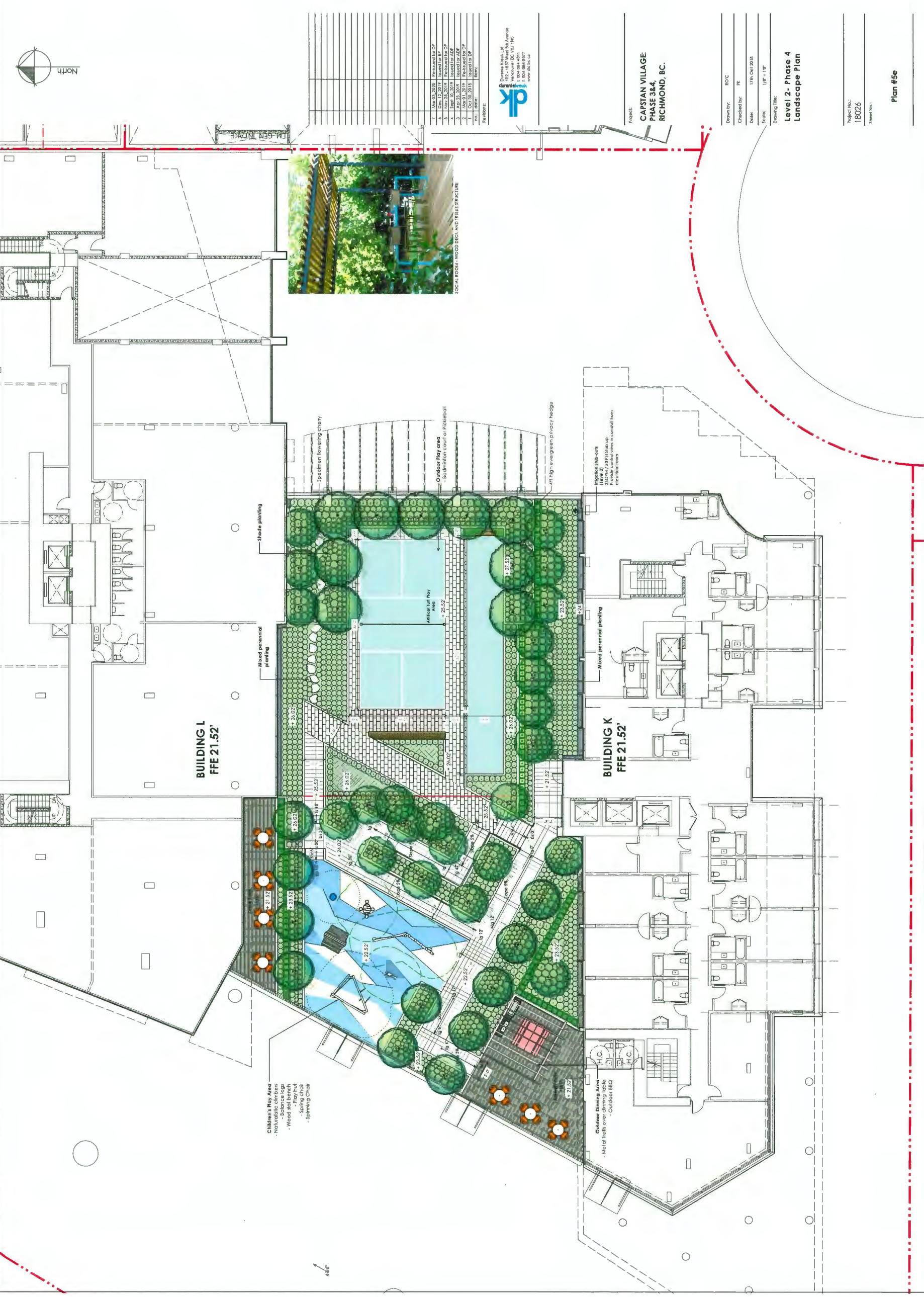
No.	Description	Date	Author	Checked by	Approved by
1	Issue 01 - 2018	2018	...	...	...
2	Issue 02 - 2018	2018	...	...	...
3	Issue 03 - 2018	2018	...	...	...
4	Issue 04 - 2018	2018	...	...	...
5	Issue 05 - 2018	2018	...	...	...
6	Issue 06 - 2018	2018	...	...	...

DK
 Durrant & Kitchin
 Landscape Architects
 102 - 1537 West 8th Avenue
 Richmond, BC V6X 3R9
 Tel: 604.273.4711
 Fax: 604.273.4712
 Email: dk@dk.ca

Project:
 CAPSTAN VILLAGE:
 PHASE 3&4,
 RICHMOND, BC.
 CR

**Level 1 - Phase 4
 Landscape Plan**

Project No.: 18026
 Sheet No.:
 Plan #5d



Rev	Date	Description
1	2018.03.20	Revised for DP
2	2018.03.20	Revised for DP
3	2018.03.20	Revised for DP
4	2018.03.20	Revised for DP
5	2018.03.20	Revised for DP
6	2018.03.20	Revised for DP
7	2018.03.20	Revised for DP
8	2018.03.20	Revised for DP
9	2018.03.20	Revised for DP
10	2018.03.20	Revised for DP
11	2018.03.20	Revised for DP
12	2018.03.20	Revised for DP
13	2018.03.20	Revised for DP
14	2018.03.20	Revised for DP
15	2018.03.20	Revised for DP
16	2018.03.20	Revised for DP
17	2018.03.20	Revised for DP
18	2018.03.20	Revised for DP
19	2018.03.20	Revised for DP
20	2018.03.20	Revised for DP
21	2018.03.20	Revised for DP
22	2018.03.20	Revised for DP
23	2018.03.20	Revised for DP
24	2018.03.20	Revised for DP
25	2018.03.20	Revised for DP
26	2018.03.20	Revised for DP
27	2018.03.20	Revised for DP
28	2018.03.20	Revised for DP
29	2018.03.20	Revised for DP
30	2018.03.20	Revised for DP
31	2018.03.20	Revised for DP
32	2018.03.20	Revised for DP
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34	2018.03.20	Revised for DP
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42	2018.03.20	Revised for DP
43	2018.03.20	Revised for DP
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46	2018.03.20	Revised for DP
47	2018.03.20	Revised for DP
48	2018.03.20	Revised for DP
49	2018.03.20	Revised for DP
50	2018.03.20	Revised for DP

Durwin Reed Ltd.
 102-152 West 5th Avenue
 Vancouver BC V6C 1H6
 T: 604 684 0227
 www.dr.com

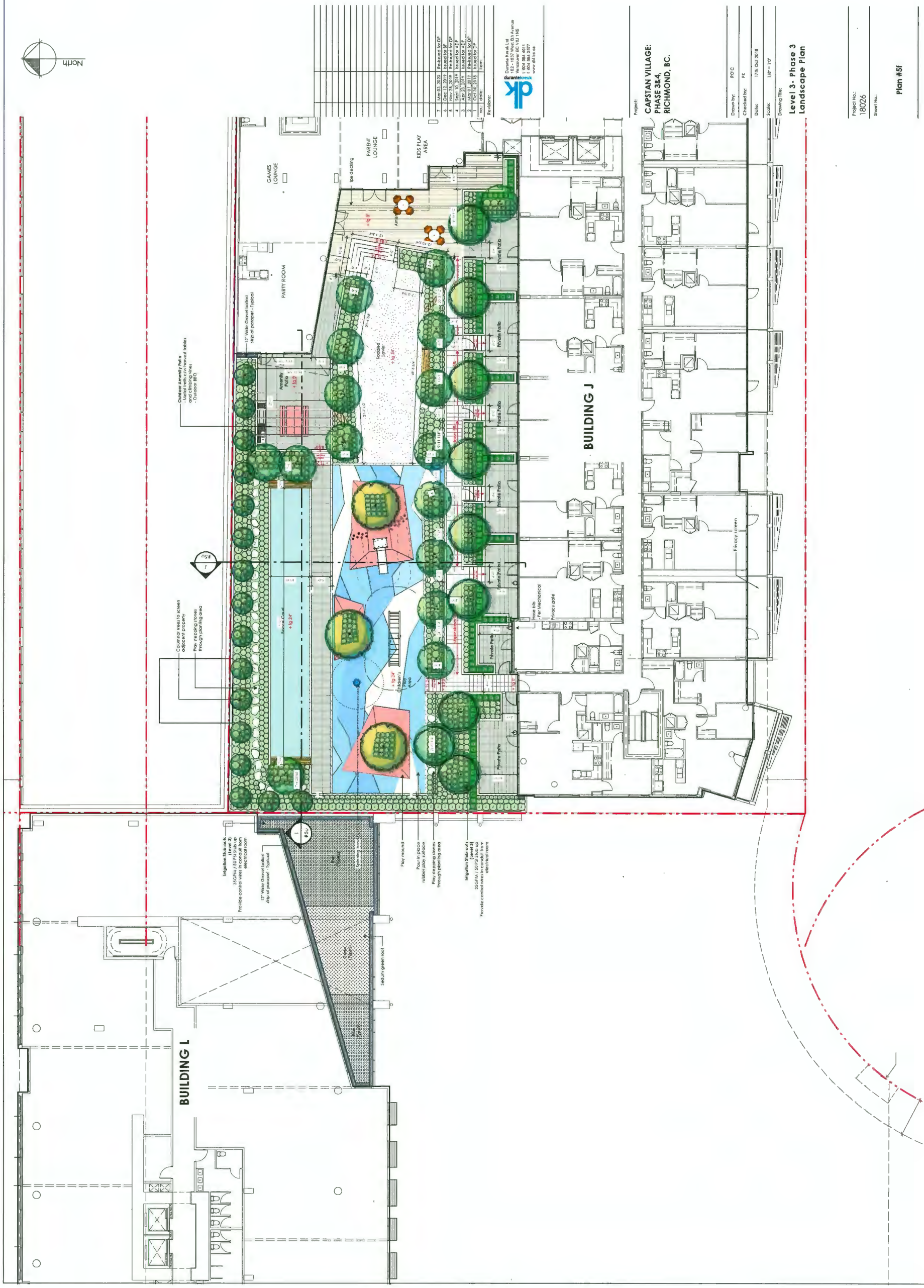
Project:
CAPSTAN VILLAGE:
PHASE 3&4
RICHMOND, BC.

Drawn by: RDC
 Checked by: TC
 Date: 17th Oct 2018
 Scale: 1/8" = 1'-0"
 Drawing Title:

Level 2 - Phase 4
Landscape Plan

Project No.:
18026
 Sheet No.:

Plan #5e



Revised	Date	Description
7	May 03, 2018	Revised for DP
6	Dec 12, 2017	Revised for SP
5	Nov 28, 2017	Revised for DP
4	Nov 28, 2017	Revised for DP
3	Apr 23, 2017	Revised for ADP
2	Apr 21, 2017	Revised for DP
1	Nov 20, 2016	Revised for DP

durante
Durante Design Ltd
102-102 West 5th Avenue
Vancouver BC V6J 1H6
Tel: 604.684.0277
www.dl.bc.ca

Project: **CAPSTAN VILLAGE:
PHASE 3&4
RICHMOND, BC.**

Drawn by: RJC
Checked by: TK
Date: 17th Oct 2018
Scale: 1/8" = 1'-0"

**Level 3 - Phase 3
Landscape Plan**

Project No.: 18026
Sheet No.:

Plan #51



6	Nov 02, 2019	Revised for DP
5	Oct 01, 2019	Revised for DP
4	Sept 10, 2019	Issued for ADP
3	Apr 22, 2019	Issued for ADP
2	Nov 01, 2018	Revised for DP
1	Oct 02, 2018	Issued for DP
Rev. 2: 0004		

Revised:
Durvick Kneal Ltd
102 - 1037 West 8th Avenue
Richmond, BC V6V 1Y2
Canada
Tel: 604 684 4571
Fax: 604 684 0577
www.durvick.com

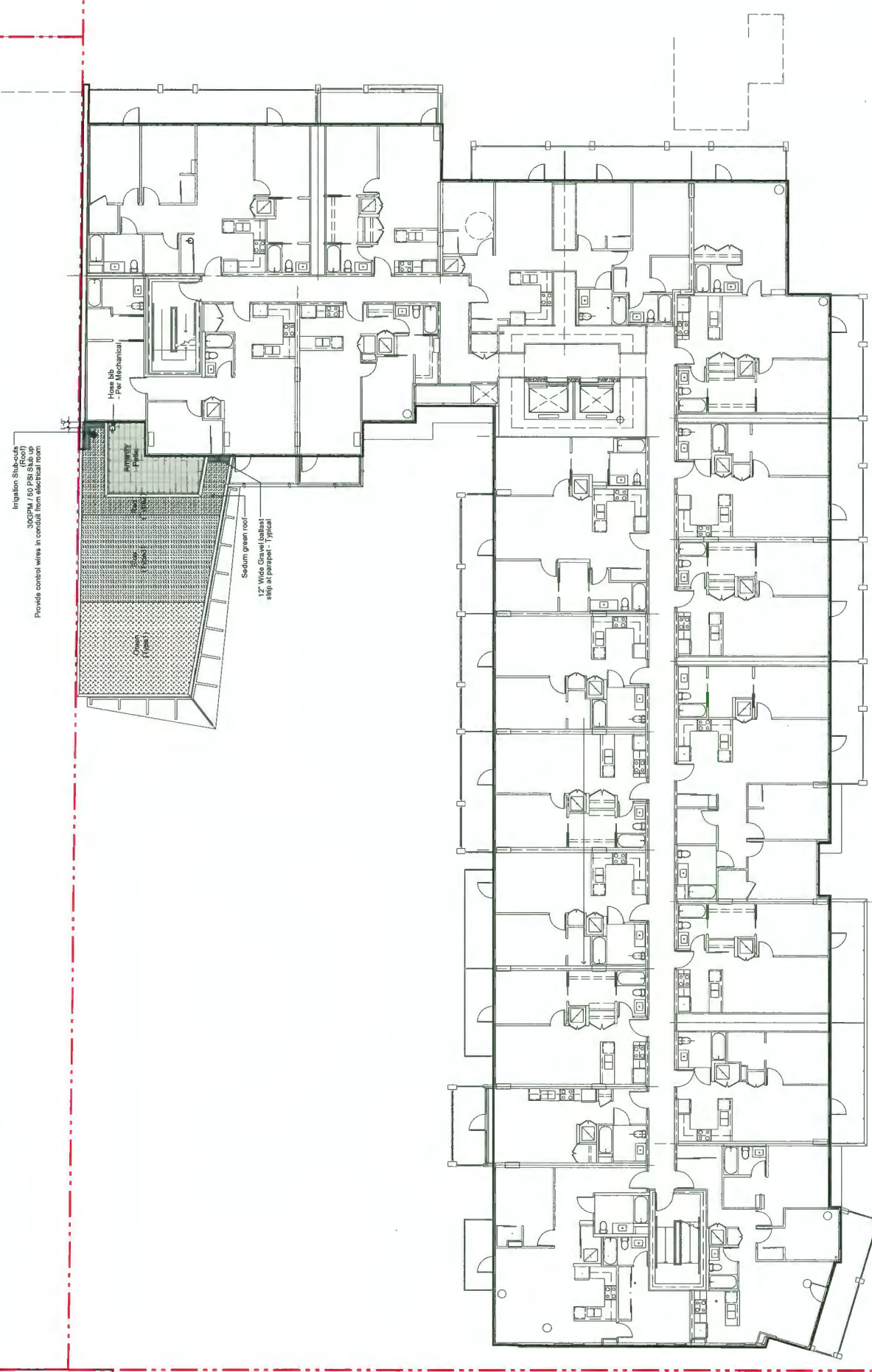
Project:
**CAPTAN VILLAGE:
PHASE 3&4,
RICHMOND, BC.**

Drawn by: RJC
Checked by: PK
Date: 17th Oct 2018
Scale: 1/8" = 1'-0"

Drawing Title:
**Level 4 - Phase 3
Landscape Plan**

Project No:
180226
Sheet No.:

Plan #5g



300FPM / 50 PSI S.M. up
Provides control wires in conduit from electrical room

Low Voltage
Fire Mechanical

Sodium green roof
12" Wide Gravel ballast
slope at parapet: 1/4"ft



No.	Date	Description	By
6	Mar 03, 2018	Revised for DP	
5	Nov 28, 2017	Revised for DP	
4	Oct 26, 2017	Revised for DP	
3	Apr 23, 2017	Issue for AUP	
2	Mar 01, 2017	Revised for DP	
1	Oct 10, 2016	Issue for DP	

Parsons Brinckerhoff
102-1537 West 5th Avenue
Richmond BC, V6Y 1N6
Tel: 604 684 0377
www.pb.com

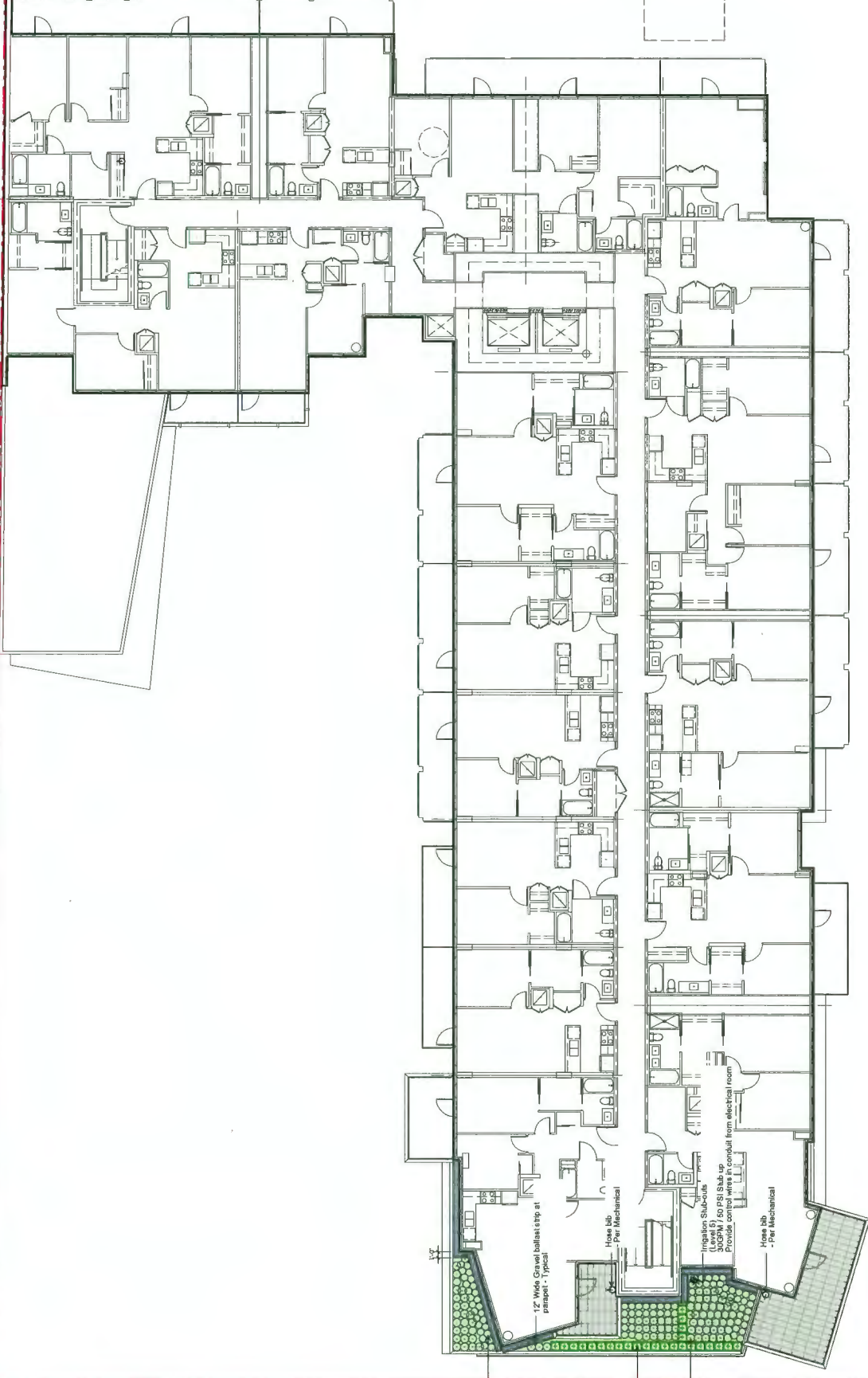
Project:
**CAPTAIN VILLAGE:
PHASE 3
RICHMOND, BC.**

Drawn By: BJC
Checked By: TK
Date: 17th Oct 2018
Scale: 1/8" = 1'-0"

Drawing Title:
**Level 5 - Phase 3
Landscape Plan**

Project No.:
180026
Sheet No.:

Plan #5h



Cover 'Elevate'
Terra's mezza
'icker'
Panna concorrente
'Olio von Lyfner'
12" Wick Grass Irrigation at
pergola - Typical
Irrigation Sub-cuts
300PSI / 50 PSI Sub up
Provide control wires in conduit from electrical room
Hose bib
- Per Mechanical



7	Mar 03, 2020	Re-issued for DP
6	Dec 12, 2019	Issued for BP
5	Nov 15, 2019	Re-issued for DP
4	Nov 15, 2019	Re-issued for DP
3	Aug 23, 2019	Re-issued for ADP
2	Aug 21, 2019	Re-issued for DP
1	Aug 12, 2019	Re-issued for DP
NO:	00000	NO
NO:	00000	NO

Durkin Powell Ltd
 102 - 152 West 6th Avenue
 Vancouver, BC V6C 2M7
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 www.dp.ca

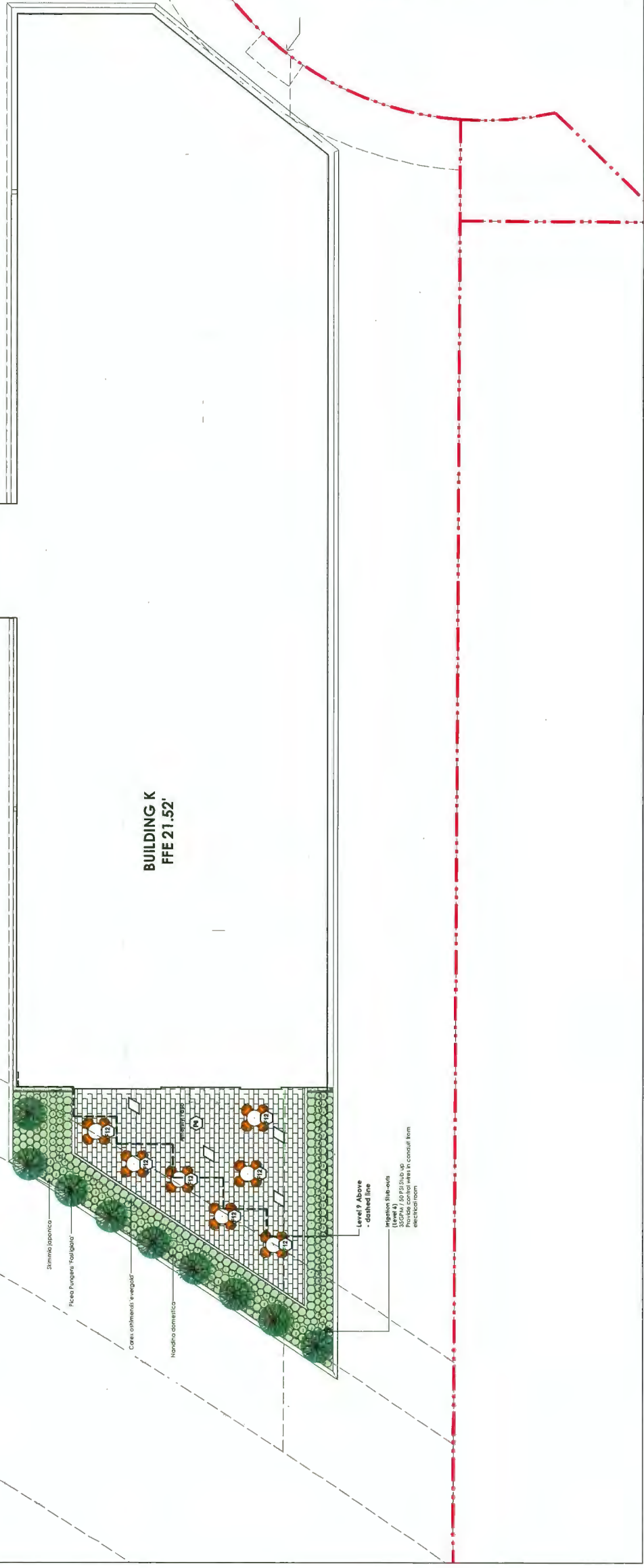
Project:
**CAFSTAN VILLAGE:
 PHASE 3&4,
 RICHMOND, BC.**

Drawn by: RJC
 Checked by: PE
 Date: 17th Oct 2019
 Scale: 1/8" = 1'-0"
 Drawing Title:

**Level 6 - Phase 4
 Landscape Plan**

Project No:
18026
 Sheet No.:

Plan #51





NO.	DATE	BY	REVISION
1	Nov 22, 2018	PK	Revised for DP
2	Nov 22, 2018	PK	Revised for DP
3	Nov 22, 2018	PK	Revised for DP
4	Nov 22, 2018	PK	Revised for DP
5	Nov 22, 2018	PK	Revised for DP
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16	Nov 22, 2018	PK	Revised for DP
17	Nov 22, 2018	PK	Revised for DP
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100	Nov 22, 2018	PK	Revised for DP

PK
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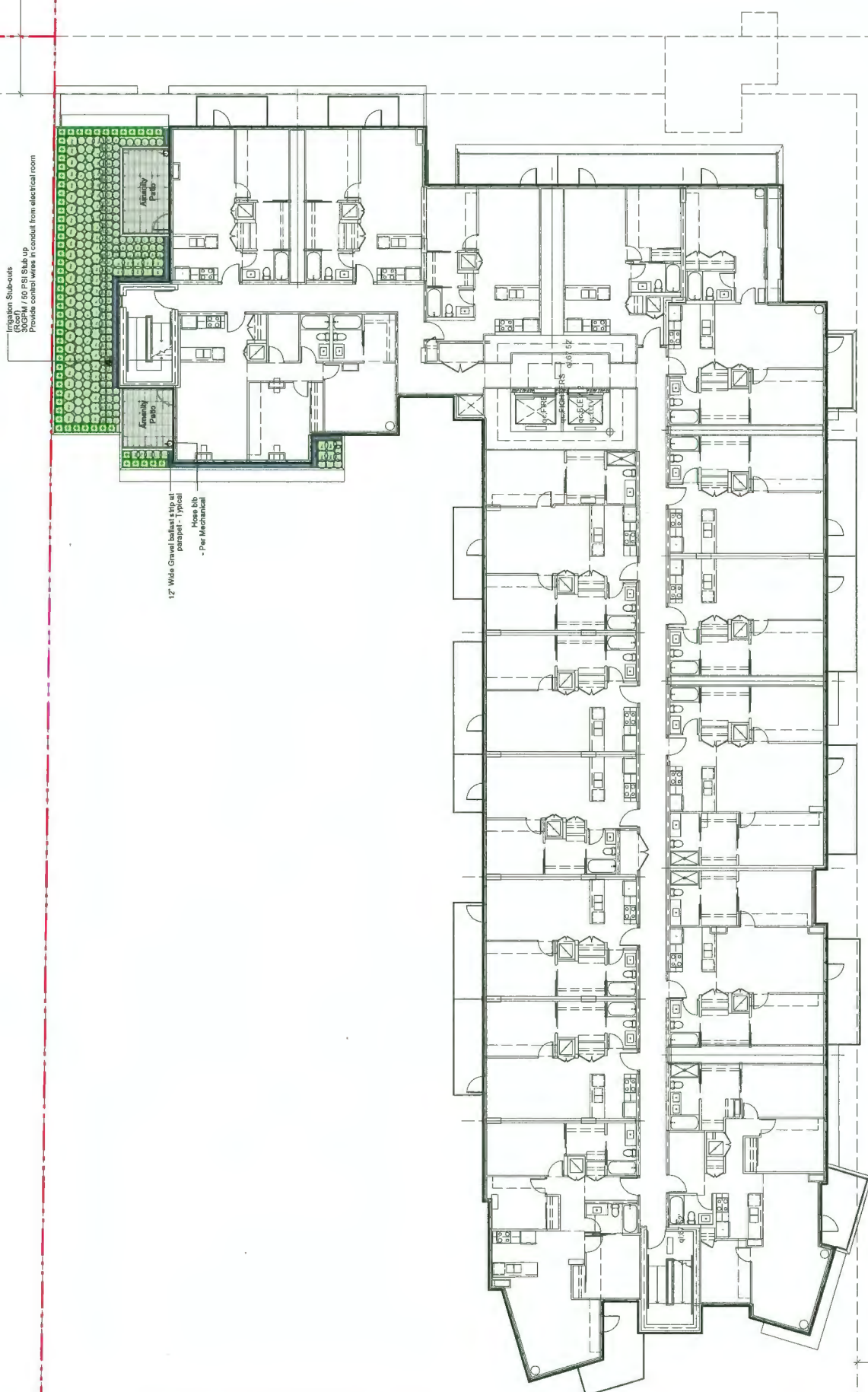
Project:
**CAFSTAN VILLAGE:
 PHASE 3&4,
 RICHMOND, BC.**

Drawn by: RDC
 Checked by: PK
 Date: 17th Oct 2018
 Scale: 1/8" = 1'-0"

Drawing Title:
**Level 7 - Phase 3
 Landscape Plan**

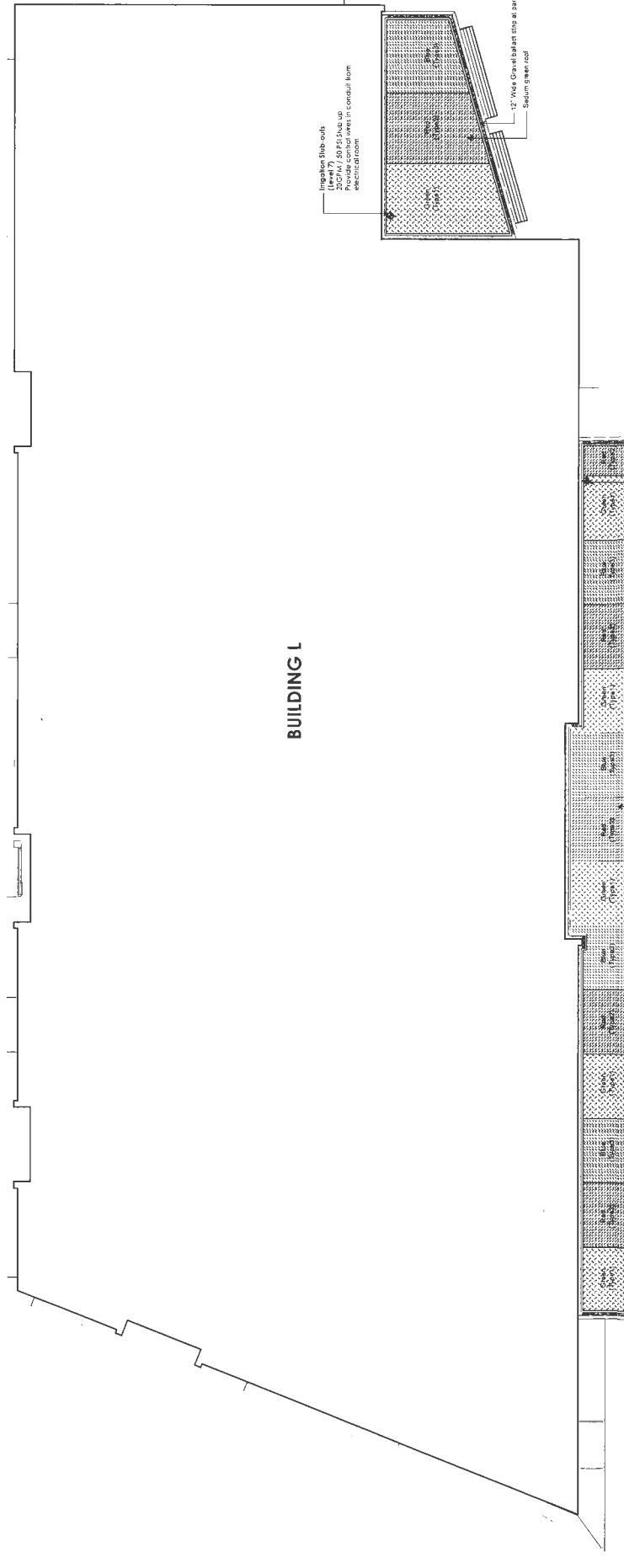
Project No:
 180026
 Sheet No.:

Plan #5J



Infiltration Sub-soups
 300GPM / 150 PSI Sub-up
 Provide control wires in conduit from electrical room

12" Wide Gravel Sub-slab
 parapet - Typical
 - Per Mechanical



BUILDING 1

Rev.	Date	Description
1	2018.03.20	Finalized for DP
2	2018.03.20	Finalized for DP
3	2018.03.20	Finalized for DP
4	2018.03.20	Finalized for DP
5	2018.03.20	Finalized for DP
6	2018.03.20	Finalized for DP
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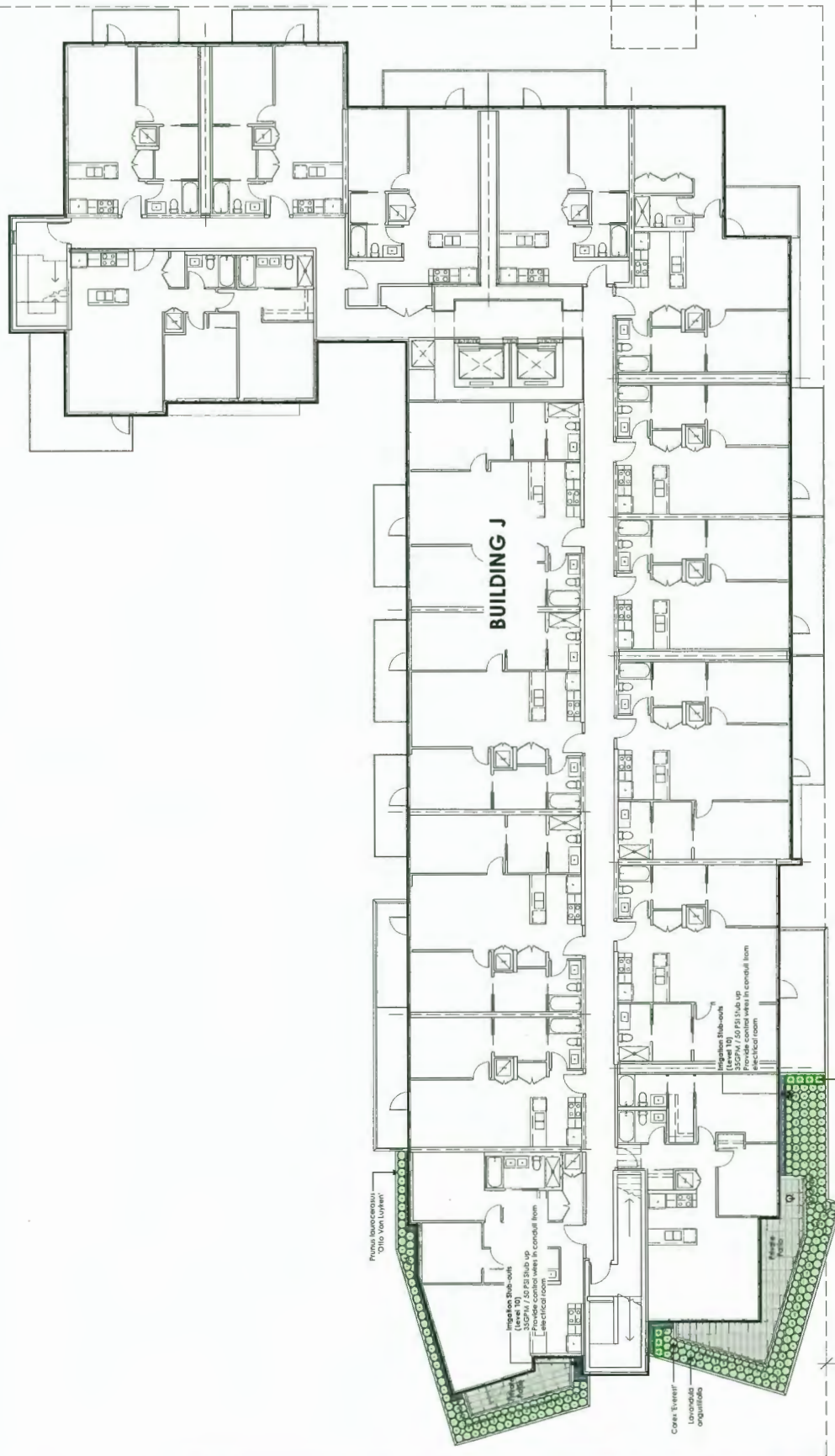
durant
Durant Inc. Ltd.
1127-1127 West 8th Avenue
Vancouver, BC V6E 1N5
Tel: 604-684-0277
www.durant.ca

Project:
**CARSTAN VILLAGE:
PHASE 3&4
RICHMOND, BC.**

Drawing title:
**Level 7 - Phase 4
Landscape Plan**

Project No.:
18026

Plan #:



7	May 03, 2020	Revised for DP
6	Dec 13, 2019	Revised for DP
5	Nov 19, 2019	Revised for DP
4	Nov 19, 2019	Revised for DP
3	Apr 23, 2019	Revised for ADP
2	Apr 03, 2019	Revised for DP
1	Nov 01, 2018	Revised for DP
NO:	100426	Rev:

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 102-1027 West 8th Avenue
 Vancouver, BC V6H 1K5
 T: 604 684 4311
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 www.dk.co.uk

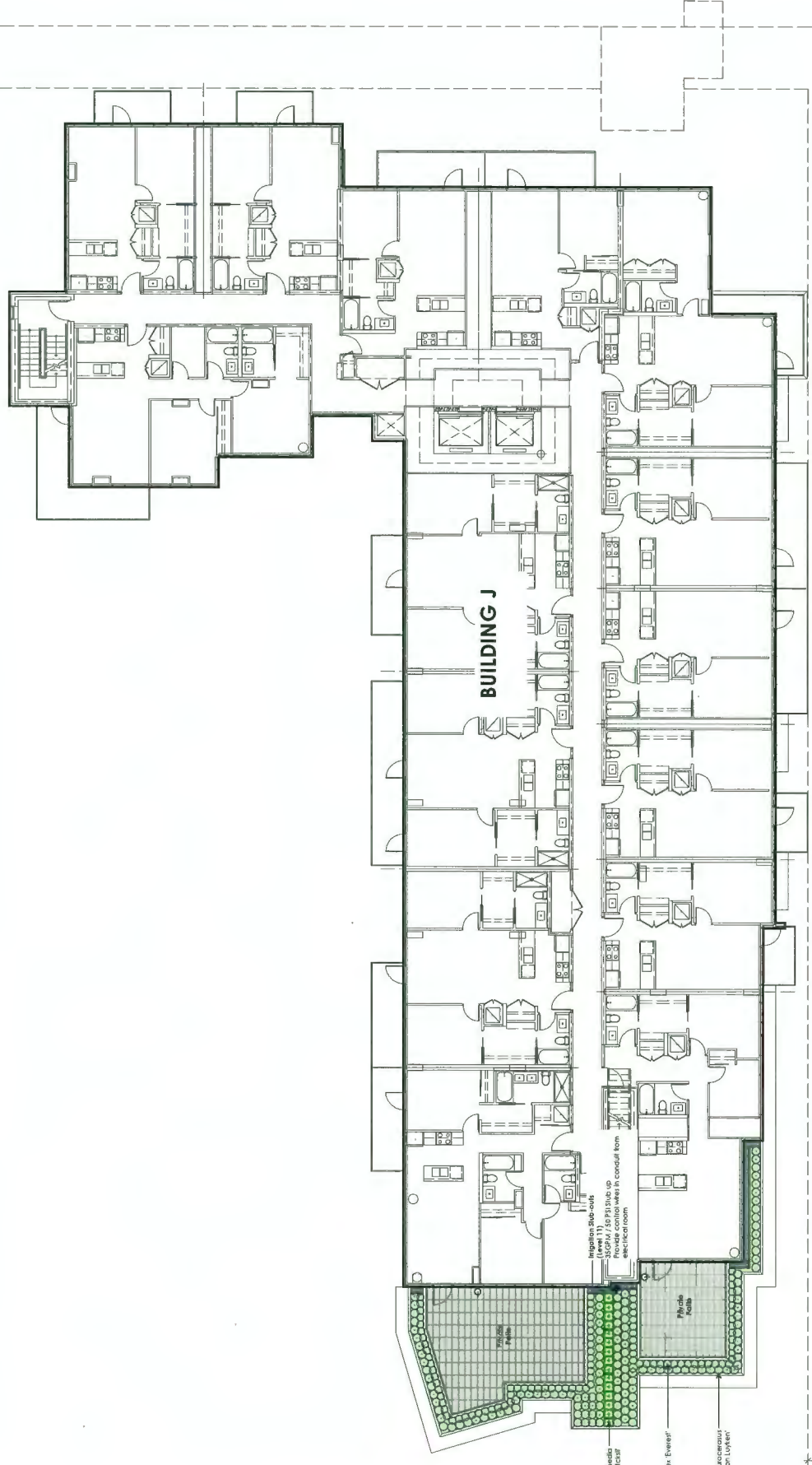
Project:
CAPSTAN VILLAGE
PHASE 3&4
RICHMOND, BC.

Drawn by: POC
 Checked by: PK
 Date: 17th Oct 2018
 Scale: 1/8" = 1'0"

Drawing Title:
Level 10 - Phase 3
Landscape Plan

Project No:
18026
 Sheet No.:

Plan #51



Rev	Date	Description
1	17th Oct 2018	Issued for DP
2	17th Oct 2018	Revised for DP
3	17th Oct 2018	Revised for DP
4	17th Oct 2018	Revised for DP
5	17th Oct 2018	Revised for DP
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50	17th Oct 2018	Revised for DP

durant
Durant Krukowski Ltd
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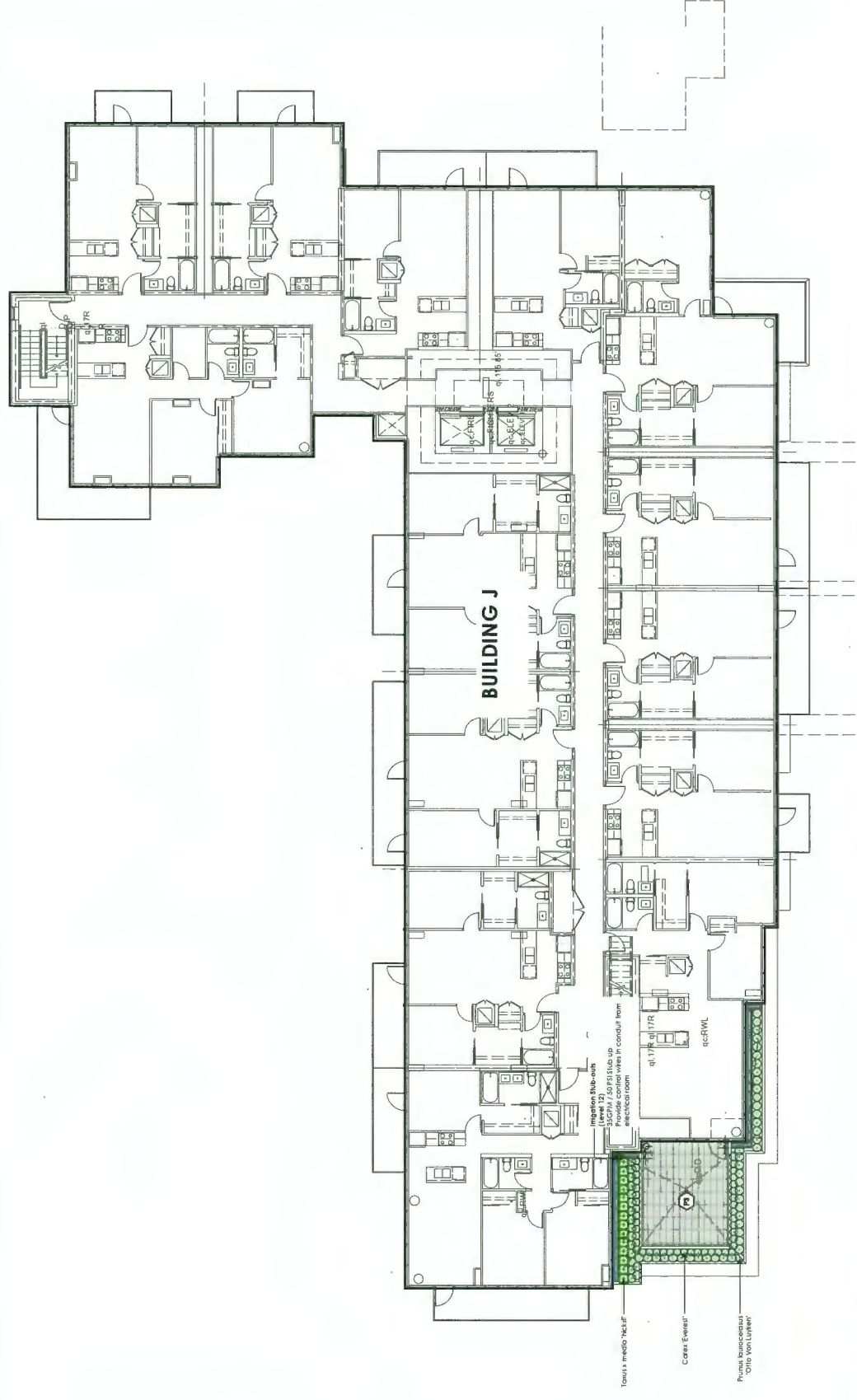
Project:
**CAPSTAN VILLAGE
PHASE 3&4,
RICHMOND, BC.**

Drawn by: RJC
Checked by: PC
Date: 17th Oct 2018
Scale: 1/8" = 1'0"

Drawing Title:
**Level 11 - Phase 3
Landscape Plan**

Project No.:
18026
Sheet No.:

Plan #5m



Rev.	Date	Description
7	16th Oct 2018	Revised for DP
6	12th Dec 2017	Revised for DP
5	15th Feb 2017	Revised for DP
4	15th Feb 2017	Revised for DP
3	21st Feb 2017	Revised for ADP
2	15th Oct 2016	Revised for DP
1	20th Sep 2016	Revised for DP
001	15th Sep 2016	Issue

Drumheller Ltd
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Edmonton, AB T6H 1M6
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Project:
**CAPSTAN VILLAGE
PHASE 3&4
RICHMOND, BC.**

Drawn by: RYC
Checked by: PC
Date: 17th Oct 2018
Scale: 1/8" = 1'-0"

Drawing Title:
**Level 12- Phase 3
Landscape Plan**

Project No:
18026
Sheet No.:

Plan #5n



6	Nov 03, 2020	Re-issued for DP
5	Nov 18, 2019	Re-issued for DP
4	Nov 18, 2019	Re-issued for DP
3	Apr 23, 2017	Issued for ADP
2	May 01, 2017	Re-issued for DP
1	Nov 20, 2016	Issued for DP
NO.	NO.	NO.
Rev:	NO.	NO.

pk
 Daniels & Associates Ltd
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 Vancouver, BC V6H 1R9
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 www.dak.ca

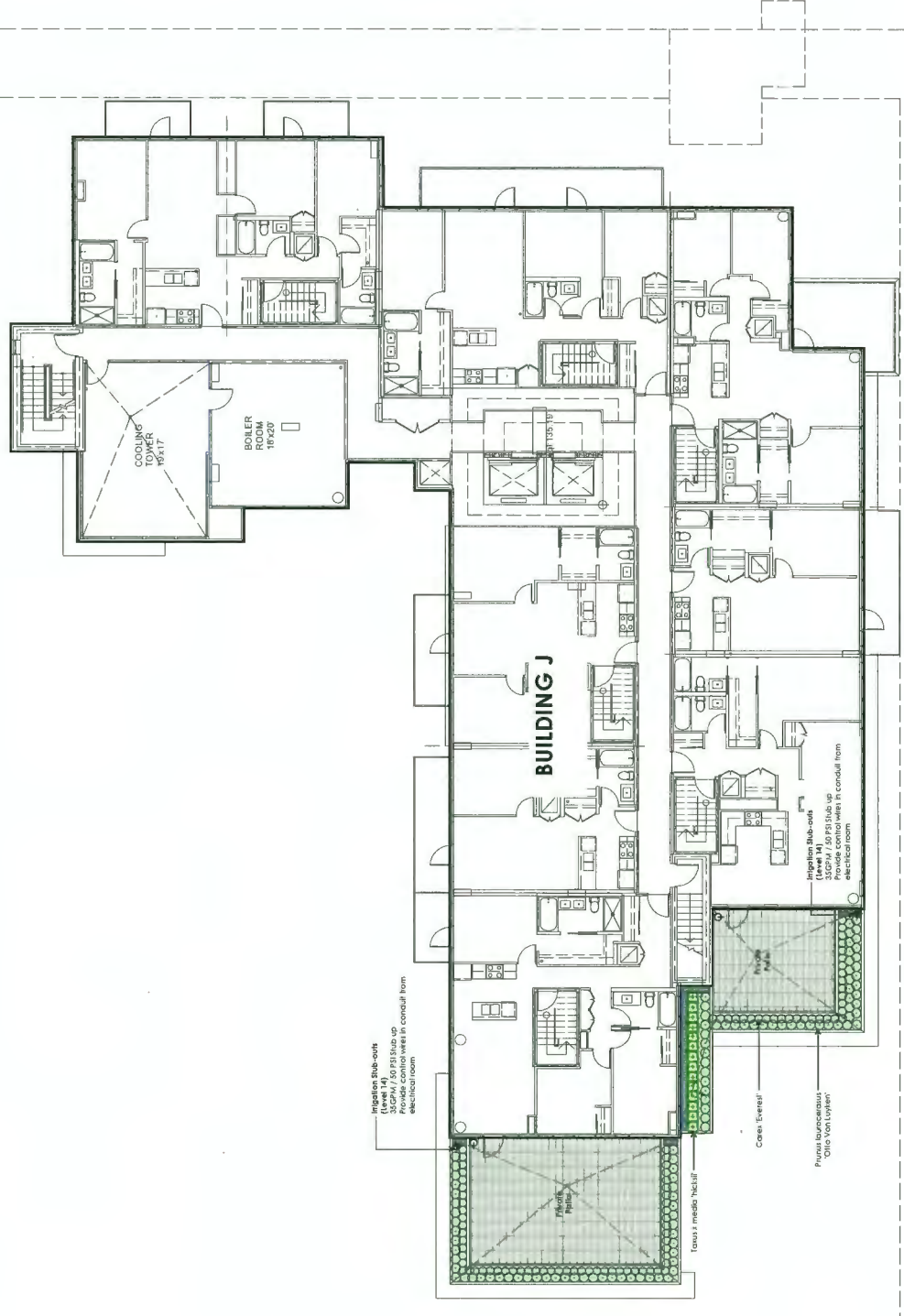
Project:
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 PHASE 3&4,
 RICHMOND, BC.**

Drawn By: RDC
 Checked by: PE
 Date: 17th Oct 2018
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Drawing Title:
**Level 14- Phase 3
 Landscape Plan**

Project No:
18026
 Sheet No:

Plan #5p



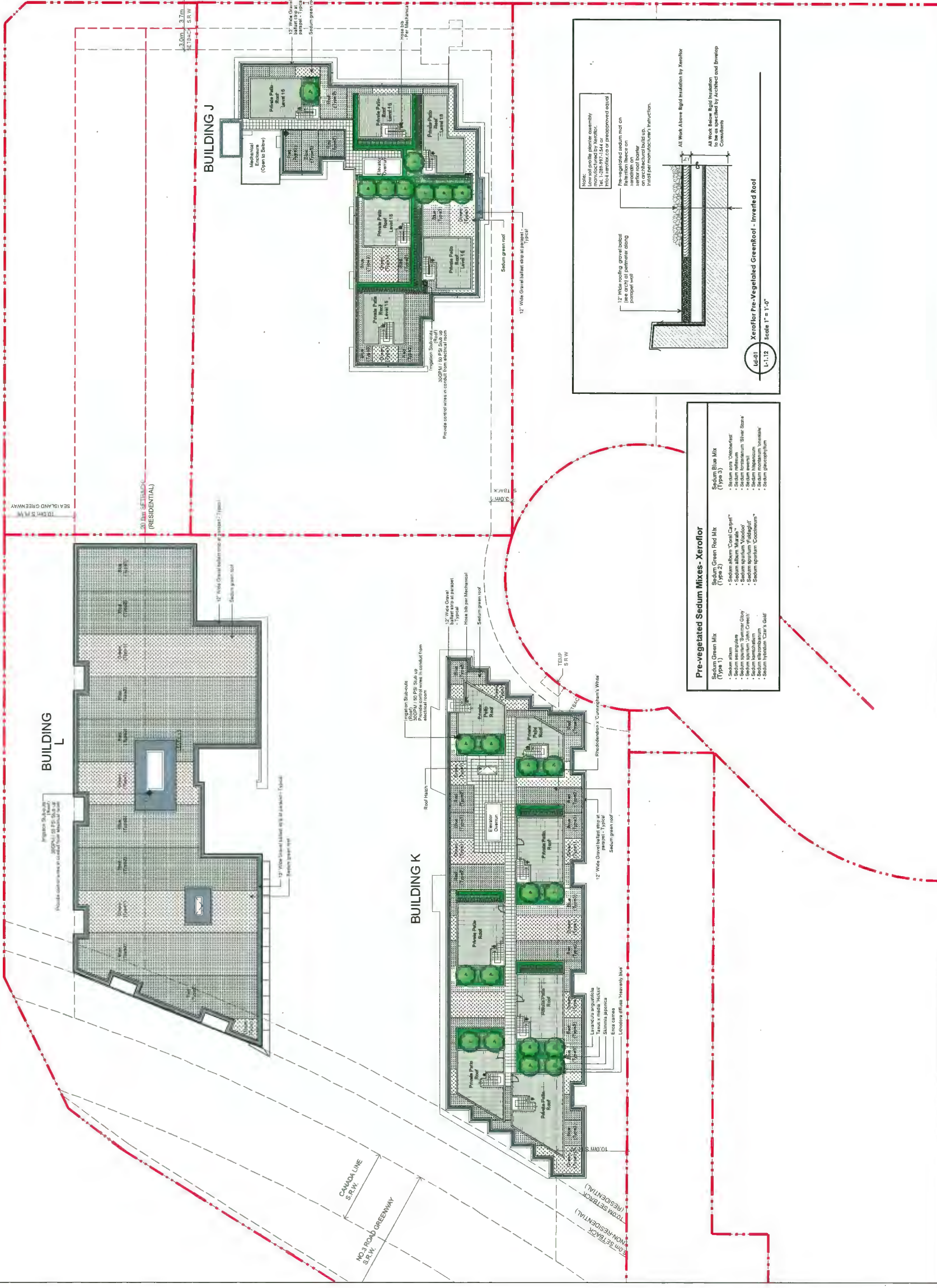
Rising Ribs
 (Level 14) 14-118 Rise up
 Provide control wires to conduit from
 electrical room

Falling Ribs
 (Level 14) 14-118 Rise up
 Provide control wires to conduit from
 electrical room

Core/Elevator

Pit for Cable

Tower 3 mezzanine 'Ribs'



Rev.	Date	Description
1	17th Oct 2018	Issued for RFP
2	17th Oct 2018	Issued for RFP
3	17th Oct 2018	Issued for RFP
4	17th Oct 2018	Issued for RFP
5	17th Oct 2018	Issued for RFP
6	17th Oct 2018	Issued for RFP
7	17th Oct 2018	Issued for RFP

Dunes Real, Ltd
 102-1537 West 8th Avenue
 Richmond, BC V6V 1W6
 Tel: 1-281-971-2444
 Fax: 604-884-8771
 www.dunesreal.com

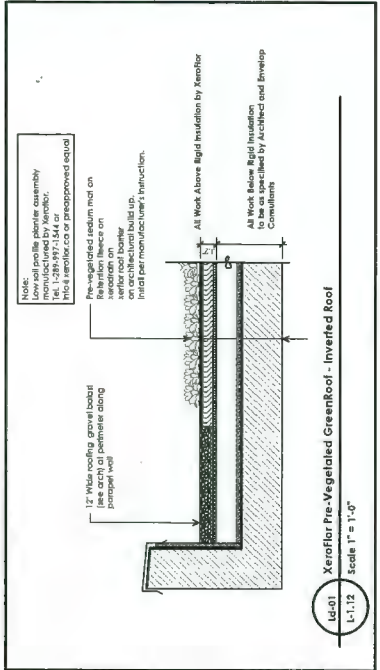
Project:
**CAPSTAN VILLAGE:
 PHASE 3&4,
 RICHMOND, BC.**

Drawn by: RJC
 Checked by: PK
 Date: 17th Oct 2018
 Scale: 1/16" = 1'-0"
 Drawing Title:

**Roof Levels Phase 3&4
 Landscape Plan**

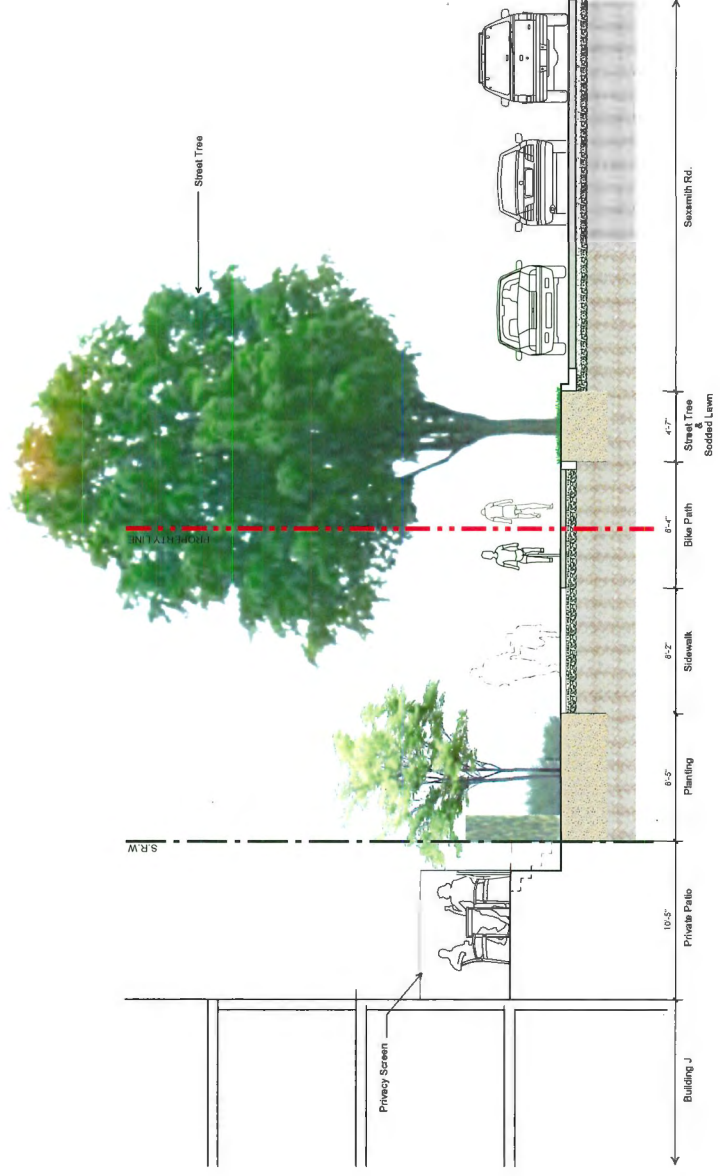
Project No:
18026
 Sheet No.:

Plan #5q

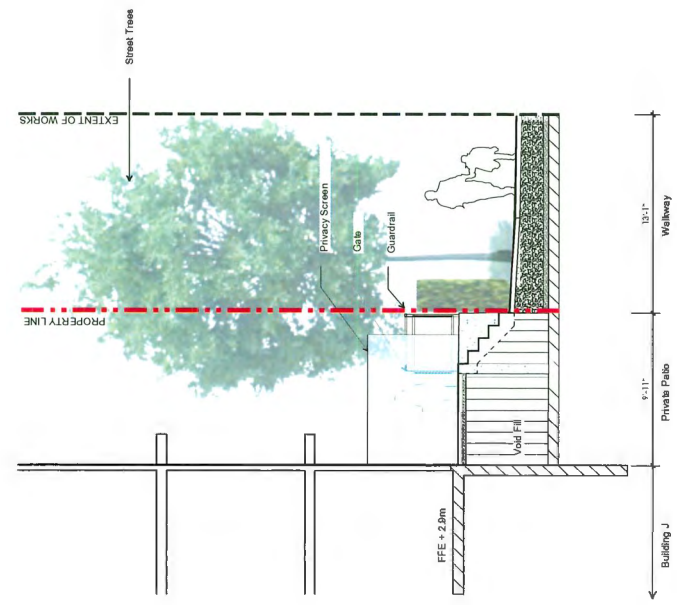


Pre-vegetated Sedum Mixes - Xeroflor

Sedum Green Mix (Type 1)	Sedum Green Red Mix (Type 2)	Sedum Blue Mix (Type 3)
<ul style="list-style-type: none"> Sedum album Sedum album 'Coral Carpet' Sedum album 'Coral Carpet' Sedum album 'Coral Carpet' Sedum album 'Coral Carpet' Sedum album 'Coral Carpet' Sedum album 'Coral Carpet' 	<ul style="list-style-type: none"> Sedum album 'Coral Carpet' Sedum album 'Coral Carpet' Sedum album 'Coral Carpet' Sedum album 'Coral Carpet' Sedum album 'Coral Carpet' Sedum album 'Coral Carpet' Sedum album 'Coral Carpet' 	<ul style="list-style-type: none"> Sedum album 'Coral Carpet' Sedum album 'Coral Carpet' Sedum album 'Coral Carpet' Sedum album 'Coral Carpet' Sedum album 'Coral Carpet' Sedum album 'Coral Carpet' Sedum album 'Coral Carpet'



SECTION (A) - SEXSMITH ROAD - PHASE 3
Scale 1/4"=1'-0"



SECTION (B) - PRIVATE ROAD - PHASE 2 + PHASE 3
Scale 1/4"=1'-0"

WORK BY OTHERS

No.	Date	Description
1	Nov 03, 2018	Issued for DP
2	Nov 03, 2018	Revised for DP
3	Nov 03, 2018	Issued for ADP
4	Nov 03, 2018	Revised for ADP
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49	Nov 03, 2018	Issued for DP
50	Nov 03, 2018	Revised for DP

Revisions:

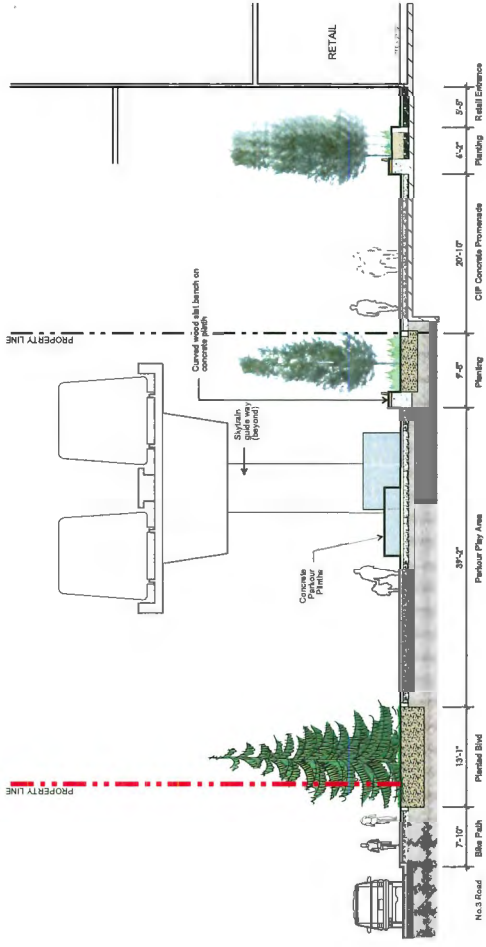
durantekruk
Durantekruk Ltd
102 - 1832 West 8th Avenue
Richmond BC V6V 1W6
Tel: 604 271 1111
Fax: 604 271 1111
www.durantekruk.com

Project:
**CAFSTAN VILLAGE:
PHASE 3&4,
RICHMOND, BC.**

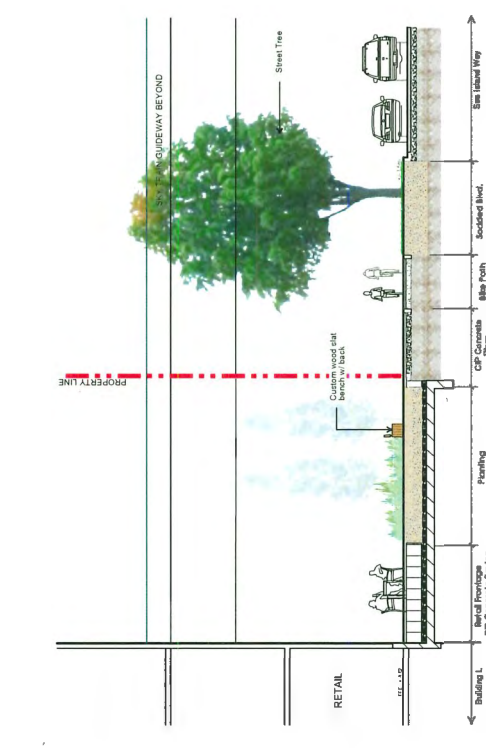
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Checked by: PK
Date: 17th Oct 2018
Scale: As shown
Drawing Title:
Landscape Sections

Project No:
18026
Sheet No:

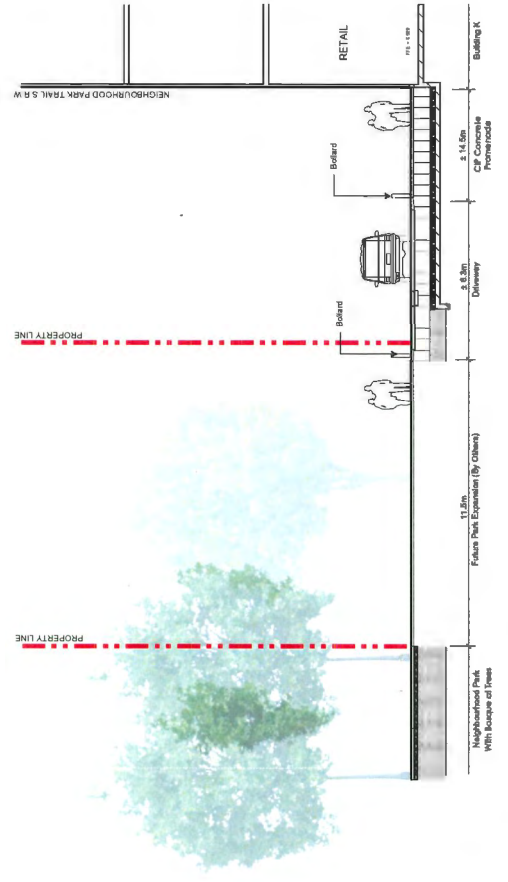
Plan #5r



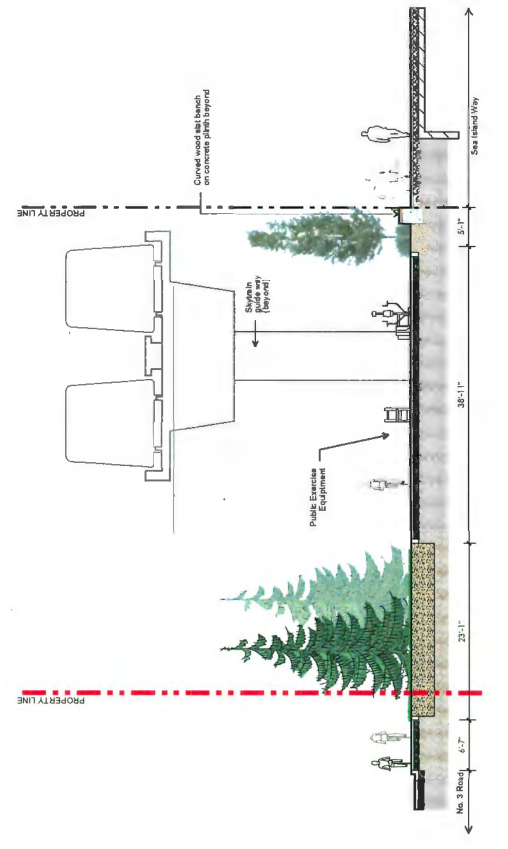
SECTION (D) - NO. 3 ROAD GREENWAY / RAINGARDEN / RETAIL FRONTAGE PROMENADE
Scale 1/8"=1'-0"



SECTION (C) - SEA ISLAND WAY GREENWAY - PHASE 4
Scale 1/8"=1'-0"



SECTION (F) - RETAIL FRONTAGE AND NEIGHBOURHOOD PARK
Scale 1/8"=1'-0"



SECTION (E) - NO. 3 ROAD GREENWAY / RAINGARDEN / RETAIL FRONTAGE PROMENADE
Scale 1/8"=1'-0"

NO.	DATE	REVISIONS
6	MAR 03, 2025	Revised for DP
5	MAR 03, 2025	Revised for DP
4	MAR 03, 2025	Revised for DP
3	MAR 23, 2019	ISSUED FOR ADP
2	MAR 01, 2019	Revised for DP
1	MAR 01, 2019	ISSUED FOR DP

Revisions:

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Durantepark, Ltd
102-1537 West 8th Avenue
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Project:
**CAPSTAN VILLAGE:
PHASE 3&4,
RICHMOND, BC.**

Drawn by: RDC
Checked by: PE
Date: 17th Oct 2018
Scale: As shown
Drawing Title:
Landscape Sections

Project No:
180026
Sheet No:

Plan #5s

1 Concrete Paving - On Grade
Scale 1" = 1'-0"

NOTE: 1. All concrete slabs shall be cast in place. 2. All concrete slabs shall be finished with a broom finish. 3. All concrete slabs shall be cured with a minimum of 7 days.

2 Precast Concrete Unit Pavers - On Grade
Scale 1" = 1'-0"

NOTE: 1. All pavers shall be installed in accordance with the manufacturer's instructions. 2. All pavers shall be set in a 1/2 inch thick sand bedding. 3. All pavers shall be compacted with a plate compactor.

3 Pavers on Slab - Over Patios
Scale 1" = 1'-0"

NOTE: 1. All pavers shall be installed in accordance with the manufacturer's instructions. 2. All pavers shall be set in a 1/2 inch thick sand bedding. 3. All pavers shall be compacted with a plate compactor.

4 Hydrated Slabs on Inverted Roof
Scale 1" = 1'-0"

NOTE: 1. All slabs shall be installed in accordance with the manufacturer's instructions. 2. All slabs shall be set in a 1/2 inch thick sand bedding. 3. All slabs shall be compacted with a plate compactor.

5 Hydrated Slabs - On Grade
Scale 1" = 1'-0"

NOTE: 1. All slabs shall be installed in accordance with the manufacturer's instructions. 2. All slabs shall be set in a 1/2 inch thick sand bedding. 3. All slabs shall be compacted with a plate compactor.

6 24x24" Concrete Pavers Set in Levee on Slab - Over Patios
Scale 1" = 1'-0"

NOTE: 1. All pavers shall be installed in accordance with the manufacturer's instructions. 2. All pavers shall be set in a 1/2 inch thick sand bedding. 3. All pavers shall be compacted with a plate compactor.

7 24x24" Concrete Pavers Set in Levee on Slab - Inverted Roof
Scale 1" = 1'-0"

NOTE: 1. All pavers shall be installed in accordance with the manufacturer's instructions. 2. All pavers shall be set in a 1/2 inch thick sand bedding. 3. All pavers shall be compacted with a plate compactor.

8 Pour in Place Resilient Surfing
Scale 1" = 1'-0"

NOTE: 1. All resilient surfing shall be installed in accordance with the manufacturer's instructions. 2. All resilient surfing shall be set in a 1/2 inch thick sand bedding. 3. All resilient surfing shall be compacted with a plate compactor.

9 Sodded Lawn on Slab - Over Patios
Scale 1" = 1'-0"

NOTE: 1. All sod shall be installed in accordance with the manufacturer's instructions. 2. All sod shall be set in a 1/2 inch thick sand bedding. 3. All sod shall be compacted with a plate compactor.

10 Sodded Lawn on Slab - Inverted Roof
Scale 1" = 1'-0"

NOTE: 1. All sod shall be installed in accordance with the manufacturer's instructions. 2. All sod shall be set in a 1/2 inch thick sand bedding. 3. All sod shall be compacted with a plate compactor.

11 Play Sand
Scale 1" = 1'-0"

NOTE: 1. All play sand shall be installed in accordance with the manufacturer's instructions. 2. All play sand shall be set in a 1/2 inch thick sand bedding. 3. All play sand shall be compacted with a plate compactor.

12 Shrub Planting on Slab - Over Patios
Scale 1" = 1'-0"

NOTE: 1. All shrub planting shall be installed in accordance with the manufacturer's instructions. 2. All shrub planting shall be set in a 1/2 inch thick sand bedding. 3. All shrub planting shall be compacted with a plate compactor.

13 Shrub Planting on Slab - Inverted Roof
Scale 1" = 1'-0"

NOTE: 1. All shrub planting shall be installed in accordance with the manufacturer's instructions. 2. All shrub planting shall be set in a 1/2 inch thick sand bedding. 3. All shrub planting shall be compacted with a plate compactor.

14 Urban Agriculture Planting on Slab - Inverted Roof
Scale 1" = 1'-0"

NOTE: 1. All urban agriculture planting shall be installed in accordance with the manufacturer's instructions. 2. All urban agriculture planting shall be set in a 1/2 inch thick sand bedding. 3. All urban agriculture planting shall be compacted with a plate compactor.

15 Gravelly Tire Paving on Slab
Scale 1" = 1'-0"

NOTE: 1. All gravelly tire paving shall be installed in accordance with the manufacturer's instructions. 2. All gravelly tire paving shall be set in a 1/2 inch thick sand bedding. 3. All gravelly tire paving shall be compacted with a plate compactor.

16 Typical Tree Planting on Slab - Over Patios
Scale 1" = 1'-0"

NOTE: 1. All tree planting shall be installed in accordance with the manufacturer's instructions. 2. All tree planting shall be set in a 1/2 inch thick sand bedding. 3. All tree planting shall be compacted with a plate compactor.

17 Typical Tree Planting on Slab with Drain Access Pipe in Planters on Slab - Inverted Roof
Scale 1" = 1'-0"

NOTE: 1. All tree planting shall be installed in accordance with the manufacturer's instructions. 2. All tree planting shall be set in a 1/2 inch thick sand bedding. 3. All tree planting shall be compacted with a plate compactor.

19 Drop Ship at Building Foot
Scale 1" = 1'-0"

NOTE: 1. All drop ship shall be installed in accordance with the manufacturer's instructions. 2. All drop ship shall be set in a 1/2 inch thick sand bedding. 3. All drop ship shall be compacted with a plate compactor.

General Notes:

- Do not use fire retardant.
- Protect the finish surface during curing. Ensure no foot traffic for 10 days of curing.
- Ensure the location does not conflict with Underground Services. Call before digging.

NOTE: 1. All concrete slabs shall be cast in place. 2. All concrete slabs shall be finished with a broom finish. 3. All concrete slabs shall be cured with a minimum of 7 days.

Revisions:

No.	Date	Description
1	10/13/2018	Revised for DP
2	10/13/2018	Revised for DP
3	10/13/2018	Revised for DP
4	10/13/2018	Revised for DP
5	10/13/2018	Revised for DP
6	10/13/2018	Revised for DP
7	10/13/2018	Revised for DP
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14	10/13/2018	Revised for DP
15	10/13/2018	Revised for DP
16	10/13/2018	Revised for DP
17	10/13/2018	Revised for DP
18	10/13/2018	Revised for DP
19	10/13/2018	Revised for DP
20	10/13/2018	Revised for DP

Project: CAFSTAN VILLAGE: PHASE 3&4, RICHMOND, BC.

Down by: RDC

Checked by: PK

Date: 17th Oct 2018

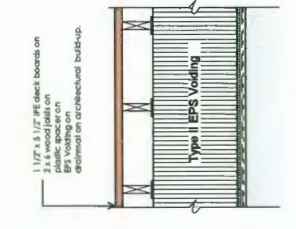
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Drawing Title: Landscape Details Phase 3&4

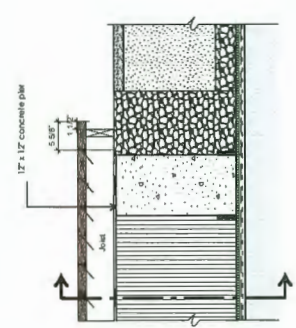
Project No.: 18026

Sheet No.:

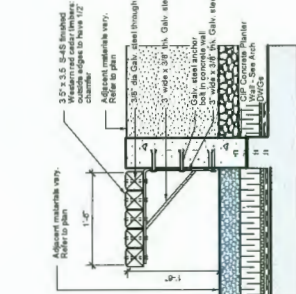
Plan #5v



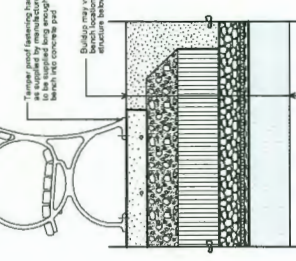
1 IPE Decking in Purling
L-1.2 Scale: 1" = 1'-0"



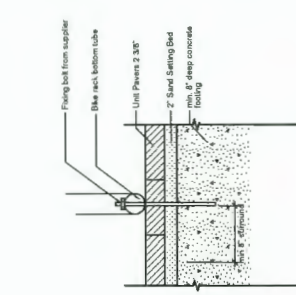
2 IPE Decking in Purling
L-1.2 Scale: 1" = 1'-0"



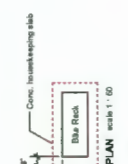
3 Curved Bench
L-1.3 Scale: 1" = 1'-0"



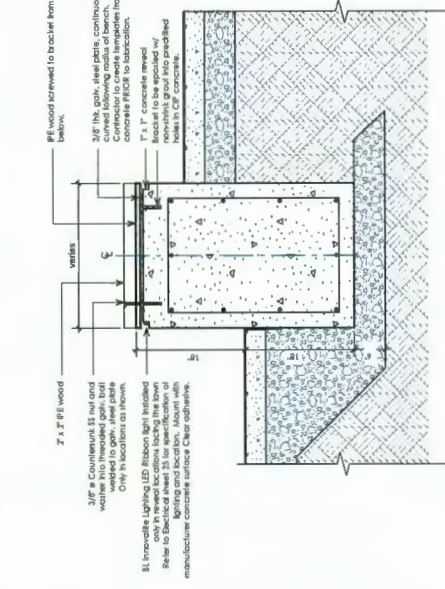
4 Typical Bench Installation Detail
L-1.1 Scale: 1" = 1'-0"



5 Typical Black Reck Installation Detail
L-1.1 Scale: 1" = 1'-0"



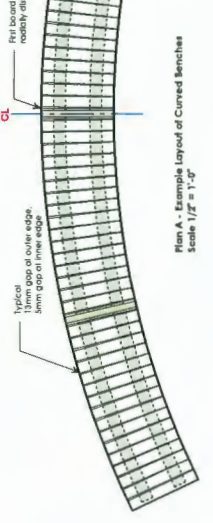
PLAN Scale: 1" = 1'-0"



Section Scale: 1" = 1'-0"

6 Curved Wood Bench on Concrete Wall
L-1.1 Scale: 1" = 1'-0"

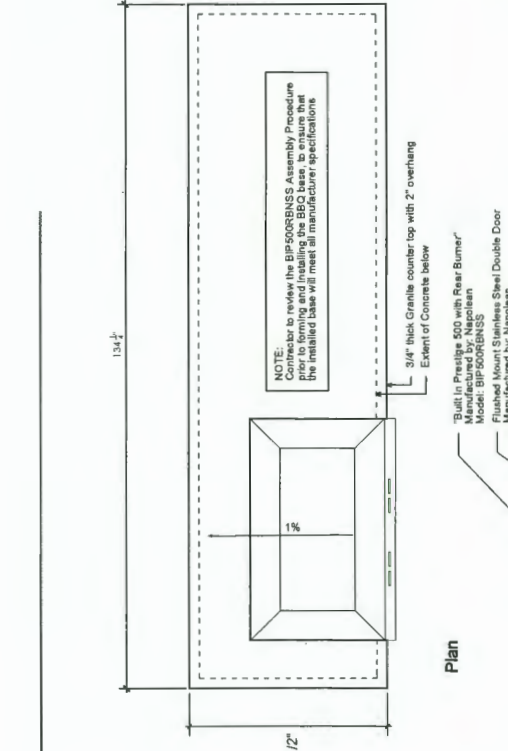
AS SHOWN



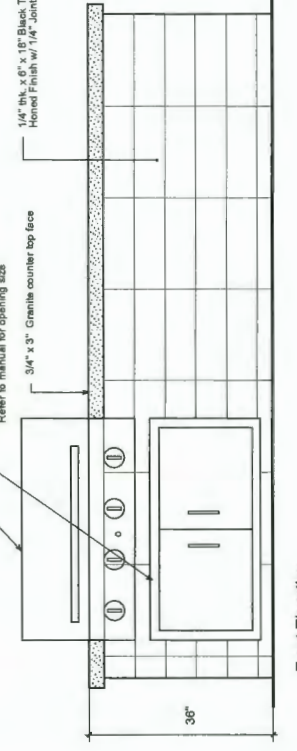
Plan A - Example Layout of Curved Benches
Scale: 1/2" = 1'-0"



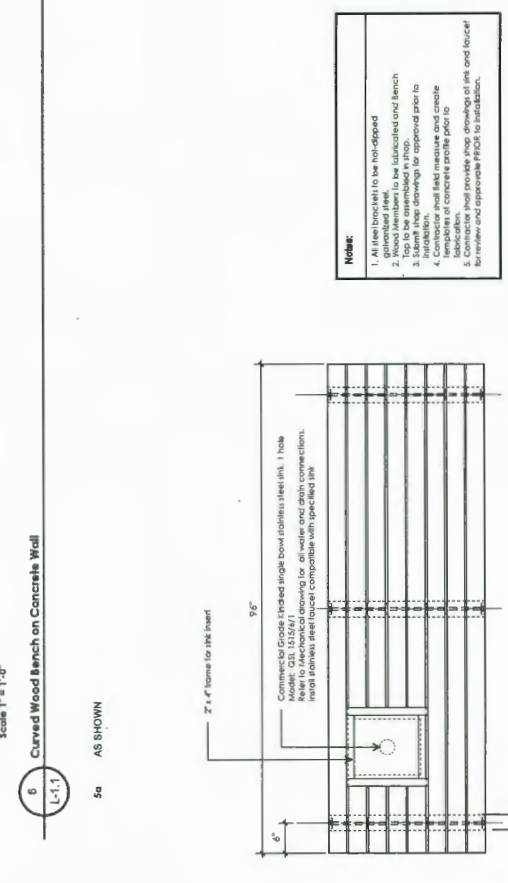
NOTE:
1. All bench steel brackets to be hot-dipped galvanized steel.
2. Top to be assembled in shop.
3. Installation drawing for approval prior to fabrication.
4. Road of benches vary. Refer to Plan for layout.
5. Dimensions of benches vary. Refer to manufacturer's literature.



Plan Scale: 1" = 1'-0"

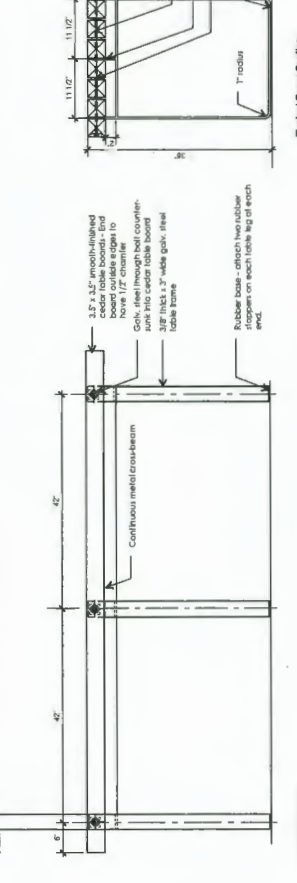


Front Elevation Scale: 1" = 1'-0"



Section Scale: 1" = 1'-0"

AS SHOWN



Front Elevation Scale: 1" = 1'-0"

NO.	DATE	DESCRIPTION	BY	CHKD.
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49	10/20/18	Revised for DP	PK	PK
50	10/20/18	Revised for DP	PK	PK

Durham Field, Ltd
102 - 1832 West 8th Avenue
Richmond, BC V6V 1K6
Tel: 604.273.1188
Fax: 604.273.1189
www.df.ca

Project:
CAPSTAN VILLAGE:
PHASE 3&4
RICHMOND, BC.

Drawn By: RPOC
Checked By: PK
Date: 17th Oct 2018
Scale: 1/8" = 1'-0"

Drawing Title:
Landscape Details
Phase 3&4

Project No.:
18026
Sheet No.:

Plan #5w

INTRODUCTION

Pinnacle Living (Capstan Village) Lands Inc. is preparing to develop a mixed use project including residential, office, hotel and retail on the following properties in Richmond BC:

- 3208 Carscallen Road & 3200 No. 3 Road

This proposed project is the third and fourth of four phases of development under the rezoning application RZ-12-01081.

This project proposes 261 market units, 41 affordable housing units, shared indoor & outdoor amenity spaces, 200 hotel units, 150 office units, and 10,000 sqm of Grade Level Retail, Hotel and Office space. The conceptual design of this project is consistent with the City of Richmond's Official Community Plan (OCP) and the City Centre Area Plan (CCAP).

This project encompasses sustainability from the outset to ensure the building and site achieves a minimum LEED Silver equivalency.



DESIGN RATIONALE

POLICY: The proposed form of development is consistent with current municipal policies and guidelines. The following policies apply to this site:

- City of Richmond Zoning Bylaw ZMU25 Capstan Village (City Centre)
- City of Richmond Official Community Plan
- City of Richmond Centre Area Plan
- Capstan Village Guidelines

SITING:

The proposed development is located on Lots C & D as described in the Zoning Bylaw ZMU25 and is identified as Phases 3 & 4 of a four phase mixed use development within the rezoning application RZ-12-01081.

Lot C is located to the west of Saxemith Road and north of the private road which will be constructed as part of the Phase 2 development. Lot D is located to the east of No. 3 Road and to the south of Sea Island Way.

URBAN FORM:

Following the guidelines encapsulated in the City Centre Area Plan (CCAP), this proposal provides a form of development that is consistent with the City Centre Area Plan, the CCAP and the Urban Form Guidelines. The development is sited to take full advantage of the street frontage and provides access around the site is encouraged with continuous sidewalks and the continuation of the sidewalk and bicycle paths at Saxemith Road.

This development follows the approved rezoning meeting with a stepped lower rising above a 4-story landscaped podium on the Phase 3 site, and 2 towers rising above a 4-story landscaped podium on the Phase 4 site. All 3 towers are organized to maintain the required 80' separation between towers and are organized to provide a shared auto-court with the access provided at the north side of the Carscallen Road corridor.

The intent of the architectural organization of the individual built forms is to create an attractive and identifiable image for the City Centre district, including strong horizontal elements offset by complementary vertical elements emphasizing the lower forms. Large outdoor spaces will be provided in the form of terraces and roof decks where building masses are setback.

The podium structure rises to 4 stories and is articulated by framed elements of various widths and heights, creating a stepped mass within the streetwall facade. Vertical elements interrupt the streetwall as they ascend from the towers above down to punctuate the entrances at street level.

The 3 tower heights range from 12 - 14 stories to a maximum height of 47.0m gaeoetic as permitted in the ZMU25 bylaw and feature varying floor plate creating distinct tower forms and setbacks. The setbacks create a stepped mass within the streetwall facade. The setbacks at the uppermost floors will contribute to a more interesting and attractive skyline.

DENSITY:

A minimum total residential floor area of 24,105 sqm is proposed, including 2,007 sqm provided for affordable housing units. In total, 322 units are proposed with 281 market-housing units and 41 affordable housing units. The affordable housing units for Phase 3 and 4 are dispersed over 5 buildings. The remaining market units are provided with Basic Universal Housing standards. Additionally, 23 of the market units are provided with Basic Universal Housing features, while the remaining market units will provide for aging-in-place features as required by the OCP.

On Phase 4, indoor and outdoor amenity spaces are provided for the shared use of all residents in the development. The amenity spaces include a shared indoor amenity space on Phase 4 and the indoor/outdoor amenity spaces on Phase 3 are provided for the use of Phase 3 residents. The indoor and outdoor amenity spaces in both phases meet the spatial requirements of the OCP and CCAP. All Common spaces are designed to be HC accessible.

MATERIALS:

A material palette that contributes to the village character by maintaining continuity yet varying the textures and colors of the materials is proposed. The materials palette will be chosen to create a unique expression. Breaking down the scale at the townhouse level while introducing variation within the window wall is intended to provide scale and livability with the Urban context of the surrounding area. The ground level/retail spaces to attract the streetscape facing the park and No.3 Road.

TRAFFIC / PARKING:

Parking is provided on Phase 3 within a 4-level parking structure, two of which are below grade. Access is provided at grade level, via the auto-court on Phase 4. Parking is provided on Phase 4 within a 2-level parking structure located below grade. The parking structure for Phases 2, 3 and 4 is located on the east side of the site, adjacent to the street. Access to the site is provided through either Phase 2 or Phase 4. Access to the adjacent site to the north of Phase 2, 3131 Saxemith Road is also provided through the auto-court and the Phase 3 parking structure at grade.

The Zoning Bylaw ZMU25 allows for the minimum number of required non-residential parking spaces on Phase 4 to be reduced by 250 and the minimum number of total required residential visitor spaces to be reduced by 60%.

Bicycle parking is provided as required by the zoning bylaws including electrical outlets provided to service 10% of the resident bike spaces.

All areas located below the flood plain level (2.9 gaeoetic) will be serviced by attic as required by the City Zoning Bylaws.

LEED:

This project is proposed to meet a minimum LEED Silver equivalency.

OPTED:

OPTED design strategies implemented in this proposal include surveillance, territorially, lighting and landscaping. The public open spaces, including sidewalks, bike paths, plazas, and the pedestrian green link will be visually open and well lit, with units fronting these spaces to provide oversight.

Units at street level are separated from the public realm by landscaped planters, quercus, and other street furniture. The building facade is designed to be visually open and well lit overlooking to the street. The courtyard and outdoor gardens will also be visually open and well lit with multiple means of access provided. The parking structure and lobbies are designed to minimize above and below ground levels, and the parking structure will be painted to provide a visual link to the surrounding area. In elevator lobbies will be provided in accordance with the required building code equivalent.

PINNACLE LIVING @ CAPSTAN VILLAGE
PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: **PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.**

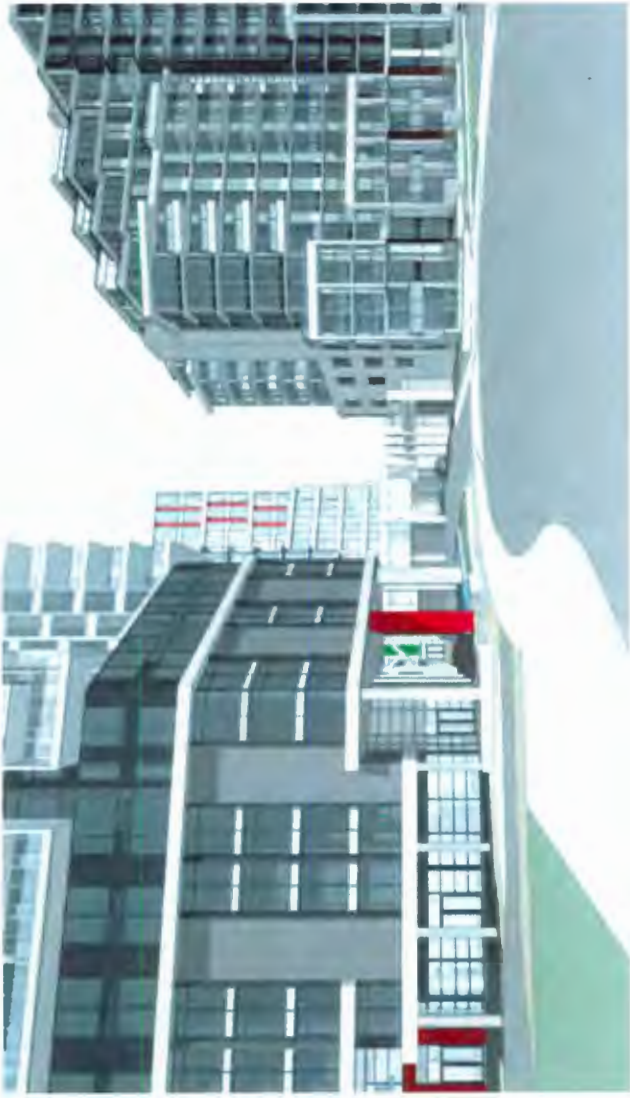
bingham hill
 ARCHITECTS

INTRODUCTION
RATIONALE
LOCATION MAP

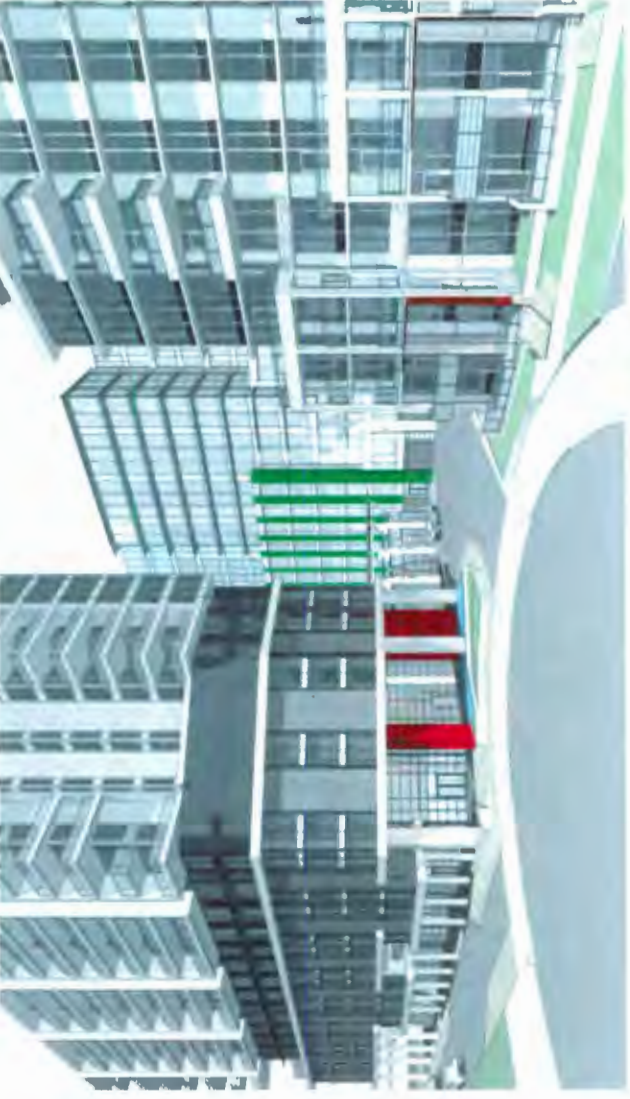
PROJECT # 1725
 PLAN # 1b
 ALL DEVELOPERS SHALL BE SERVED ON SITE

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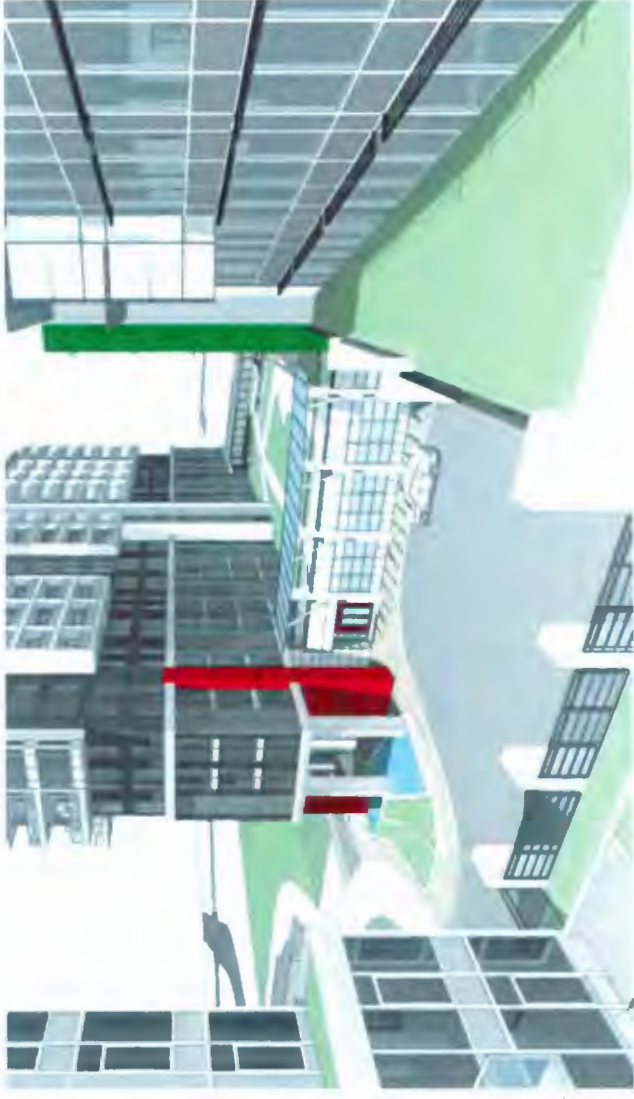
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VIEW TO AUTOCOURT FROM SOUTHWEST



VIEW TO AUTOCOURT FROM SOUTHEAST

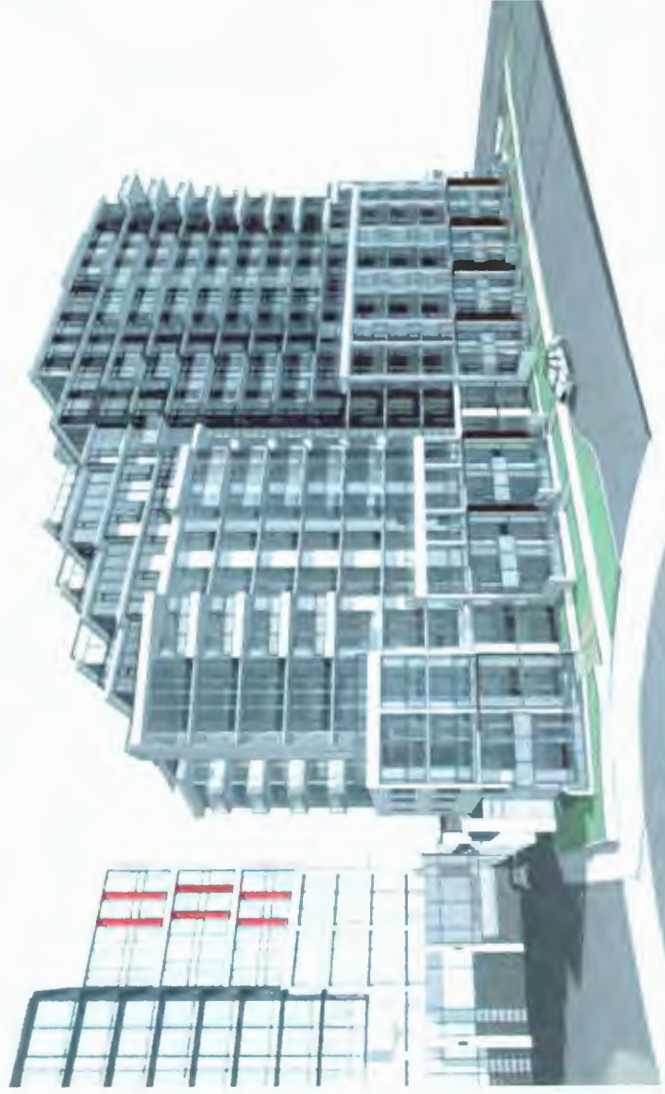


VIEW TO AUTOCOURT FROM NORTHEAST

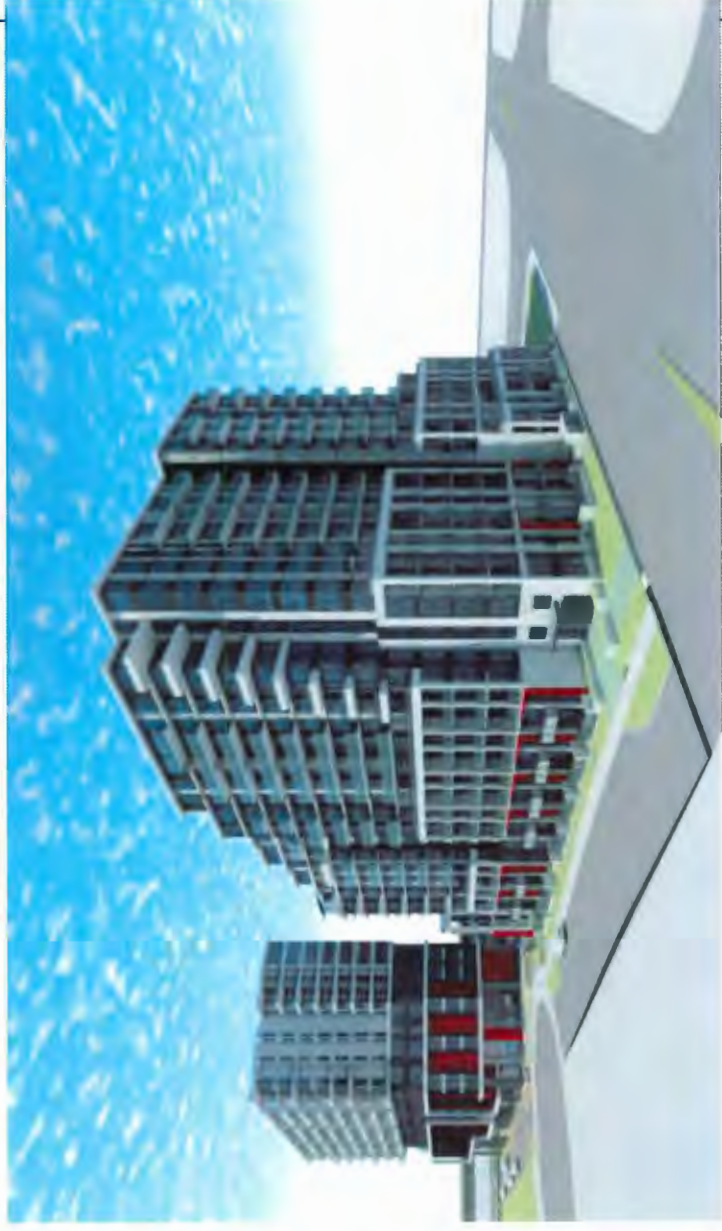
PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.



3D VIEWS	
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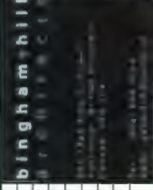
VIEW TO BUILDING J (PHASE 3) FROM SOUTHWEST



VIEW TO BUILDING J (PHASE 3) FROM SOUTHEAST

PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

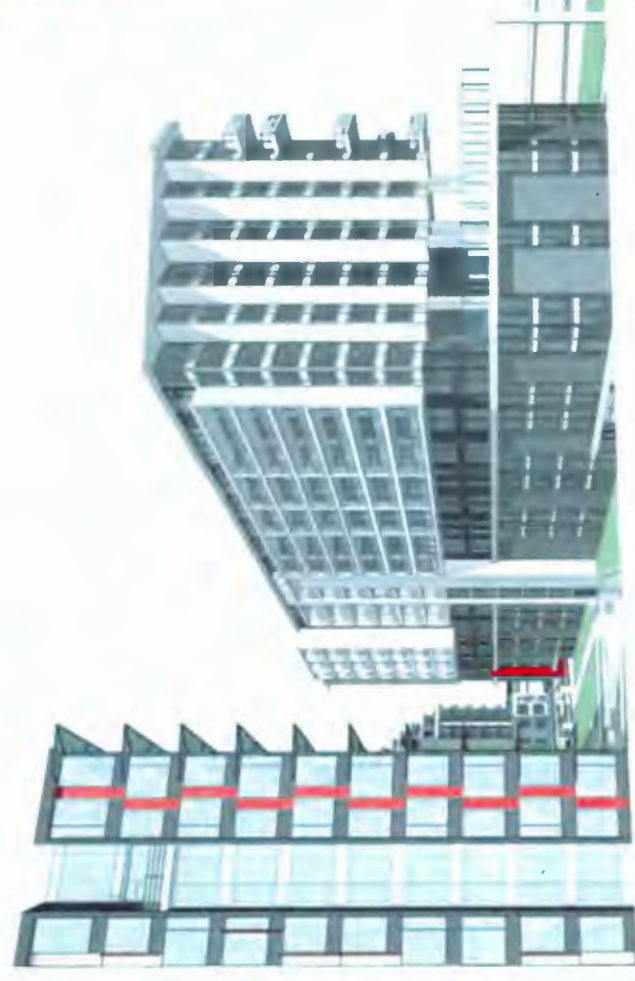
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3D VIEWS

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DRAWN		CHECKED	

ALL DIMENSIONS SHALL BE VERIFIED ON SITE



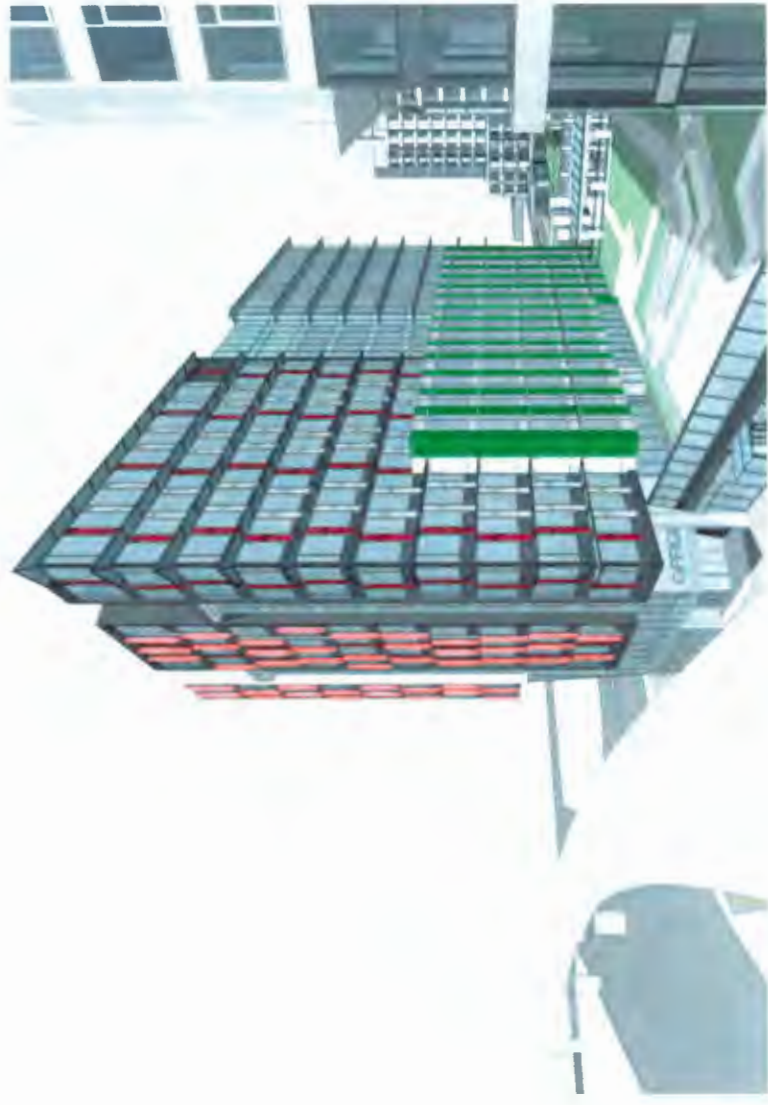
VIEW TO BUILDING K (PHASE 4) FROM NC



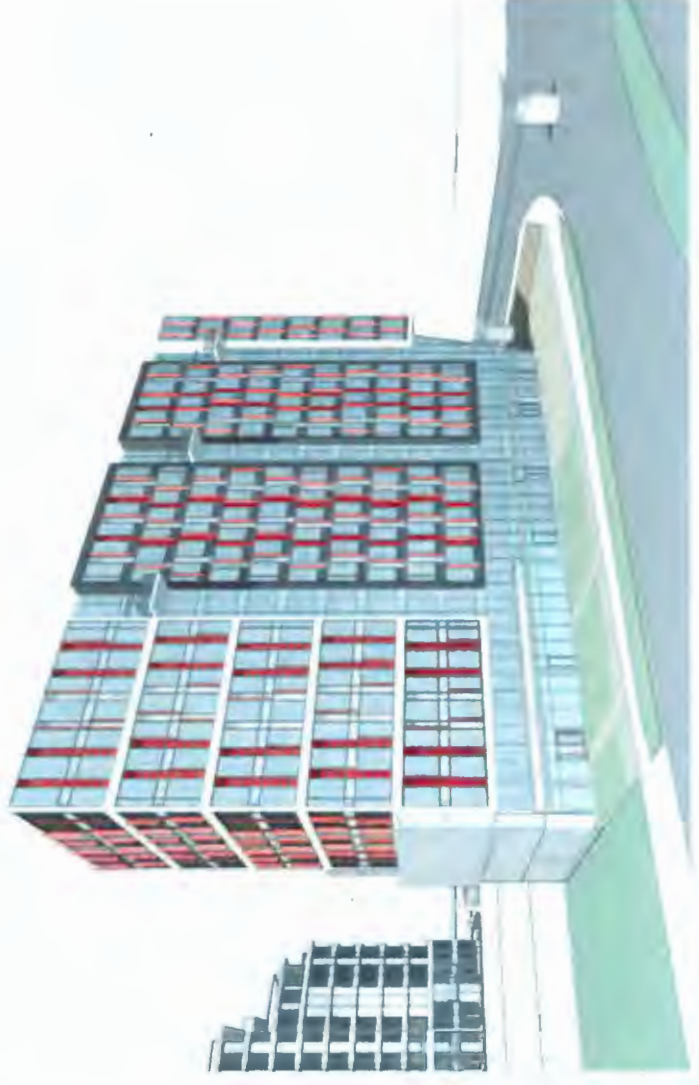
PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: **PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.**

NO.	REVISION / REVISION	DATE
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3D VIEWS	
PROJECT	1726
SCALE	1/16" = 1'-0"
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DESIGNED BY	
CHECKED BY	
PROJECT NUMBER	PLAN #
	9C



VIEW TO BUILDING L (PHASE 4) FROM SOUTHWEST



VIEW TO BUILDING L (PHASE 4) FROM NORTH

PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

NO.	ISSUE / REVISION	DATE
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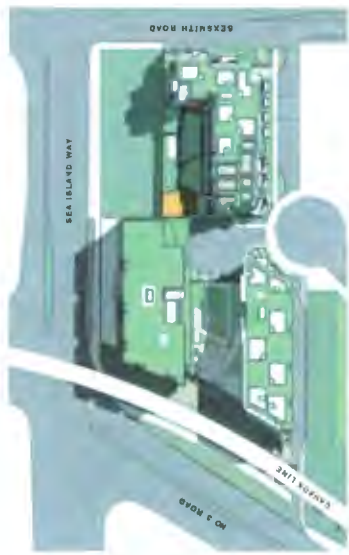
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PROJECT	1708
SCALE	1/8" = 1'-0"
DRAWN	
CHECKED	
DATE	
PLAN #	9d

ALL DIMENSIONS SHALL BE SURVEYED ON SITE

DP 18-821292: Reference Plan



SOLSTICE: 10am (PDT)



SOLSTICE: 12pm (PDT)



SOLSTICE: 2pm (PDT)



SOLSTICE: 4pm (PDT)



EQUINOX: 10am (PDT)



EQUINOX: 12pm (PDT)



EQUINOX: 2pm (PDT)



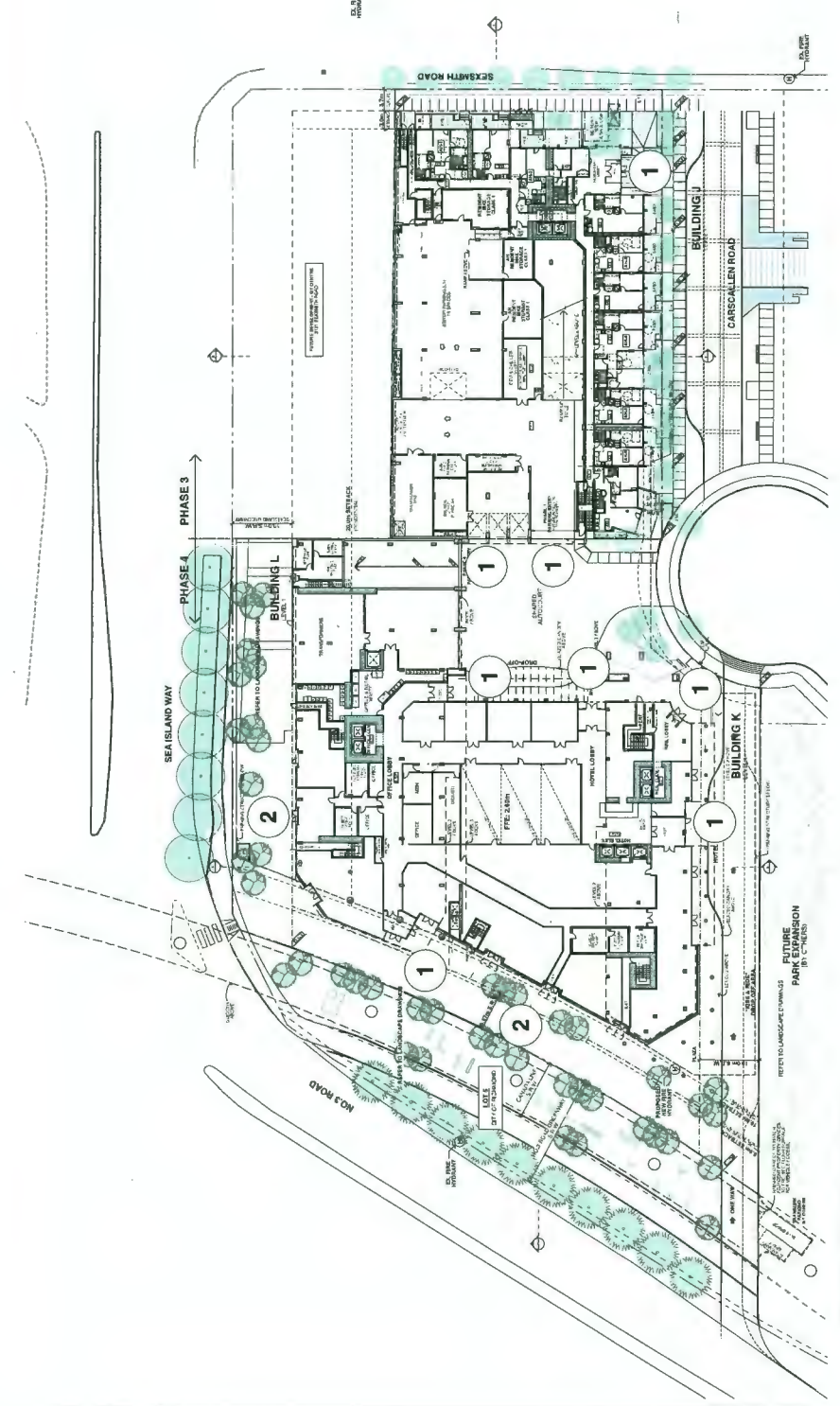
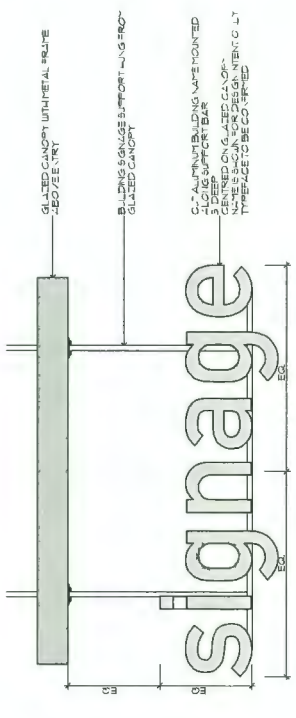
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PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

NO.	DATE / REVISED	DATE
1	10/20/2017	10/20/2017
2	11/15/2017	11/15/2017
3	12/15/2017	12/15/2017
4	01/15/2018	01/15/2018
5	02/15/2018	02/15/2018
6	03/15/2018	03/15/2018
7	04/15/2018	04/15/2018
8	05/15/2018	05/15/2018
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98	11/15/2025	11/15/2025
99	12/15/2025	12/15/2025
100	01/15/2026	01/15/2026

SHADOW STUDIES
 ALL SHADOWS SHALL BE VIEWED ON SITE

DATE	1708	DATE	12a
SCALE	1:1000	SCALE	1:1000
PROJECT	12a	PROJECT	12a
CLIENT	PINNACLE LIVING	CLIENT	PINNACLE LIVING
LOCATION	3208 CARSCALLEN ROAD & 3200 NO. 3 ROAD, RICHMOND, BC	LOCATION	3208 CARSCALLEN ROAD & 3200 NO. 3 ROAD, RICHMOND, BC
DESIGNER	BINGHAM HILL ARCHITECTS	DESIGNER	BINGHAM HILL ARCHITECTS



PROPOSED SIGNAGE CONCEPT

- ① RESIDENTIAL / HOTEL / OFFICE / PARKING SIGNAGE
CUT ALUMINUM BUILDING NAME MOUNTED HORIZONTALLY TO
UNDERSIDE OF SOFFIT / CANOPY.
- ② RETAIL SIGNAGE
CUSTOM ALUMINUM, STEEL OR WOOD SIGN MOUNTED ON A CONCRETE
BASE AND INTEGRATED WITH LANDSCAPE DESIGN.

PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

NO.	ISSUED / REVISION	DATE
1	DESIGN DEVELOPMENT	
2	DESIGN DEVELOPMENT	
3	DESIGN DEVELOPMENT	
4	DESIGN DEVELOPMENT	
5	DESIGN DEVELOPMENT	
6	DESIGN DEVELOPMENT	

SIGNAGE CONCEPT

PROJECT #	1706	PERMITS NUMBER	PLAN #
SCALE		FOUNDER	13a
DATE		DESIGNED	

ALL DIMENSIONS SHALL BE VERIFIED ON SITE.



City of Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: April 22, 2020

From: Wayne Craig
Director, Development

File: DP 19-853070

Re: **Application by Eric Law Architect Inc. for a Development Permit at 9091 and 9111 No. 2 Road**

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of eight townhouse units at 9091 and 9111 No. 2 Road on a site zoned "Low Density Townhouses (RTL4)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - a) Reduce the minimum lot width from 50.0 m to 40.7 m;
 - b) Reduce the minimum front yard setback from 6.0 m to 4.5 m; and
 - c) Increase the allowable small car parking spaces from 0 to 42% (8 spaces).

A handwritten signature in black ink, appearing to read "Wayne Craig".

Wayne Craig
Director, Development
(604-247-4625)

WC:jr
Att. 3

Staff Report

Origin

Eric Law Architect Inc. has applied to the City of Richmond for permission to develop eight townhouse units and one secondary suite at 9091 and 9111 No. 2 Road. The site is being rezoned from the “Single Detached (RS1/E)” zone to the “Low Density Townhouses (RTL4)” zone for this project under Bylaw 9880 (RZ 16-754046), which received third reading at the Public Hearing on September 4, 2018. The site previously contained two single-family dwellings, which have been demolished.

A Servicing Agreement is required as a condition of final adoption of the rezoning bylaw and includes, but is not limited to, the following off-site improvements:

- New concrete sidewalk and landscaped boulevard along the No. 2 Road frontage.
- Upgrade of the existing northbound bust stop on No. 2 Road at Maple Road to provide concrete bus pad and pre-ducting for bus shelter electrical connections.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

- To the north and west: Two-storey townhouses on a lot zoned “Low Density Townhouses (RTL1)”, with vehicle access from Lackner Crescent.
- To the east, across No. 2 Road: Single-family and duplex dwellings on lots zoned “Single Detached (RS1/E)”, with vehicle access from No. 2 Road.
- To the south: Three single-family dwellings on lots zoned “Single Detached (RS2/B),” with vehicle access from Maple Road.

Rezoning and Public Hearing Results

During the rezoning process, staff identified the following design issues to be resolved at the Development Permit stage:

- Refinement of the proposed building form and architectural features to achieve sufficient variety in design and create an interesting streetscape along No. 2 Road.
- Review of the size and species of on-site replacement trees to ensure bylaw compliance and to achieve an acceptable mix of coniferous and deciduous trees on-site.
- Refinement of the shared outdoor amenity area design, including the choice of play equipment, to create a safe and vibrant environment for children’s play and social interaction.

- Review of relevant accessibility features, including aging-in-place features in all units, and the provision of a convertible unit.
- Review of a sustainability strategy for the development proposal, including measures to achieve Step 3 of the BC Energy Step Code.

The Public Hearing for the rezoning of this site was held on September 4, 2018. At the Public Hearing, one written submission was received from a resident directly south of the subject site. The resident expressed the following concerns about the proposed rezoning:

- Proposed vehicle access to No. 2 Road will increase traffic and decrease road safety.
- Taller building form will negatively impact privacy of adjacent properties.

Staff worked with the applicant to address these issues in the following ways:

- Four trees previously identified for removal are now proposed to be retained after extensive modification of the site grading and outdoor amenity area.
- New coniferous trees are proposed along the south property line for additional screening.
- The shared outdoor amenity space has been enlarged to include both passive and active recreation spaces. Further details are provided in the Landscape section.
- The convertible unit has been redesigned to include space for a future vertical lift.
- The ground floor setback for the south-facing units has been increased slightly, with additional increases on the second and third storeys. The resulting building massing steps down to two storeys within 9.5 m of the adjacent single-family dwellings.
- The applicant has conducted energy modelling and has confirmed that the proposed development will achieve Step 3 of the BC Energy Step Code. Further details are provided in the Sustainability section.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the “Low Density Townhouses (RTL4)” zone except for the zoning variances noted below.

Zoning Compliance/Variiances (staff comments in *bold italics*)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

1. Reduce the minimum lot width from 50.0 m to 40.7 m.

The subject site is limited to two lots resulting from the recent redevelopment of the property at the corner of No. 2 Road and Maple Road. There is no possibility of lot consolidation with additional properties to the north or south at this time. Staff support this variance as the applicant has demonstrated the ability to meet the design objectives of the Arterial Road Guidelines for Townhouses.

2. Reduce the minimum front yard setback from 6.0 m to 4.5 m.

The Arterial Road Guidelines for Townhouses in the OCP support a reduced front yard setback where a larger rear yard interface is deemed necessary, provided that there is an appropriate interface with neighbouring properties. As the rear yard of the subject site abuts the side yard of the neighbouring townhouses to the west, the applicant has provided a deeper side yard setback between the proposed townhouses and the existing single-family dwellings to the south. A 2.0 m wide road dedication along the entire No. 2 Road frontage is required for future road widening, although no road widening will occur at this time. Until No. 2 Road is widened, the proposed townhouses will be set back 9.2 m from the back of the existing curb. The setback from the future curb would be approximately 7.2 m.

3. Increase the allowable small car parking spaces from 0 to 42% (8 spaces).

Richmond Zoning Bylaw 8500 permits small car parking spaces only when more than 31 parking spaces are proposed on-site. The proposed eight-unit townhouse project will provide 17 residential and two visitor parking spaces on-site. Transportation staff support the proposed variance to allow one small car parking space in each of the seven side-by-side double car garages and one small parking space for the proposed secondary suite. The eighth unit will have two regular car parking spaces in a tandem arrangement

Advisory Design Panel Comments

The Advisory Design Panel (ADP) reviewed the proposal on January 9, 2020 and supported the application subject to consideration of the Panel's comments. A copy of the relevant excerpt from the ADP Minutes is attached for reference (Attachment 2). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '*bold italics*'.

Analysis

Conditions of Adjacency

- The subject site abuts single-family dwellings to the south, and two-storey townhouse dwellings to the north and east. These interfaces have informed the height, massing, and site planning of the proposal.
- Most of the site will be raised with fill to achieve the required Flood Construction Level, except no fill is proposed within the rear yard Statutory Right-of-Way (SRW), which contains the municipal sanitary sewer. Site grade along the north property line will be 1.62 m, which will require a retaining wall between 0.5 m to 0.6 m (1.5 to 2 ft.). The proposed fence on top of the wall will be limited to a maximum of 1.2 m (4 ft.) to provide a sensitive interface with the adjacent property. Perimeter drainage will be required as part of the Building Permit to ensure storm water is managed appropriately.
- The site will be raised with fill along the south property line as well, where there is an existing retaining wall from the redevelopment of the three properties to the south. The resulting site grade will be slightly lower than the neighbouring properties, and the existing retaining wall and fence will be retained. New trees are proposed along the south property line for additional screening.

- The south-facing units adjacent to the single-family dwellings have increased setbacks to the property line on each level: 4.75 m at ground level, 6.73 m at the second storey, and 9.48 m at the third storey. Third storey living spaces are oriented toward the internal driveway and south-facing clerestory windows are proposed in the stairway.
- The north-facing units adjacent to the front yards and driveway of the townhouse dwellings have living spaces oriented primarily to the east and west in order to mitigate overlook. North-facing windows on the third storey are limited to small privacy windows in the bathrooms, with bedroom windows facing east and west.

Urban Design and Site Planning

- Vehicular access to the proposed development is from a single driveway to No. 2 Road located in the centre of the site frontage. Eight three-storey units are arranged on a T-shaped drive aisle.
- An SRW allowing access through the site to future developments to the north has been secured through the rezoning process.
- The design of the drive aisle includes visual cues to both indicate future extension and mark the transition to future development sites, including contrasting permeable paving at the driveway end, easily removable landscaping, and notification signage.
- Units fronting No. 2 Road have direct pedestrian access from the street, and rear units have access from the drive aisle.
- One secondary suite is proposed in Unit 4 and is accessed from the drive aisle. The suite is 25 m² (269 ft²) and includes distinct kitchen, living, and bathroom areas. Parking for the secondary suite is not required in Richmond Zoning Bylaw 8500, however a dedicated parking stall was secured through the rezoning and is located adjacent to the suite.
- The four south units have a north-south orientation in order to provide a more sensitive interface with the rear yards of the adjacent single-family dwellings.

Architectural Form and Character

- The proposal is characterized by a “West Coast Modern” architectural style, which typically includes simple lines, deep eaves, neutral colours, and use of natural materials.
- The four proposed buildings have a unified material and colour palette, but differ slightly in their massing in response to the immediate context.
- The two buildings along the south property line have pitched roofs angling toward the adjacent single-family dwellings, providing a more gradual transition. Cedar soffits provide a contrasting element that emphasizes the roof overhang. Wood pattern vinyl siding provides an additional “natural” element, though with easier long-term maintenance.
- The two buildings along the north property line are more square, with a contrasting window box on the middle storey to break up the vertical massing. The roof line is close to flat, with a slight downward angle to address rainwater. Like the other two buildings, Cedar soffits and wood pattern vinyl siding provide a warm natural element on an otherwise monochromatic building.

Landscape Design and Open Space Design

- Tree preservation was reviewed at rezoning stage, where seven on-site trees were identified to be retained and protected, and 22 on-site trees were identified for removal, and 19 replacement trees were proposed. However, the proposed on-site tree retention has been revised through the review of the Development Permit. A revised tree retention plan is provided in Attachment 3.
- Four trees previously identified for removal (Tag # 16-19) due to proposed grade changes are now proposed to be retained and protected, as the site plan has been modified to eliminate the grade change along the west property line.
 - The grade change was originally proposed to address the high Flood Construction Level (FCL) and to allow barrier-free access to the shared outdoor amenity area from a level drive aisle. Achieving this would require construction of a retaining wall along the west property line and raising the site grade in this location by a minimum of 1.0 m, which would have negatively impacted Trees # 16-19. Overall there is an approximately 1.7 m difference between existing site grade and the minimum FCL.
 - The site grading and design of the outdoor amenity area were reviewed extensively through the Development Permit, resulting in significant changes to the proposed site grade including elimination of the retaining wall, sloping the drive aisle to the edges of the site, and lowering the drive aisles and several garages below the FCL. As garages are not considered habitable space they can be located below the FCL.
 - The revised proposal maintains barrier-free access to the shared outdoor amenity area via the sloping drive aisle and allows additional trees in the amenity area to be retained at existing grade. The additional trees form a small grove that separates the outdoor amenity area into two distinct parts.
- One of the trees identified for retention (Tag # 1) declined in health and was determined to be at risk of failure. This tree has been removed out of concern for public safety. Replacement trees are required at a 2:1 ratio as per the OCP.
- The revised proposal includes retention of 10 on-site trees, removal of 19 on-site trees, and planting of 21 replacement trees. A \$12,500 contribution to the City's Tree Compensation Fund in lieu of replacement trees that cannot be accommodate on the development site was secured through the rezoning application.
- Tree retention measures secured through the rezoning application include tree protection fencing, a \$40,000 survival security, and submission of a contract with a Certified Arborist for supervision of any on-site works conducted within the tree protection zone of trees to be retained, including a post-construction assessment report to be submitted to the City.
- The proposed new trees include a mix of coniferous and deciduous species to allow for seasonal interest and a variety of habitats.
- The proposal provides a pedestrian-oriented streetscape along No. 2 Road, including landscaped front yards for each of the three units, decorative fencing, and new trees.
- Private outdoor space is provided for each unit consistent with the OCP. Each of the units has a private outdoor space at grade and a small balcony on the third storey. All of the balconies are oriented inward to reduce overlook to the adjacent properties.
- A shared outdoor amenity area is provided at the rear of the site, across from the driveway access, and is significantly larger than the minimum requirement identified in the OCP. The driveway slopes gently toward the amenity area in order to provide barrier-free access while

maintaining the existing site grade in the critical root zone of retained trees. There are ten trees to be retained in this area.

- The shared outdoor amenity area includes natural play elements, open lawn space, and bench seating to provide for a range of recreation activities. A small play panel structure is provided adjacent to the open lawn space. The choice of play equipment is constrained by the available area and its location within a utility SRW. Tree retention in the middle of the amenity area further constrains the ability to provide adequate fall zones for larger play equipment.
- Permeable pavers are proposed for the vehicle entrance, visitor parking, and each end of the drive aisle for better water infiltration.
- Automatic irrigation is provided for all planted areas.
- To ensure that the proposed landscaping works are completed, the applicant is required to provide a Landscape Security in the amount of \$76,479.28 prior to issuance of the Development Permit.
- An \$8,000 contribution towards development of City facilities in lieu of providing indoor amenity space was secured through the rezoning application.

Crime Prevention Through Environmental Design

- Low fencing with latch gates is provided in the front yard to distinguish public and private space while allowing for casual surveillance of the sidewalk.
- New 1.8 m (6 ft.) fencing is proposed around the perimeter of the site to provide privacy and separation. Lower 1.2 m (4 ft.) fencing is proposed on top of the proposed retaining wall along the north property line, providing a more sensitive interface with the adjacent property while still screening headlight glare from the drive aisle.
- Bollard lighting is proposed in the shared outdoor amenity area and beside the mailbox.
- Contrasting permeable pavers at the site entrance clearly mark the transition to the private drive aisle, creating defensible space. The same paving treatment is used at the northern extend of the drive aisle, and will provide a visual marker separating the property from future developments sharing the drive aisle.

Sustainability

- The applicant has confirmed that the proposed development will meet or exceed Step 3 of the BC Energy Step Code for Part 9 Buildings.
- Sustainability initiatives include heat pumps, increased air tightness, pre-ducting for solar hot water heating, and high efficiency appliances.
- Level 2 EV charging is provided in each garage consistent with the Zoning Bylaw requirements.

Accessible Housing

- The proposed development includes one convertible unit that is designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. The unit is designed with a closet on each floor that can be converted to a vertical lift.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging.

Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.



Jordan Rockerbie
Planner 1
(604-276-4092)

JR:blg

The following are to be met prior to forwarding this application to Council for approval:

- Final adoption of Richmond Zoning Bylaw 8500, Amendment Bylaw 9880.
- Receipt of a cash security or Letter-of-Credit for landscaping in the amount of \$76,479.28.

NOTE: staff to ensure that landscape estimates include a 10% contingency cost.

Prior to future Building Permit issuance, the developer is required to complete the following:

- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (<http://www.richmond.ca/services/ttp/special.htm>).

Attachments:

Attachment 1: Development Application Data Sheet

Attachment 2: Excerpt from the Advisory Design Panel Minutes

Attachment 3: Revised Tree Retention Plan



DP 19-853070

Attachment 1

Address: 9091 & 9111 No. 2 Road

Applicant: Eric Law Architect Inc.

Owner: 1151418 BC Ltd.

Planning Area(s): Blundell

Floor Area Gross: 1,300 m² (13,997 ft²)

Floor Area Net: 940.44 m² (10,123 ft²)

	Existing	Proposed
Site Area:	1,649.3 m ²	1,567.4 m ²
Land Uses:	Single-family dwellings	Townhouses
OCP Designation:	Neighbourhood Residential	No change
Zoning:	Single Detached (RS1/E)	Low Density Townhouses (RTL4)
Number of Units:	Two single-family homes	Eight townhouses and one secondary suite

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.60	0.60	None permitted
Lot Coverage – Buildings:	Max. 40%	35.8%	None
Lot Coverage – Non-Porous:	Max. 65%	59.1%	None
Lot Coverage – Live Landscape:	Min. 25%	30.9%	None
Setback – Front Yard (East):	Min. 6.0 m	4.5 m	Vary by 1.5 m
Setback – Side Yard (North):	Min. 3.0 m	3.08 m	None
Setback – Side Yard (South):	Min. 3.0 m	4.69 m	None
Setback – Rear Yard (West):	Min. 3.0 m	4.54 m	None
Height (m):	Max. 12.0 m	11.21 m	None
Lot Size – Area:	None	1,567.4 m ²	None
Lot Size – Width:	50.0 m	40.7 m	Vary by 9.3 m
Off-street Parking Spaces – Resident (R) / Visitor (V):	16 (R) and 2 (V)	16 (R) and 2 (V)	None
Small Car Parking Spaces:	None where fewer than 31 spaces are provided on site	8 (42%)	Vary to allow 8 small car parking spaces
Accessible Parking Spaces:	0	0	None

Secondary Suite Parking Spaces:	None (however, one space was secured through the rezoning)	1	None
Total off-street Spaces:	18	19	None
Tandem Parking Spaces:	Up to 50% of resident spaces	2 (12.5%)	None
Amenity Space – Indoor:	Min. 70 m ² or cash-in-lieu	Cash-in-lieu	None
Amenity Space – Outdoor:	Min. 6 m ² per unit	126.5 m ² (15.8 m ² per unit)	None

Excerpt from the Minutes from
The Design Panel Meeting

Thursday, January 9, 2020 – 4:00 p.m.
Rm. M.1.003
Richmond City Hall

DP 19-853070 – 8-UNIT ARTERIAL ROAD TOWNHOUSE DEVELOPMENT

ARCHITECT: Eric Law Architect
LANDSCAPE ARCHITECT: PMG Landscape Architects Ltd.
PROPERTY LOCATION: 9091 and 9111 No. 2 Road

Applicant's Presentation

Eric Law, Eric Law Architect, and Denitsa Dimitrova, PMG Landscape Architects, presented the project and together with John Hsiung, Terra West Properties, answered queries from the Panel on behalf of the applicant.

Panel Discussion

Comments from Panel members were as follows:

- appreciate the applicant incorporating aging-in-place features for all the townhouse units;
- support the provision for future installation of a vertical lift in the convertible unit; ensure that the elevator will have the following features to provide accessibility to users with disabilities: (i) elevator should be properly located and size of the elevator platform should be adequate, (ii) doors should be positioned on the narrow side, and (iii) comply with the dimensional requirements provided on manufacturer's website;

The elevator size and shaft width are in accordance to the manufacturer. The sizes are indicated on A8. The doors are indicated on the narrow side. Please see A8.

- consider installing weather protection over the mailbox located in the outdoor amenity area;

A shed cover is proposed over the mail box for weather protection. Please see A10.

- consider installing pocket doors for all washrooms in the convertible unit;

Pocket doors are indicated in the convertible bedroom and at living room level.

- the proposed modern contemporary design for the townhouse development does not fit well into the neighbourhood; *(Note: In response to this Panel comment, the applicant advised that the market segment targeted for the project is the younger generation, who have expressed preference for the proposed West Coast contemporary design of the*

*project. Noting the applicant's response, the Panel member making this comment then voiced their support for the design of the project); **Noted***

- understand the constraints of the small site; however, the proposed location of the bench in the outdoor amenity area presents a CPTED concern as it is tucked in and not visible from the entry to the outdoor amenity area; consider relocating the bench further south to enhance its visibility;

Bench in amenity area has been relocated so it will be more visible from the entry to the outdoor amenity area. Please see L1 for your reference.

- the design of the outdoor amenity area is more cohesive in the model than in the drawings;

Design of the outdoor amenity area has been revised to be more cohesive with the model. Please see L1 for your reference.

- the proposed species of deciduous trees to replace the conifer trees to be removed along the south property line will not provide the same quality of buffering to the adjacent single-family homes to the south of the subject site;

More conifer trees have been proposed on the south property line providing better buffering to the adjacent single-family home. Please see L1 for your reference.

- the applicant is encouraged to provide a list of measures to take into account in the design of the project in order to achieve the Step Code requirements as these may impact the final shape and form of the duplex buildings;

- ***List of additional sustainability items are indicated on the drawings A8.***

- the architectural drawings should reflect the applicant's intent that the flat roofs of two duplex buildings would be sloped by two percent at the back; applicant should be mindful of the extensive ventilation requirements for the attic space of buildings with low-pitched roofs;

The flat roofs have been adjusted to a sloping roof. An inverted roof system will be proposed. This consists of putting rigid insulation on top of roofing sheathing. Cross ventilation will not be required in this inverted roof system.

- ensure the provision of mechanical ventilation for the garbage room due to the location of a kitchen window above it in order to avoid potential odour issues;

The location of kitchen is adjusted so that the kitchen window is away from garbage room.

- overall massing is successful; breaking down the massing into four small duplex buildings fits well into the neighbourhood; ***Noted***

- appreciate the design of the two buildings with roofs sloping down towards the adjacent single-family homes to the south; ***Noted***

- the three-storey buildings with flat roofs appear boxy and do not fit as well into the current character of the neighbourhood; however, these two buildings would potentially blend into the neighbourhood as the neighbourhood character changes over the long-term; ***Noted***

- applicant is advised to incorporate drainage requirements (e.g., installation of water leaders) for the two buildings with flat roofs at this stage of the project as these might potentially change the clean look and “purity” of the design of the two buildings;

The flat roof is adjusted to be sloping roof as commented above.

- support the proposed setback variances for the project as the increased setbacks in the upper levels of the buildings provide a better interface with adjacent developments; ***Noted***
- consider relocating the bicycle rack from the site entry (adjacent to No. 2 Road) to the interior of the site to address potential CPTED issues;

Bike rack has been relocated to the area between Buildings C and D. Please see L1 for your reference.

- the design of the units with sloping roofs adjacent to the single-family homes to the south is successful; however, the two buildings with flat roofs do not fit as well with the neighbouring multi-family and single-family homes which have pitched roofs; consider introducing a slope higher than the proposed two percent (i.e., at least a nine percent slope) to better integrate the project with the neighbourhood;

The flat roof is adjusted to be sloping roof as commented above.

- consider mimicking the colours and materials used in the neighbourhood to enable the project to blend well with the character of the neighbourhood;

We consider that the proposed colours work in contemporary design as it will blend into the neighbourhood as the neighbourhood character changes over the long-term as commented above.

- the upper sloping roofs of units on the south side are not well resolved as these appear in between flat and sloping; consider further resolution to make them appear either flat or sloping;

The flat roof is adjusted to be a sloping roof as commented above.

- support the Panel recommendation to relocate the bicycle rack in close proximity to No. 2 Road to the interior of the site in view of CPTED concerns;

Bike rack has been relocated as suggested.

- the applicant has done a good job on all the building facades; however, the applicant is advised to take into consideration the detailing of the hardie panels that are extensively used in the project as it may impact the end quality of the facades; and

A recessed reveal joints detail is indicated on A11. This will ensure a clean panel looking building façade.

- consider further articulation to the exposed cast concrete at the base of the buildings for easier maintenance and to mitigate potential construction issues’ negative impact on the exterior design of the buildings.

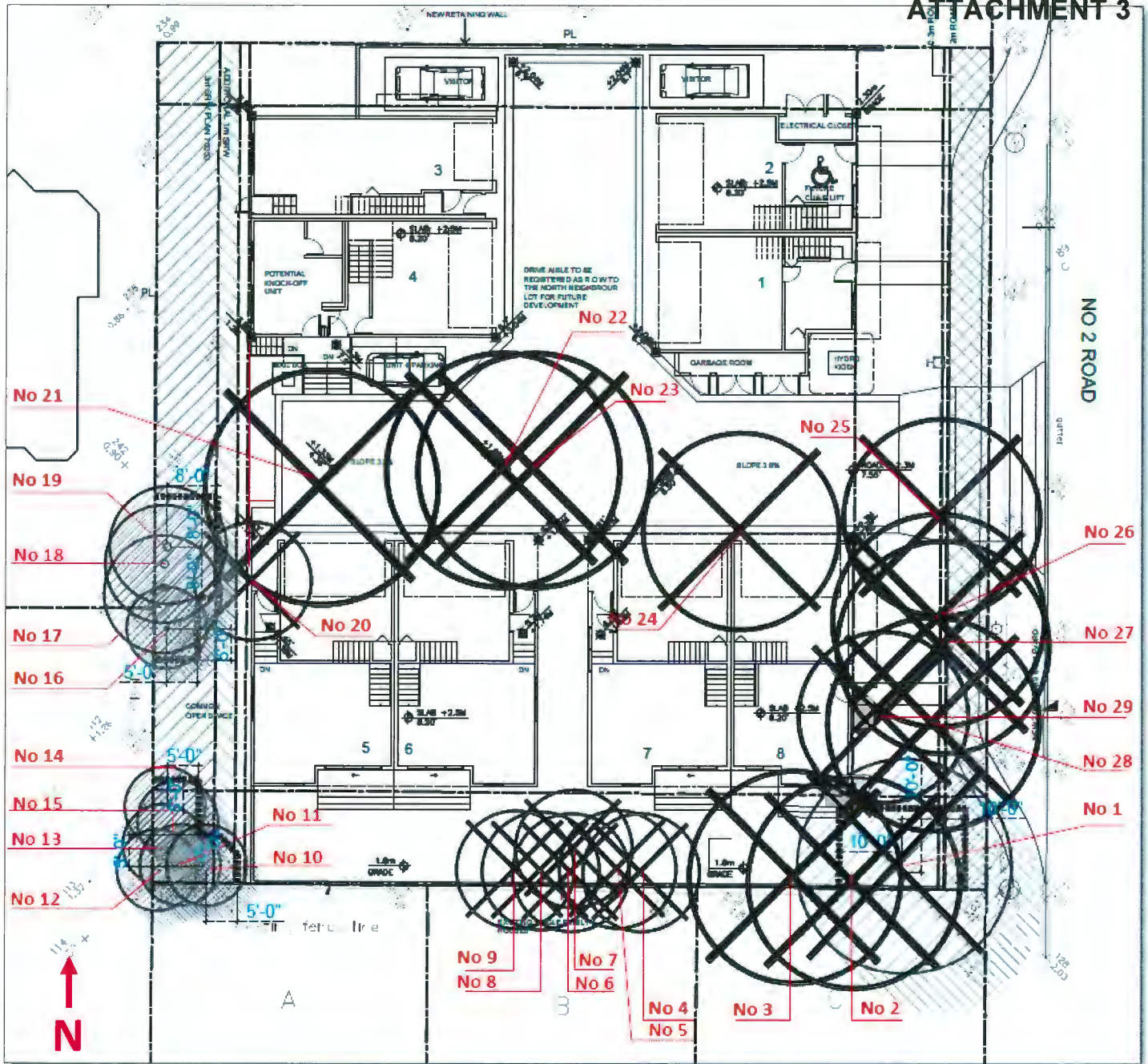
The concrete base will be painted to match the panel colour as shown on colour elevations.

Panel Decision

It was moved and seconded

That DP 19-853070 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.

CARRIED



Tree Management Plan – Not to Scale

TREE #	SPECIES (Botanical name)	DBH (cm)	SPREAD (m) est.
1	Cedar (<i>Thuja plicata</i>)	48	2m
2	Douglas Fir (<i>Pseudotsuga menziesii</i>)	43	3.5m
3	Cedar (<i>Thuja plicata</i>)	43	2m
4	Cedar (<i>Thuja plicata</i>)	36	2m
5	Cedar (<i>Thuja plicata</i>)	42	2m
6	Apple (<i>Malus sp.</i>)	28	2m
7	Cedar (<i>Thuja plicata</i>)	26	3.5m
8	Cedar (<i>Thuja plicata</i>)	29	3m
9	Cedar (<i>Thuja plicata</i>)	43	3m
10	Cedar (<i>Thuja plicata</i>)	20 per survey	2.5m
11	Cedar (<i>Thuja plicata</i>)	20 per survey	3.5m
12	Cedar (<i>Thuja plicata</i>)	22	2.5m
13	Cedar (<i>Thuja plicata</i>)	22	2.5m
14	Cedar (<i>Thuja plicata</i>)	22	2.5m
15	Cedar (<i>Thuja plicata</i>)	22	2.5m
16	Cedar (<i>Thuja plicata</i>)	23	3.5m
17	Cedar (<i>Thuja plicata</i>)	19	3m
18	Cedar (<i>Thuja plicata</i>)	29	3m
19	Cedar (<i>Thuja plicata</i>)	35	3.5m
20	Birch (<i>Betula sp.</i>)	56 combined	4m
21	Pine (<i>Pinus sp.</i>)	51	5m
22	Cedar (<i>Thuja plicata</i>)	65	5m
23	Cedar (<i>Thuja plicata</i>)	63	5m
24	Cherry (<i>Prunus sp.</i>)	55	3.5m
25	Douglas Fir (<i>Pseudotsuga menziesii</i>)	62	6m
26	Douglas Fir (<i>Pseudotsuga menziesii</i>)	39	3.5m
27	Sweetgum (<i>Liquidambar styraciflua</i>)	49	5m
28	Douglas Fir (<i>Pseudotsuga menziesii</i>)	45	3.5m
29	Apple (<i>Malus sp.</i>)	31 combined	4m



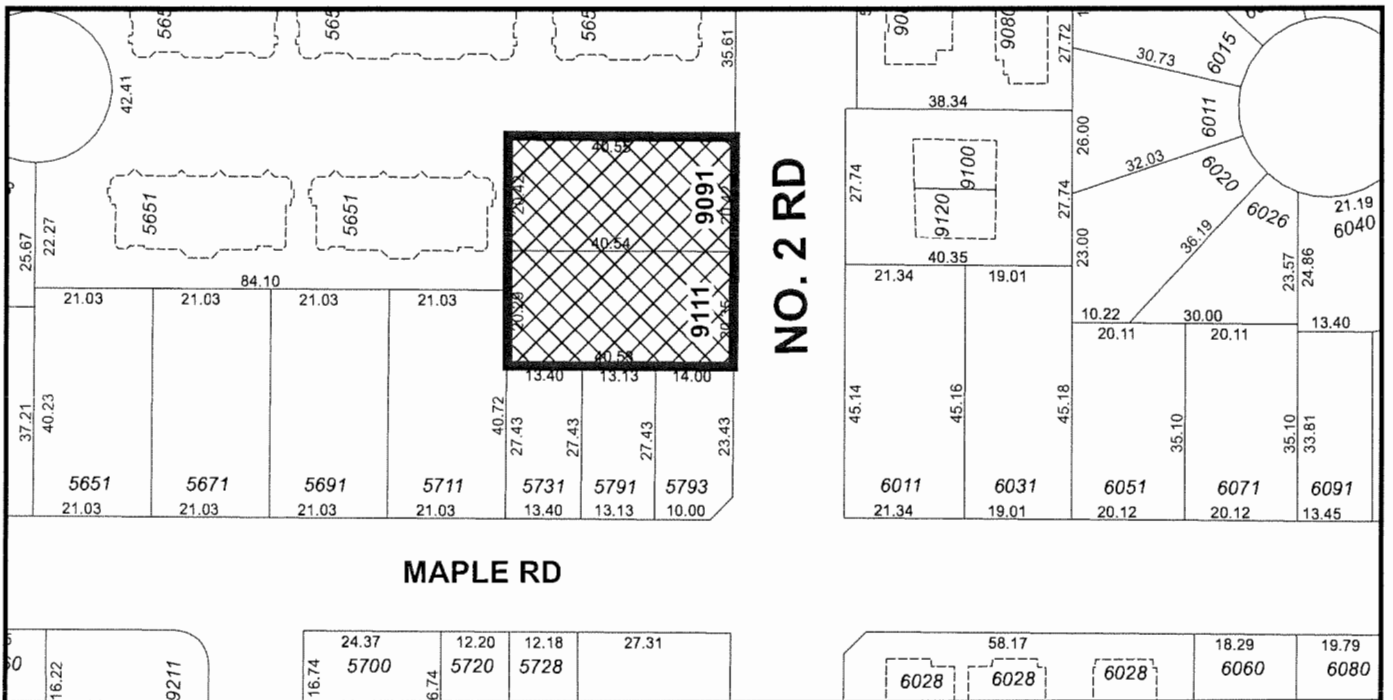
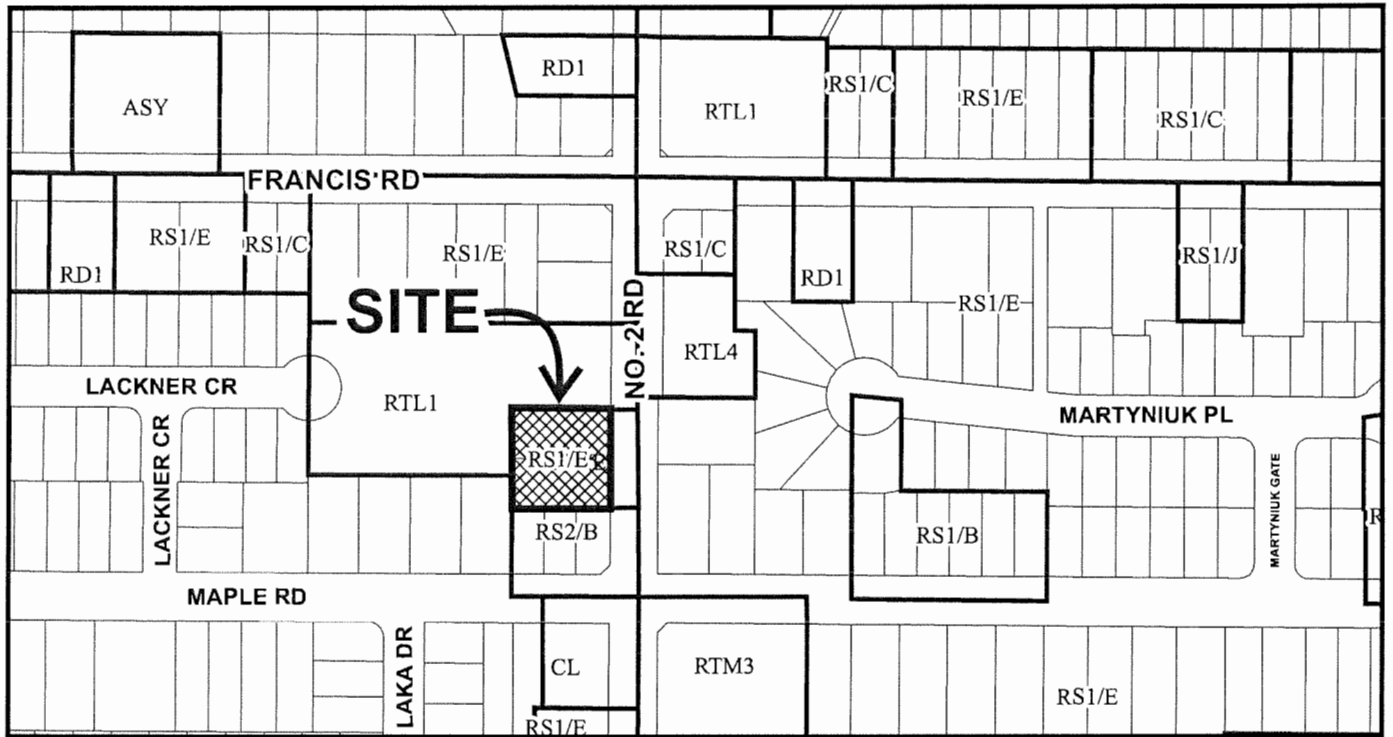
No. DP 19-853070

To the Holder: ERIC LAW ARCHITECT INC.
Property Address: 9091 AND 9111 NO. 2 ROAD
Address: C/O #213 - 288 WEST 8TH AVENUE
VANCOUVER, BC V5Y 1N5

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - a) Reduce the minimum lot width from 50.0 m to 40.7 m;
 - b) Reduce the minimum front yard setback from 6.0 m to 4.5 m; and
 - c) Increase the allowable small car parking spaces from 0 to 42% (8 spaces).
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to # 20 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$76,476.28 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.



City of Richmond



DP 19-853070 SCHEDULE "A"

Original Date: 02/12/19

Revision Date:

Note: Dimensions are in METRES

PROPOSED TOWNHOUSE DEVELOPMENT AT 9091 & 9111 NO.2 ROAD, RICHMOND, BC

DEVELOPMENT DATA

(A) CIVIC ADDRESS: 9091 & 9111 NO 2 ROAD, RICHMOND, BC
 (B) LEGAL DESCRIPTION: LOT 1 & 2, SECTION 10, BLOCK 4 NORTH, RANGE 7 WEST, NWD PLAN 17904
 ORIGINAL 1,649.3 SM (17,752 SF) AFTER 2M ROAD DEDICATION 1567.4 SM (16875 SQ. FT.)
 (C) LOT AREA:
 (D) ZONING USE CURRENT: RS1/E PROPOSED: RTL4

CURRENT ZONING (UNDER RS1/E ZONING)
 PROPOSED REZONING (RTL4)

(E) FLOOR AREA RATIO 0.55 TO 454.5 SM
 0.3 TO REST OF SITE AREA 0.60
 TOTAL FAR FLOOR AREA 10,123 SF FAR FLOOR AREA 10,123 SF
 (10,123 SF) 8 UNITS
 PROPOSED DEVELOPMENT 8 UNITS

(F) NUMBER OF UNIT: 1 PER LOT
 (G) BUILDING COVERAGE: MAX - 45%
 MAX - 40% (6750 SQ. FT.)
 LIVE PLANT MIN - 25%
 NON-POROUS MAX - 65%

(H) BUILDING HEIGHT: MAX MAIN BUILDING HEIGHT - 12M
 (I) SETBACK: FRONT YARD FACING NO. 2 - 6M
 SIDE YARD - 3M
 REAR YARD - 3M

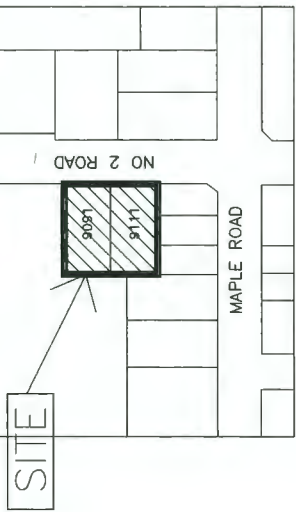
(J) PARKING: 2 PER DWELLING UNIT
 2 PER DWELLING UNITS X8 = 16
 1 PER LOCKOUT UNIT X1=1
 0.2 VISITOR PARKING / UNIT X 8 = 2
 TOTAL = 19 REQUIRED

VISITOR BICYCLE RESIDENTIAL BICYCLE STORAGE
 1.25 PER DWELLING UNIT X8=10
 0.2 PER DWELLING UNIT X8= 2

(K) OUTDOOR SPACE: OPEN AMENITY SPACE= 6 SM PER UNIT
 X8= 48 SM (517 SF) 126.5 SM (1362 SQ. FT.)
 PROVIDED:

DRAWING LIST

- A1- DEVELOPMENT SUMMARY
- A2- SITE PLAN (1F)
- A3- PARKING PLAN
- A4- SITE PLAN (2F)
- A5- SITE PLAN (3F)
- A6- SITE PLAN (ROOF)
- A7- UNIT PLANS
- A8- UNIT PLANS
- A9- ELEVATIONS
- A10- ELEVATIONS
- A11- ELEVATIONS
- A12- SECTIONS
- A13- OPEN SPACE DIAGRAM
- A14- SITE COVER DIAGRAM
- A15-A17 EXTERIOR COLOUR FAR- FAR OVERLAY



ERIC LAW ARCHITECT
 401 West Broadway, Suite 1000
 Vancouver, BC V6B 5C6
 TEL: (604) 566-2888
 FAX: (604) 566-2887
 COMPANY WEBSITE: www.ericlawarchitect.com
 DESIGN AND CONSTRUCTION SERVICES
 ARCHITECTURE, INTERIOR DESIGN, LANDSCAPE ARCHITECTURE, AND MORE.
 CONTACT ALL INFORMATION IN THIS DOCUMENT IS FOR INFORMATION ONLY. NO SPECIFIC PROJECT ONLY AND SHALL NOT BE USED FOR ANY OTHER PROJECT WITHOUT WRITTEN PERMISSION.

DATE	REVISION
2019.02.05	FOR DEVELOPMENT PERMIT APPLICATION
2019.03.11	FOR CITY REVIEW
2019.03.26	FOR CITY AMP REVIEW
2020.03.17	FOR CITY REVIEW

NO.	REVISION
1	2019.02.05 FOR DEVELOPMENT PERMIT APPLICATION
2	2019.03.11 FOR CITY REVIEW
3	2019.03.26 FOR CITY AMP REVIEW
4	2020.03.17 FOR CITY REVIEW

PROPOSED TOWNHOUSE
9091 & 9111 NO. 2 RD
RICHMOND BC

DEVELOPMENT SUMMARY

PROJECT NUMBER: 18-04
 ISSUED: 3/17/2020
 DRAWN BY: EL
 CHECKED BY: EL
 FILENAME: 18-04_NIT_200317-DP.DWG

DP19-853070 PLAN 1

A1

DEVELOPMENT PERMIT

ERIC LAW ARCHITECT

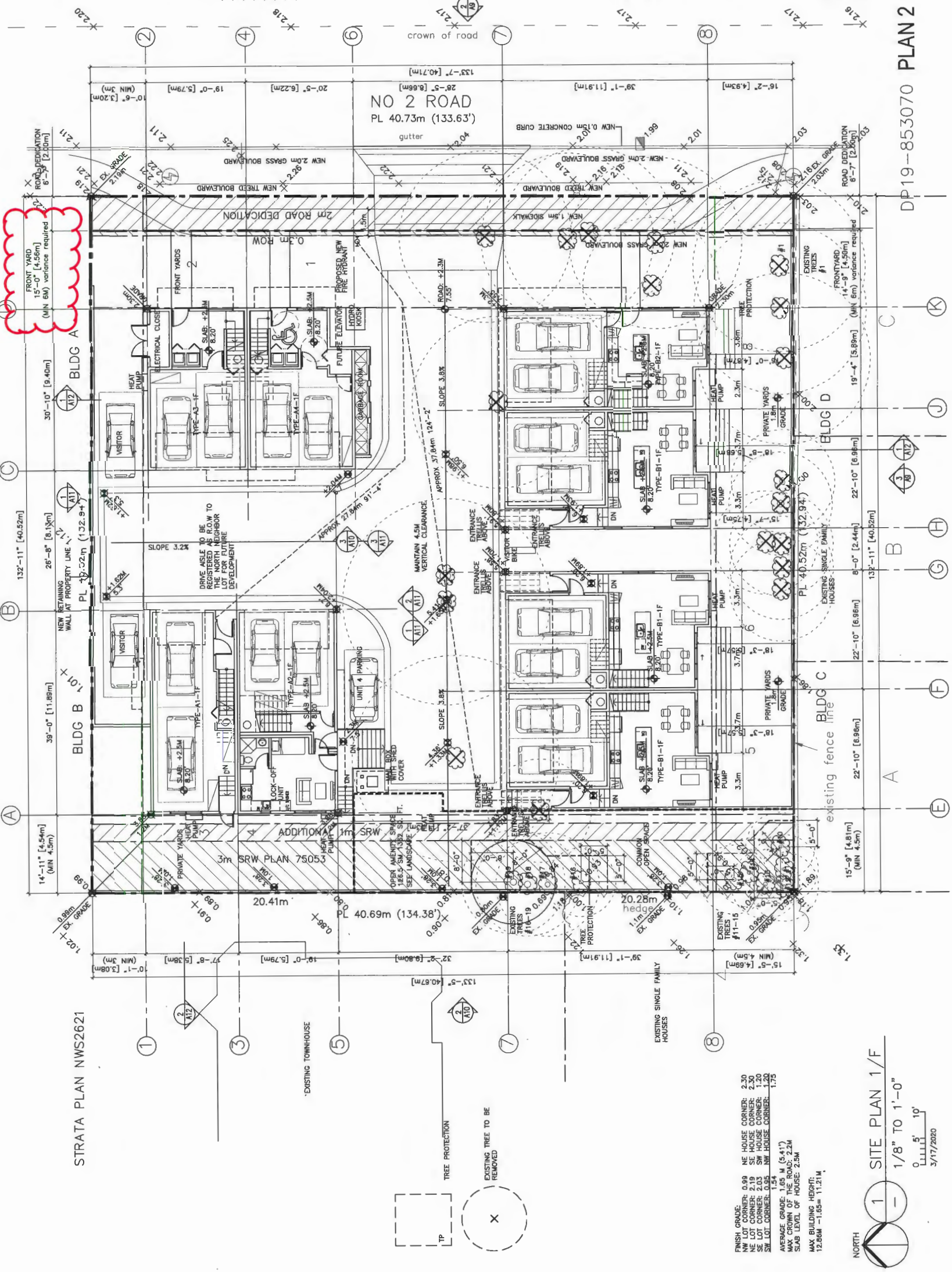
2019-2020
 TEL: (604) 556-2999
 FAX: (604) 556-2997

COMPONENTS: THE PLAN AND THE ELEVATIONS OF THE PROPOSED TOWNHOUSE DEVELOPMENT. THE CLIENT'S RESPONSIBILITY IS TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE ARCHITECT'S RESPONSIBILITY IS TO DESIGN THE DEVELOPMENT IN ACCORDANCE WITH THE CLIENT'S REQUIREMENTS AND THE PERMITS AND APPROVALS OBTAINED.

- REVISED**
- 2019.02.28 FOR DEVELOPMENT PERMIT APPLICATION
 - 2019.03.11 FOR CITY REVIEW
 - 2019.03.08 FOR CITY REVIEW
 - 2020.03.17 FOR CITY REVIEW

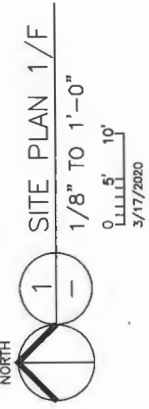
PROPOSED TOWNHOUSE
9091 & 9111 NO. 2 RD
RICHMOND BC
SITE PLAN (1/F)

PROJECT NUMBER: 18-04
 ISSUED: 3/17/2020
 DRAWN BY: EL
 CHECKED BY: EL
 FILENAME: 18-04_NIT_200317-01.DWG



STRATA PLAN NWS2621

FINISH GRADE: 1.25M (5.41')
 NW LOT CORNER: 0.99M (3.25')
 NE HOUSE CORNER: 2.30M (7.54')
 SW HOUSE CORNER: 1.20M (3.94')
 SE LOT CORNER: 2.03M (6.66')
 SW HOUSE CORNER: 1.20M (3.94')
 SE LOT CORNER: 0.95M (3.12')
 NW HOUSE CORNER: 1.75M (5.41')
 AVERAGE GRADE: 1.25M (5.41')
 MAX CROWN OF THE ROAD: 2.24M (7.35')
 SLAB LEVEL OF HOUSE: 2.5M (8.20')
 MAX BUILDING HEIGHT: 12.66M - 1.65M = 11.21M (40.39' - 5.41' = 34.98')



A2

DP19-853070 PLAN 2

DEVELOPMENT PERMIT

ERIC LAW ARCHITECT

2000 W. 10TH AVENUE
VANCOUVER, BC
TEL: (604) 566-2099
FAX: (604) 566-2097

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- REVISIONS**
- 2019.02.25 FOR REVISIONS POINT WORKSHEET
 - 2019.03.11 FOR CITY REVIEW
 - 2019.12.08 FOR CITY MAP REVIEW
 - 2020.03.17 FOR CITY REVIEW

- REVISIONS**
- 2020.03.19 REVISED FOR PERMITS CHANGES
 - 2019.11.26 REVISED ACCESSIBLE LEFT & RIGHT SIDEWALK
 - 2019.07.25 REVISED SIDEWALK AS PER CITY COMMENT

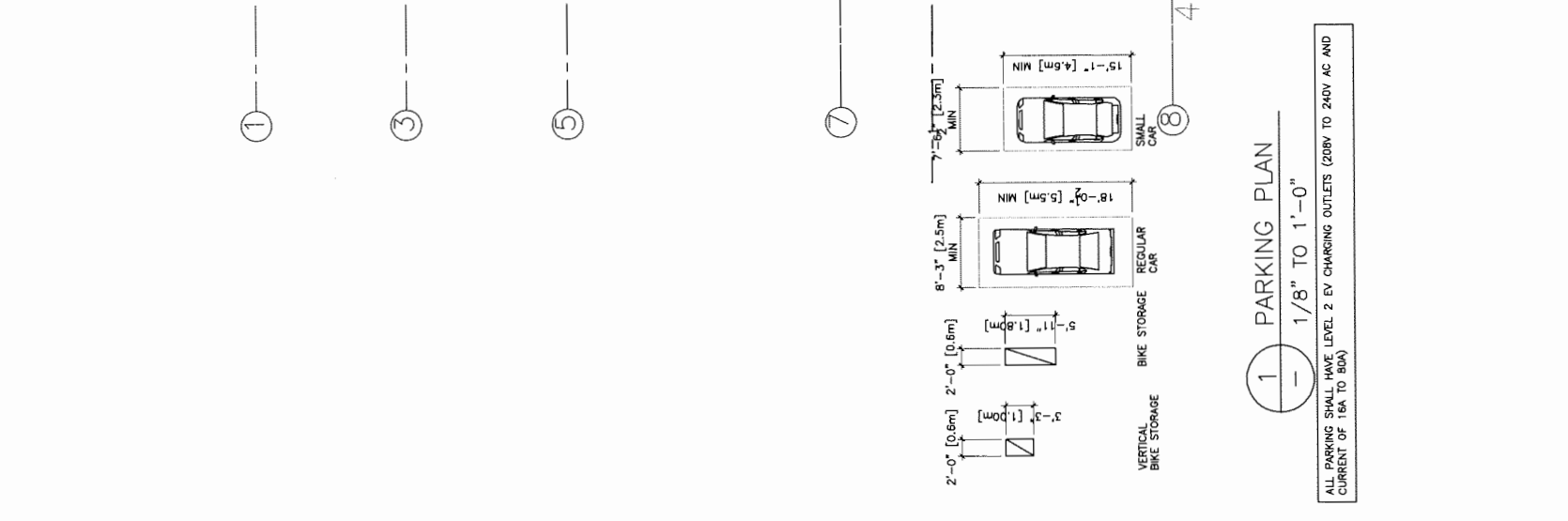
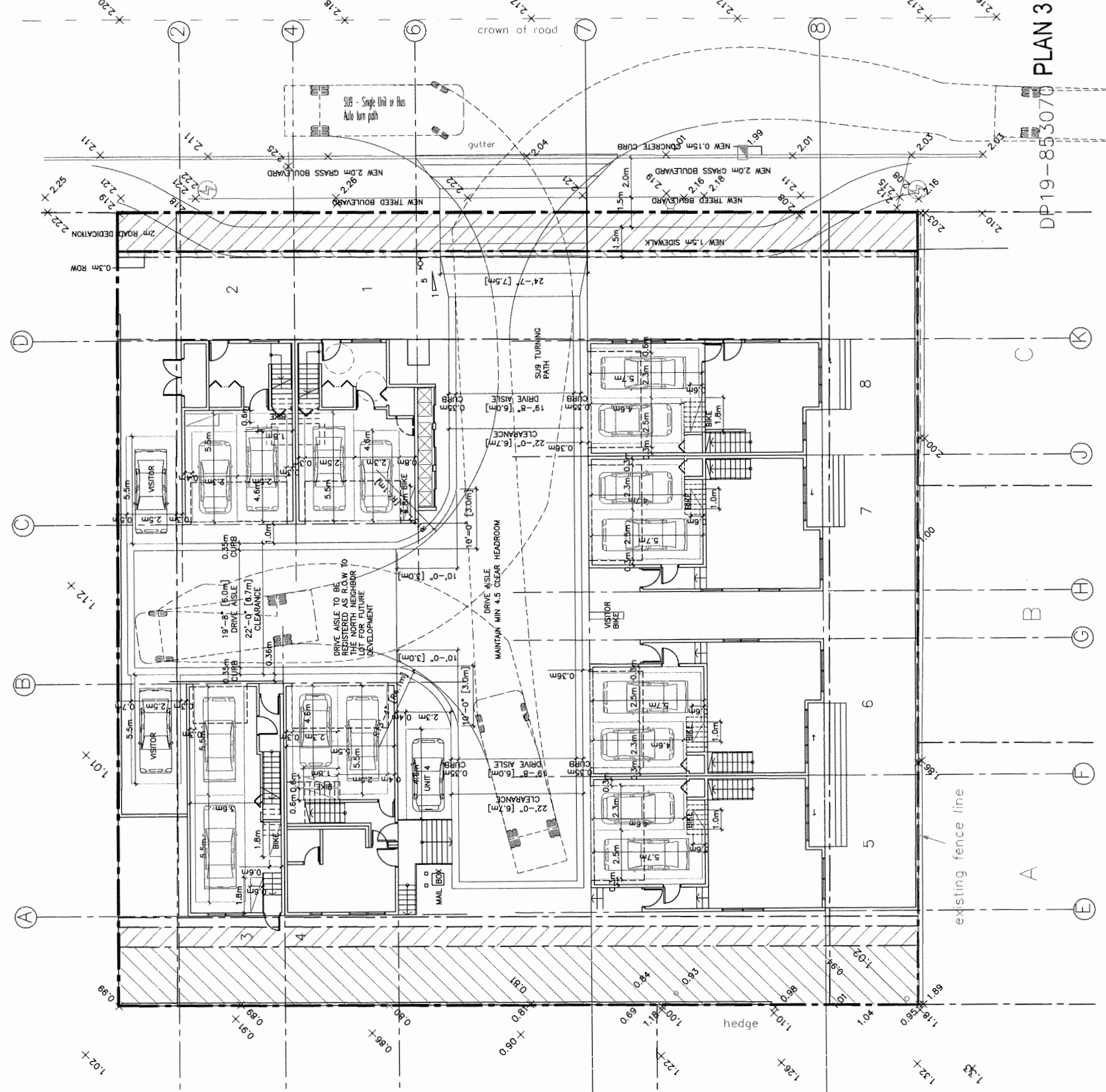
PROPOSED TOWNHOUSE
9091 & 9111 NO. 2 RD
RICHMOND BC

PARKING PLAN

PROJECT NUMBER: 18-04
ISSUED: 3/17/2020
DRAWN BY: EL
CHECKED BY: EL
FILENAME: 18-04-INT-200317-0P.DWG

A3

DEVELOPMENT PERMIT



DP19-853070 PLAN 3

ERIC LAW ARCHITECT

ericlawarchitect@gmail.com
 1011 228 WEST AVENUE VANCOUVER BC
 V6E 2R6
 TEL: (604) 509-2999
 FAX: (604) 509-2997

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NO.	DATE	DESCRIPTION
1.	2019.02.05	FOR DEVELOPMENT PERMIT APPLICATION
2.	2019.10.11	FOR CITY REVIEW
3.	2019.12.05	FOR CITY ASP REVIEW
4.	2020.03.17	FOR CITY REVIEW

NO.	DATE	DESCRIPTION
1.	2019.07.25	FOR CITY REVIEW
2.	2019.11.29	FOR CITY REVIEW
3.	2019.11.29	FOR CITY REVIEW
4.	2019.11.29	FOR CITY REVIEW

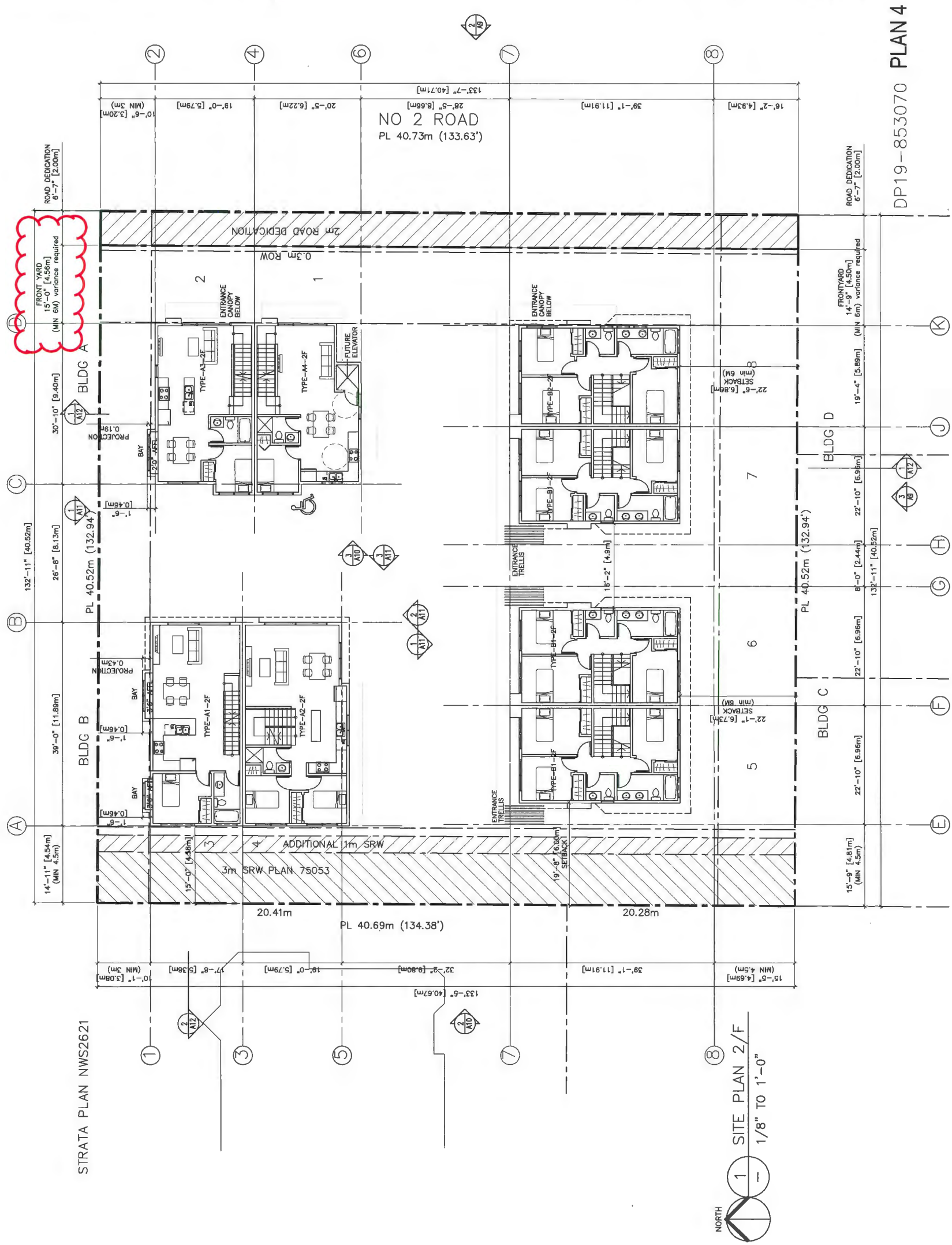
PROPOSED TOWNHOUSE
9091 & 9111 NO. 2 RD
RICHMOND BC

SITE PLAN (2F)

PROJECT NUMBER:	18-04
ISSUED:	3/17/2020
DRAWN BY:	EL
CHECKED BY:	EL
FILENAME:	18-04_NIT_200317-09.DWG

A4

DEVELOPMENT PERMIT



STRATA PLAN NWS2621

1 SITE PLAN 2/F
 1/8" TO 1'-0"

DP19-853070 PLAN 4

ERIC LAW ARCHITECT

eric.law.architect@gmail.com
 117 WEST AVENUE WOODVILLE BC
 VANIC
 TEL: (604) 566-2098
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ISSUED

- 2019.02.05 FOR DEVELOPMENT PERMIT APPLICATION
- 2019.02.11 FOR CITY REVIEW
- 2019.02.05 FOR CITY REVIEW
- 2020.03.17 FOR CITY REVIEW

REVISION

- 2020.03.17 REVISION AS PER CLIENT COMMENTS
- 2019.11.28 AS PER COMMENTS BY CITY REVIEW
- 2019.11.28 AS PER COMMENTS BY CITY REVIEW
- 2019.02.05 AS PER COMMENTS BY CITY REVIEW

PROPOSED TOWNHOUSE
9081 & 9111 NO. 2 RD
RICHMOND BC

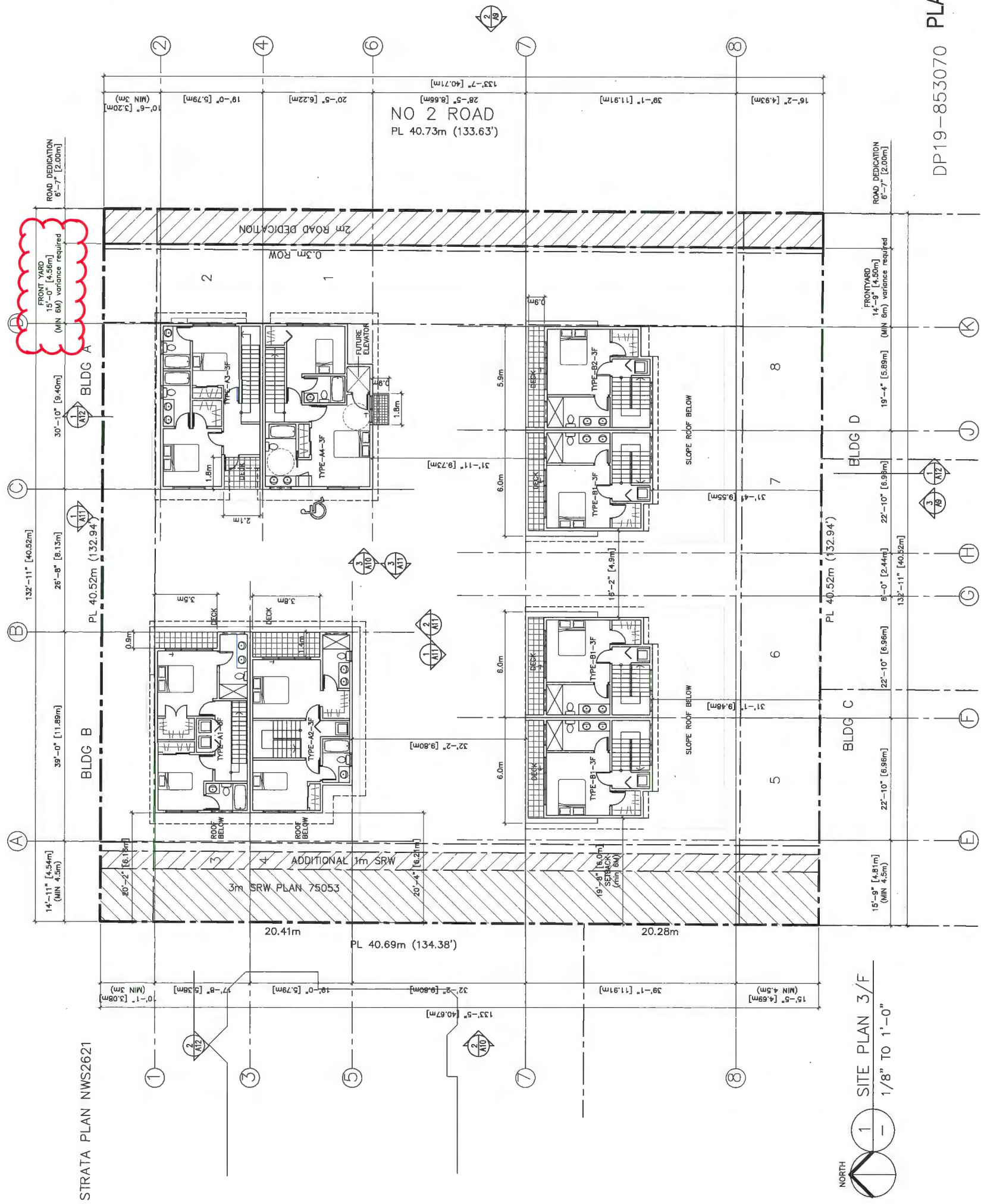
SITE PLAN (3F)

PROJECT NUMBER: 18-04
 ISSUED: 3/17/2020
 DRAWN BY: EL
 CHECKED BY: EL
 FILENAME: 18-04_NWT_200317-DP.DWG

A5

DP19-853070 PLAN 5

DEVELOPMENT PERMIT



STRATA PLAN NWS2621

1 SITE PLAN 3/F
 1/8" TO 1'-0"



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 FAX: (604) 269-2887
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- REVISIONS
1. SUBMITTED FOR DEVELOPMENT PERMIT APPLICATION
 2. SUBMITTED FOR CITY REVIEW
 3. SUBMITTED FOR CITY REVIEW
 4. SUBMITTED FOR CITY REVIEW

- REVISIONS
1. 2019.03.25 MARKED UP FOR PER CITY REVIEW
 2. 2019.11.28 ROUTE ACCESSIBLE LEFT & SLOPE
 3. 2020.02.19 ROUTE AND CLIENT COMMENTS

PROPOSED TOWNHOUSE
9091 & 9111 NO. 2 RD
RICHMOND BC

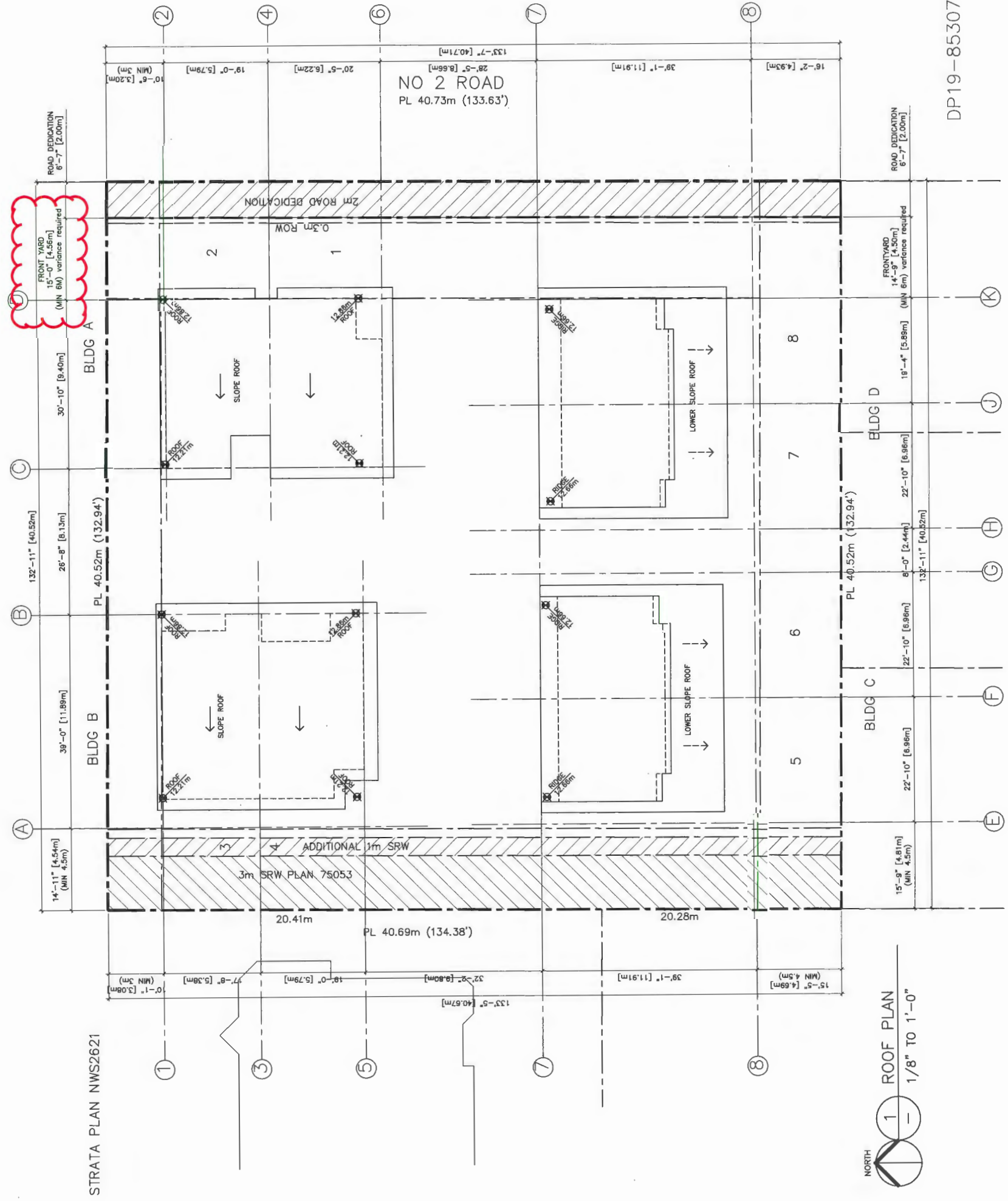
SITE PLAN (ROOF)

PROJECT NUMBER: 19-04
 ISSUED: 3/17/2020
 DRAWN BY: EL
 CHECKED BY: EL
 FILENAME: 19-04_NTT_200317-0P.DWG

A6

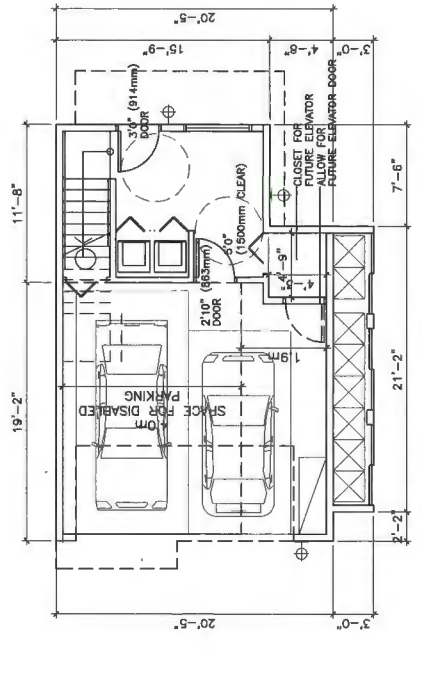
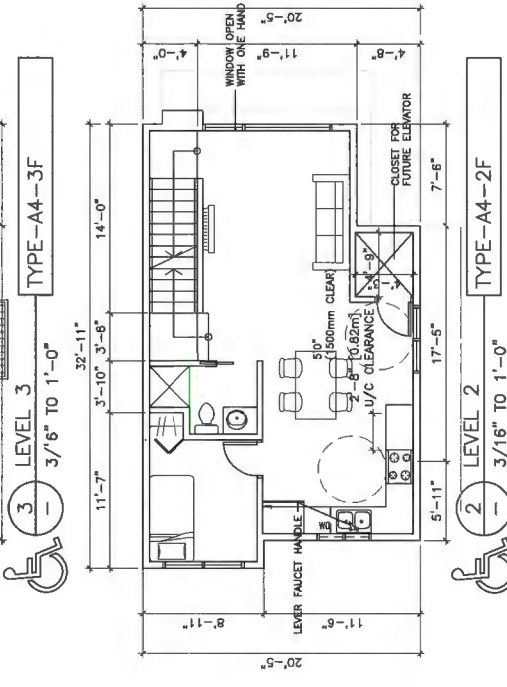
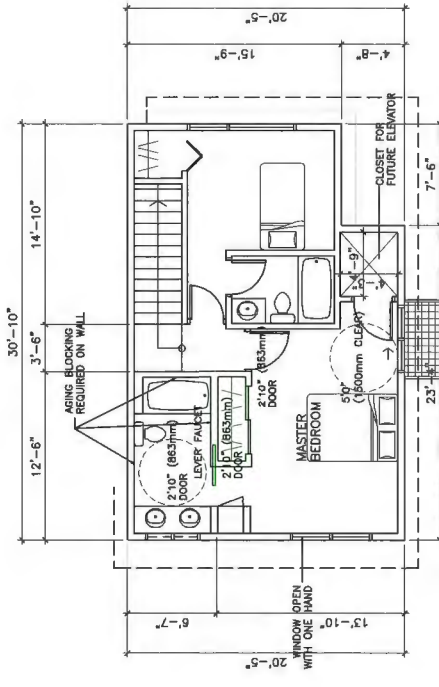
DP19-853070 PLAN 6

DEVELOPMENT PERMIT



STRATA PLAN NWS2621

1
 ROOF PLAN
 1/8" TO 1'-0"



1 LEVEL 1
3/16" TO 1'-0"
TYPE A4 UNIT PLAN
3 BEDROOM + DEN

TOTAL UNIT AREA: ±1419 SQ. FT.
INCLUDING STAIR AND G/F ENTRY

DOORS & DOORWAYS	VERTICAL CIRCULATION	HALLWAYS	GARAGE	BATHROOM (MIN. 1)	KITCHEN	WINDOWS	OUTLETS & SWITCHES
<p>CONVERTIBLE UNIT GUIDELINES</p> <ul style="list-style-type: none"> ENTRY DOORS ARE A MINIMUM 863 MM BUT IDEALLY 914 MM AND HAVE CLEAR ACCESS. ENTRY DOOR CLEAR EXTERIOR FLOOR SPACE MIN. 1220 MM DEPTH BY DOOR WIDTH PLUS 600 MM ON EITHER SIDE. INTERIOR DOORS TO MAIN LIVING AREAS, 1 BATHROOM AND 1 BEDROOM, MIN. 863 MM CLEAR OPENING WITH FLUSH THRESHOLDS MAX. 13 MM HEIGHT. DEMONSTRATE WHEELCHAIR ACCESS BETWEEN THE HALLWAY AND ROOMS AND WIDEN HALLWAY AND/OR DOORWAYS IF NECESSARY TO SECURE ACCESS. PATIO/BALCONY MIN. 860 MM CLEAR OPENING. NOTE HOW ACCESSED. - - ALL INTERIOR THRESHOLDS - - LEVER-TYPE HANDLES FOR ALL DOORS. STAIR LIFT, STAIRCASE WIDTH, FRAMING SUPPORT, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPECIFICATIONS. VERTICAL LIFT, DEPRESS SUB AREA, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPECIFICATIONS. FRAMING TO ACCOMMODATE SWIFT CONSTRUCTION WITHOUT IMPACT TO SURROUNDING STRUCTURE. AT THE TOP OF ALL STAIRWAYS, WALLS ARE REINFORCED WITH 2" X 12" SOLID LUMBER AT 914 MM TO CENTRE. MIN. 900 MM WIDTH. MIN. 1 ACCESSIBLE PARKING SPACE WITH MIN. 4 M GARAGE WIDTH. ACCESS FROM GARAGE TO LIVING AREA MIN. 800 MM CLEAR OPENING. TOILET CLEAR FLOOR SPACE MIN. 1020 MM AT SIDE AND IN FRONT. WALL BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TOILET, TUB AND SHOWER, REINFORCED WITH 2" X 12" SOLID LUMBER IN ALL BATHTUB, SHOWER, AND TOILET LOCATIONS. MIN. 1500 MM CLEARANCE TO TOILET, TUB AND SHOWER. PRESSURE AND TEMPERATURE CONTROL VALVES ARE INSTALLED ON ALL SHOWER FAUCETS. CABINETS UNDERNEATH SINK(S) ARE EASILY REMOVED. DEMONSTRATE BATH AND SHOWER CONTROLS ARE ACCESSIBLE (LAYOUT OR FUTURE PLACEMENT). CLEAR AREA NEEDED UNDER FUTURE WORK SPACE. PLUMBING AND GAS PIPES (IN-WALL AND IN-FLOOR) LOCATED CLEAR OF UNDER COUNTER AREA OF FUTURE WORK SPACE (STOVE, SINK & MIN. 810 MM WIDE COUNTER). ALL PIPES ARE BROUGHT IN NO HIGHER THAN 304 MM TO 325 MM TO THE CENTRE OF THE PIPE FROM FLOOR LEVEL. - - MIN. 1500 MM TURNING DIAMETER OR TURNING PATH DIAGRAM. LEVER-TYPE HANDLES FOR PLUMBING FIXTURES. MIN. 1 WINDOW THAT CAN BE OPERATED WITH A SINGLE HAND (BATHROOM, KITCHEN, LIVING ROOM) PLACEMENT LOCATIONS OF ELECTRICAL OUTLETS: BESIDE WINDOW, BOTTOM OF STAIRWAYS, BESIDE TOILET, ABOVE EXTERNAL DOORS, OUTSIDE AND INSIDE, ON FRONT FACE OF KITCHEN COUNTER, WITHIN PROXIMITY OF EXISTING CENTRE LINE, SHOWERING OPERATIONS, AND IN PROXIMITY OF FOUR-FLUO OUTLETS IN MASTER BEDROOM, HOME OFFICE, GARAGE, AND RECREATION ROOM. 	<p>ALL THE UNITS IN THIS PROJECT SHALL INCORPORATE THE FOLLOWING FEATURES IN THE UNITS</p> <p>(1) AGING IN PLACE FEATURES SHALL BE PROVIDED TO ALL UNITS: (a) TURNABLE HANDLES FOR PLUMBING FIXTURE AND DOOR HANDLES (b) TURNABLE HANDLES FOR PLUMBING FIXTURE AND DOOR HANDLES (c) SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE SHOWERS</p> <p>(2) TOWNHOUSE SHALL MEET CITY'S STEP CODE ENERGY REQUIREMENTS</p>						

ALL THE UNITS IN THIS PROJECT SHALL INCORPORATE THE FOLLOWING SUSTAINABILITY FEATURES

SUSTAINABILITY STRATEGY PROPOSED IN THIS TOWNHOUSE

A. USE ENERGY EFFICIENT APPLIANCES AND CONTROL

- (1) BUILDING TO MEET BC STEP CODE REQUIREMENTS
- (2) ENERGY STAR VINYL WINDOWS TO BE INSTALLED IN THIS TOWNHOUSE TO CONVERSE ENERGY
- (3) REFRIGERATOR TO BE ENERGY STAR PRODUCT
- (4) DISHWASHER TO BE ENERGY STAR PRODUCT
- (5) CLOTHES WASHER OR COMBO WASHER / DRYER TO BE ENERGY STAR PRODUCT
- (6) BATH ROOM FANS TO HAVE LOW NOISE LEVEL AND ENERGY STAR
- (7) ALL INTERIOR AND EXTERIOR LIGHTS TO BE USING LED LIGHT BULBS
- (8) AIR TIGHT, AND INSULATED RECESSED LIGHT TO BE INSTALLED IN ALL INSULATED CEILING
- (9) PROVISION OF ELECTRICAL VEHICLE CHARGER OUTLET IN EACH UNIT
- (10) ENERGY EFFICIENT HEAT PUMP SYSTEM FOR HEATING AND COOLING

B. USE LONG LASTING AND EASY MAINTENANCE BUILDING MATERIALS

- (1) EXTERIOR HARDI CEMENT BOARD FINISHES INSTALLED TO PROVIDE LONG LASTING AND EASY MAINTENANCE
- (2) RAIN SCREEN SYSTEM PREVENT MATERIAL ROT TO THE WALL SHEATHING
- (3) AIR TIGHT SEAL TO ALL SPACES WITH BLOW TEST VERIFICATION AS ACCORDING TO CERTIFIED ENERGY ADVISOR
- (4) INSULATED GARAGE DOOR TO BE INSTALLED
- (5) INTERIOR PAINT TO BE LOW VOC FOR GOOD INDOOR QUALITY

C. CONSERVE WATER OPPORTUNITY

- (1) INSTALL LOW FLOW VOLUME TOILETS TO REDUCE WATER CONSUMPTION
- (2) INSTALL SPRAY AERATOR ON KITCHEN FAUCETS TO REDUCE WATER CONSUMPTION
- (3) INSTALL PERMEABLE PAVING MATERIAL ON DRIVEWAY TO REDUCE SURFACE RUN OFF TO CITY SEWER SYSTEM

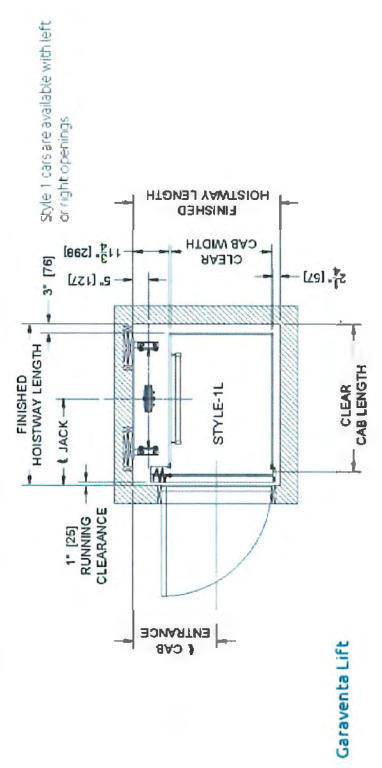
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ISSUED	FOR DEVELOPMENT PERMIT APPLICATION
1. 2019.02.28	FOR DEVELOPMENT PERMIT APPLICATION
2. 2019.10.11	FOR CITY REVIEW
3. 2019.12.06	FOR CITY ADP REVIEW
4. 2020.03.17	FOR CITY REVIEW

Style 1	clear cab size	hoistway width	hoistway length	jack centerline	entrance centerline
	36" x 48"	51"	56'-1/4"	30"	30'-1/4"



PROPOSED TOWNHOUSE
9081 & 9111 NO. 2 RD
RICHMOND BC

UNIT PLANS

PROJECT NUMBER: 18-04
ISSUED: 3/17/2020
DRAWN BY: EL
CHECKED BY: EL
FILENAME: 18-04_UNIT_200317-DP.DWG

A8

DP19-853070 PLAN 7

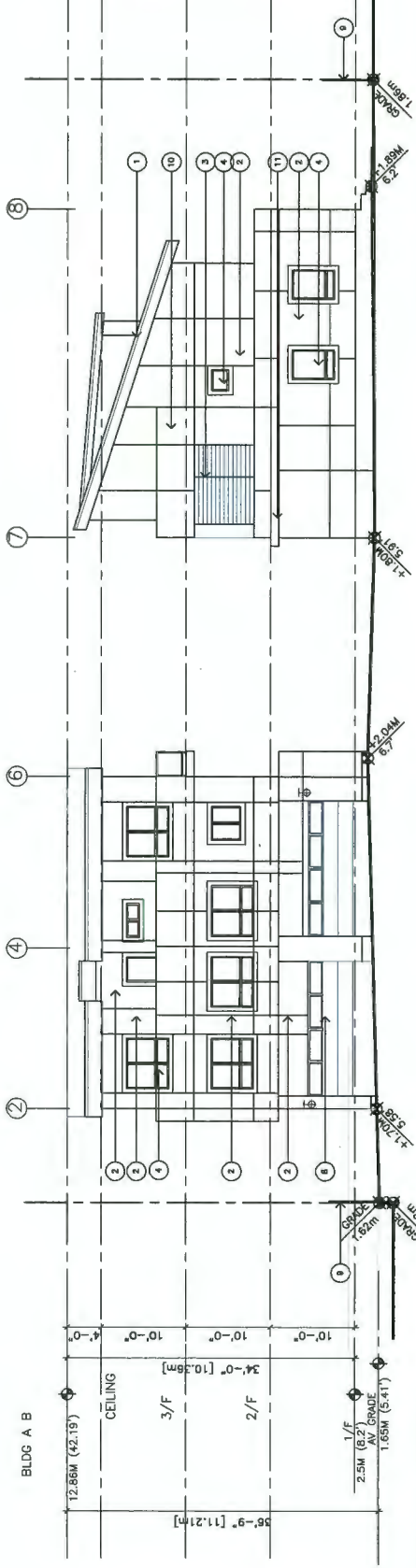
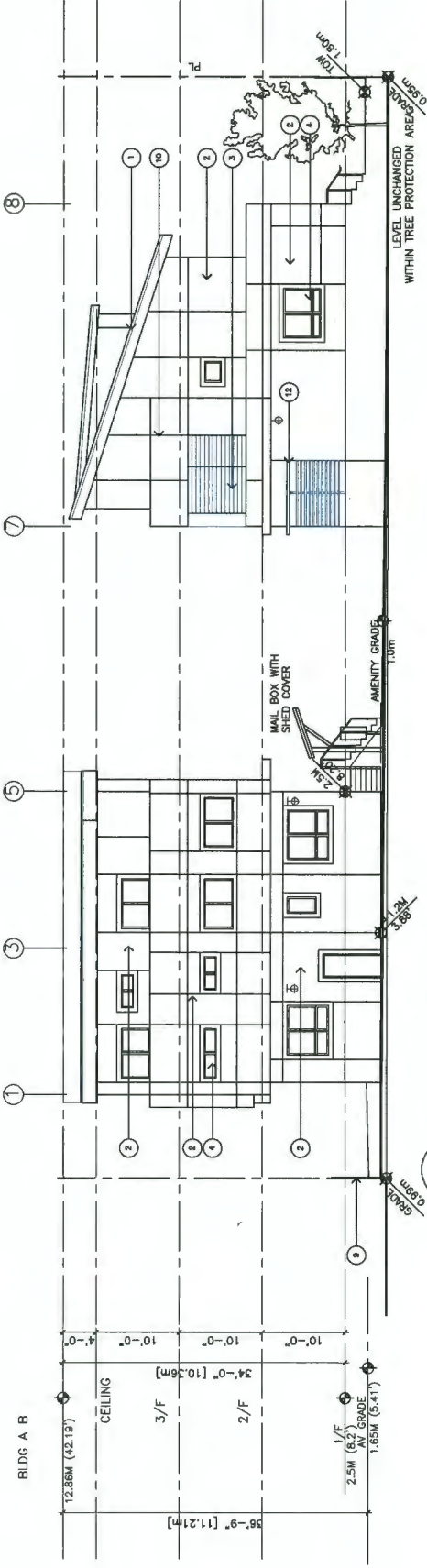
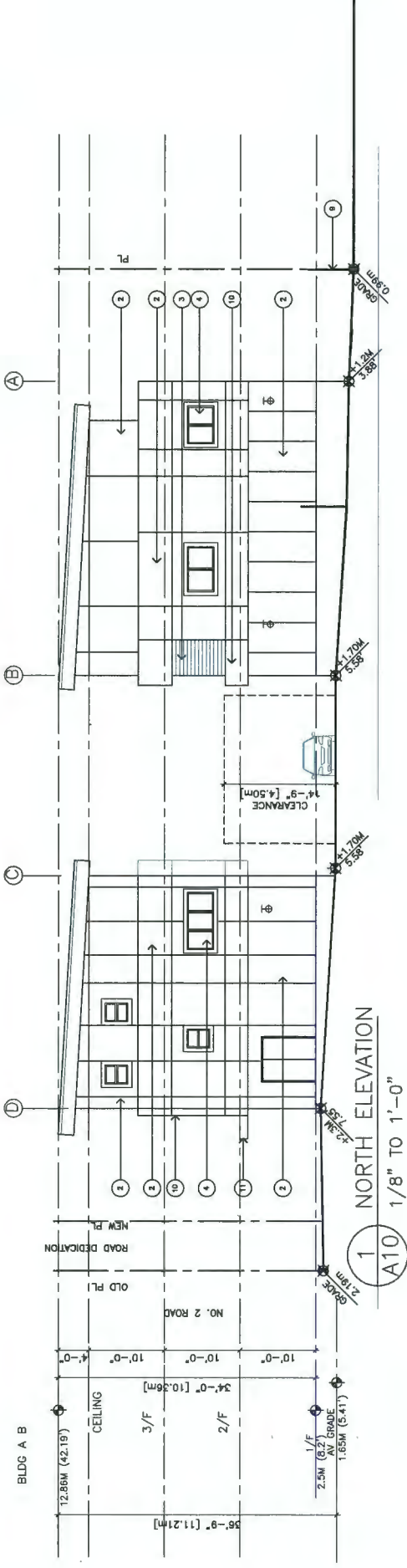
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DATE	DESCRIPTION
2019.02.05	FOR DEVELOPMENT PERMIT APPLICATION
2019.10.11	FOR CITY REVIEW
2019.12.06	FOR CITY APP REVIEW
2020.03.17	FOR CITY REVIEW



- EXTERIOR FINISH LEGEND**
- ① → SLOPED ROOFING
 - ② → HARDI PANEL WITH TRIM
 - ③ → WOOD PATTERN VINYL SIDING
 - ④ → BLACK VINYL FRAME WINDOW
 - ⑤ → CEDAR SOFFIT
 - ⑥ → GLASS ALUMINIUM HANDRAIL
 - ⑦ → WOOD TRIM
 - ⑧ → OVERHEAD GARAGE DOOR WITH TOP LITE
 - ⑨ → WOOD FENCE
 - ⑩ → BOXED OUT FRAME WITH HARDI PANEL FINISH
 - ⑪ → ENTRANCE CANOPY AND LEDGE
 - ⑫ → ENTRANCE TRELLIS
 - ⊕ → EXTERIOR LIGHT
- 1/2" RECESS REVEAL
 HARDI PANEL

PROPOSED TOWNHOUSE
9091 & 9111 NO. 2 RD
RICHMOND BC

ELEVATIONS

PROJECT NUMBER: 18-04
 ISSUED: 3/17/2020
 DRAWN BY: EL
 CHECKED BY: EL
 FILENAME: 18-04-NWT_200317-DP.DWG

A10

DP19-853070 PLAN 9

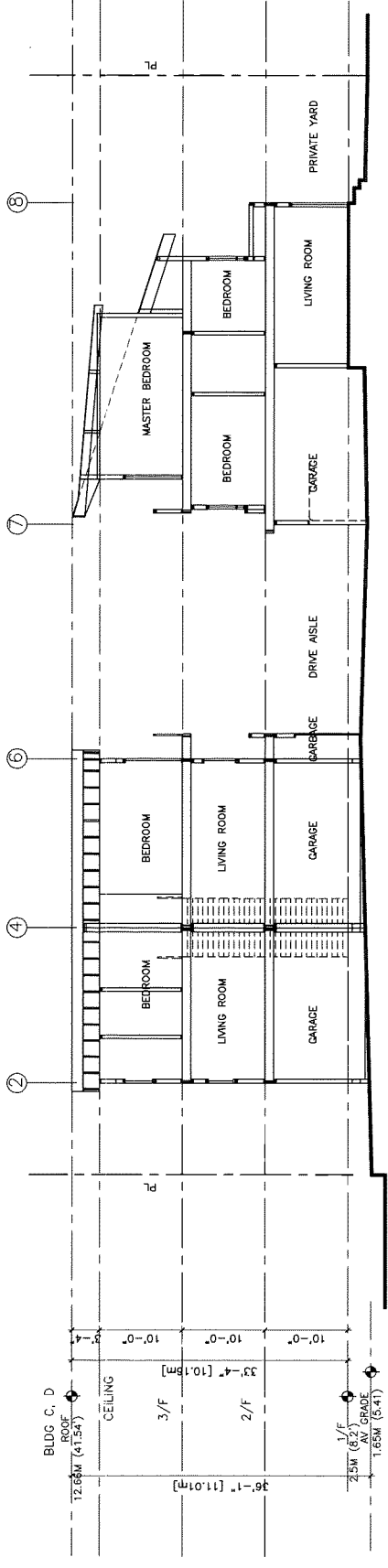
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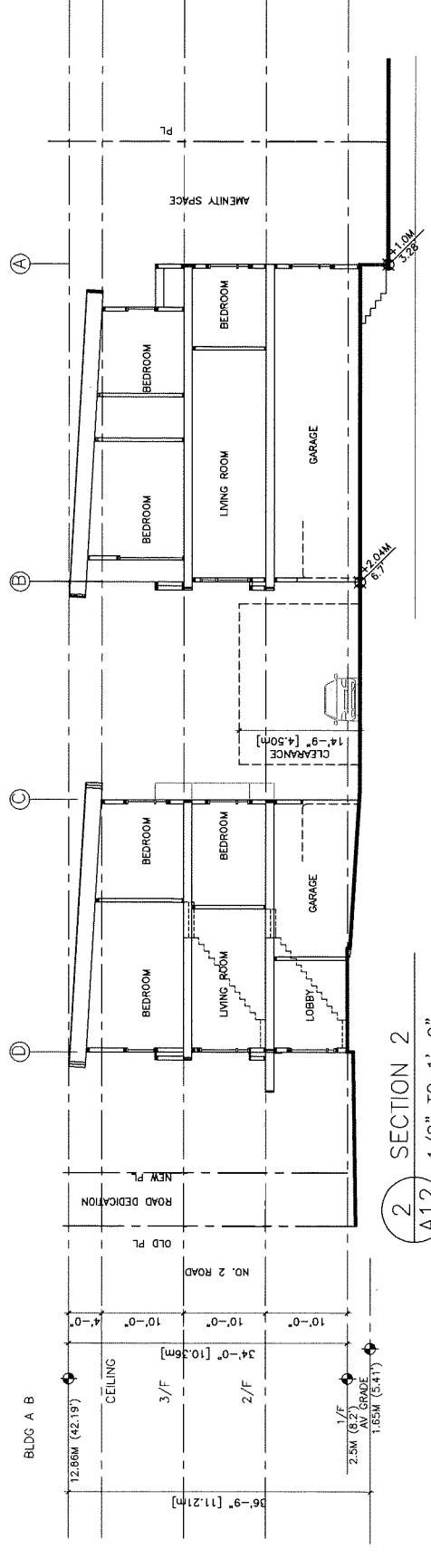
eric.law.architect@telus.net
 4171 155 STREET AVENUE, VICTORIA BC
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- ISSUED
- 2019.02.05 FOR DEVELOPMENT PERMIT APPLICATION
 - 2019.10.11 FOR CITY REVIEW
 - 2019.12.05 FOR CITY ASP REVIEW
 - 2020.03.17 FOR CITY REVIEW



1 SECTION 1
A12 1/8" TO 1'-0"



2 SECTION 2
A12 1/8" TO 1'-0"

- REVISION
- 2019.02.05
 - 2019.10.11
 - 2019.12.05
 - 2020.03.17

PROPOSED TOWNHOUSE
9091 & 9111 NO. 2 RD
RICHMOND BC

SECTIONS

PROJECT NUMBER: 18-04
 ISSUED: 3/17/2020
 DRAWN BY: EL
 CHECKED BY: EL
 FILENAME: 18-04_INT_200317-DP.DWG

A12

DP19-853070 PLAN 11

DEVELOPMENT PERMIT

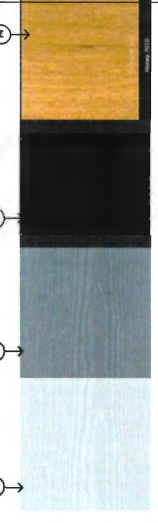
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REVISION	DATE	DESCRIPTION
1.	2019.02.05	FOR DEVELOPMENT PERMIT APPLICATION
2.	2019.10.11	FOR CITY REVIEW
3.	2019.12.06	FOR CITY AMP REVIEW
4.	2020.03.17	FOR CITY REVIEW

- ① → HARDI BOARD PREFINISHED LIGHT GREY - COLOUR LIGHT MIST
 - ② → HARDI BOARD PREFINISHED MEDIUM GREY - COLOUR GRAY SLATE
 - ③ → HARDI BOARD PREFINISHED DARK GREY - COLOUR IRON GRAY
 - ④ → BLACK ON FASCIA BOARD
 - ⑤ → WOOD PATTERN VINYL - CHAMPLAD HONEY
- ALL WINDOW AND DOOR TRIM - BLACK
 ALL PANEL JOINTS TO BE RECESSED 1/2" REVEAL WITH EASY TRIM SYSTEM
 EXPOSED NAIL TO BE COVERED WITH FILL AND PAINTED TO MATCH PANEL COLOURS

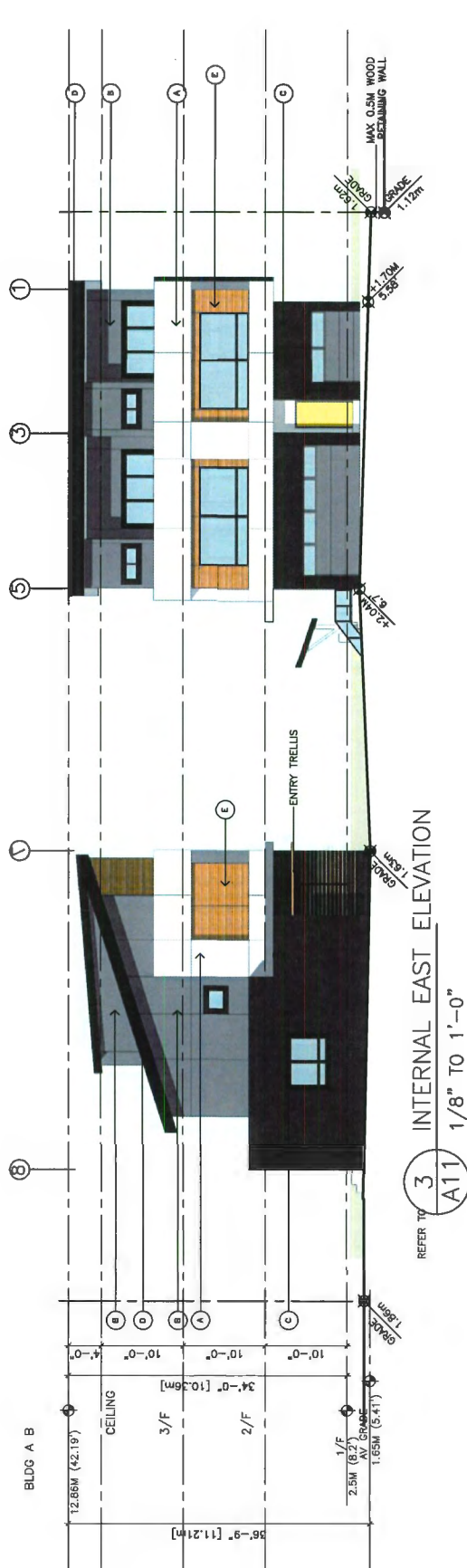
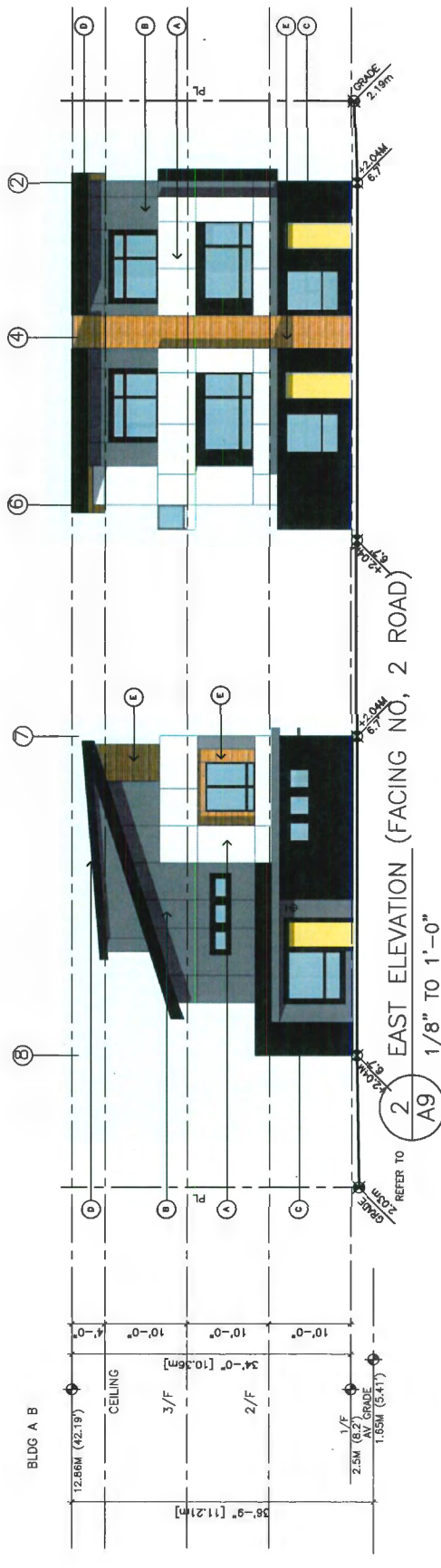


REVISION	DATE	DESCRIPTION
1.	2019.02.05	FOR DEVELOPMENT PERMIT APPLICATION
2.	2019.10.11	FOR CITY REVIEW
3.	2019.11.29	FOR CITY REVIEW
4.	2019.12.06	FOR CITY AMP REVIEW
5.	2020.03.17	FOR CITY REVIEW

PROPOSED TOWNHOUSE
9091 & 9111 NO. 2 RD
RICHMOND BC

EXTERIOR COLOUR

PROJECT NUMBER:	18-04
ISSUED:	3/17/2020
DRAWN BY:	EL
CHECKED BY:	EL
FILENAME:	18-04-NIT_200317-DP.DWG



DP19-853070 PLAN 12 **A15**

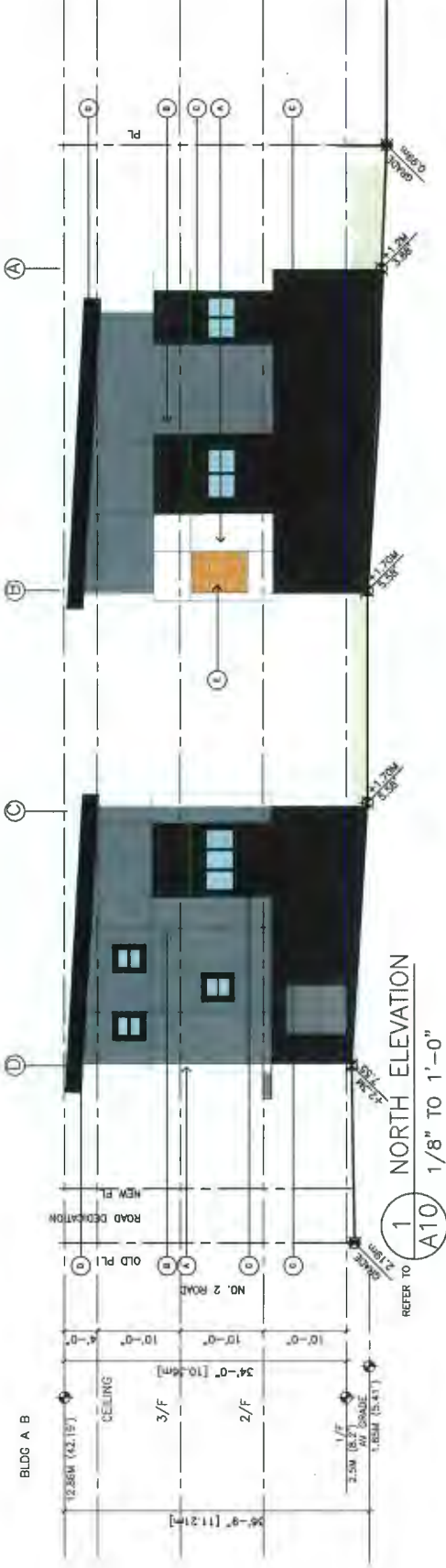
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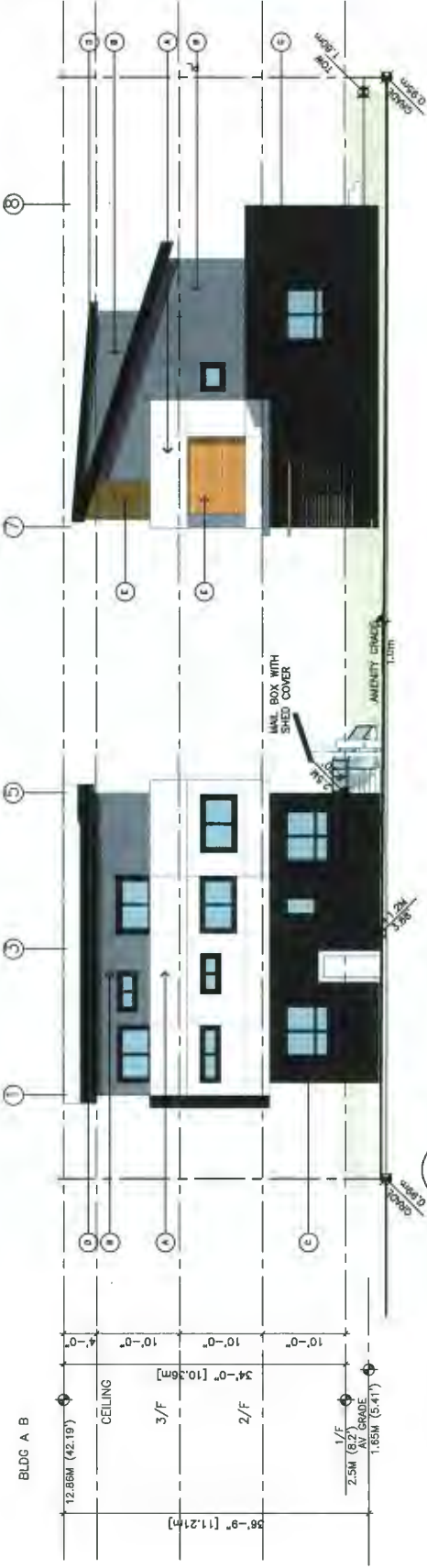
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NO.	DATE	DESCRIPTION
1.	2019.02.05	FOR DEVELOPMENT PERMIT APPLICATION
2.	2019.10.11	FOR CITY REVIEW
3.	2019.12.06	FOR CITY ASP REVIEW
4.	2020.03.17	FOR CITY REVIEW



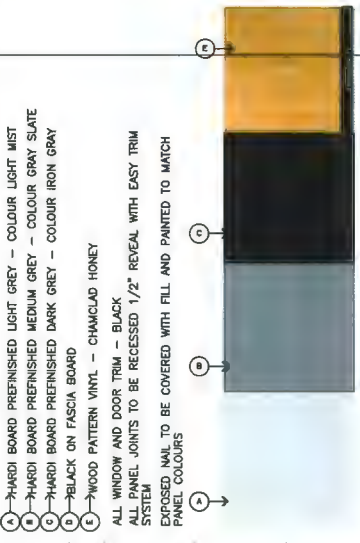
REFER TO **1**
A10
 NORTH ELEVATION
 1/8" TO 1'-0"



REFER TO **2**
A10
 WEST ELEVATION
 1/8" TO 1'-0"



REFER TO **3**
A10
 INTERNAL WEST ELEVATION
 1/8" TO 1'-0"



- (A) HARDI BOARD PREFINISHED LIGHT GREY - COLOUR LIGHT MIST
 - (B) HARDI BOARD PREFINISHED MEDIUM GREY - COLOUR GRAY SLATE
 - (C) HARDI BOARD PREFINISHED DARK GREY - COLOUR IRON GRAY
 - (D) BLACK ON FASCIA BOARD
 - (E) WOOD PATTERN VINYL - CHAMCLAD HONEY
- ALL WINDOW AND DOOR TRIM - BLACK
 ALL PANEL JOINTS TO BE RECESSED 1/2" REVEAL WITH EASY TRIM SYSTEM
 EXPOSED NAIL TO BE COVERED WITH FILL AND PAINTED TO MATCH PANEL COLOURS

PROPOSED TOWNHOUSE
9091 & 9111 NO. 2 RD
RICHMOND BC

EXTERIOR COLOUR

PROJECT NUMBER:	B-04
ISSUED:	3/17/2020
DRAWN BY:	EL
CHECKED BY:	EL
FILENAME:	18-04-NIT_200317-DP.DWG

DP19-853070 PLAN 13 **A16**

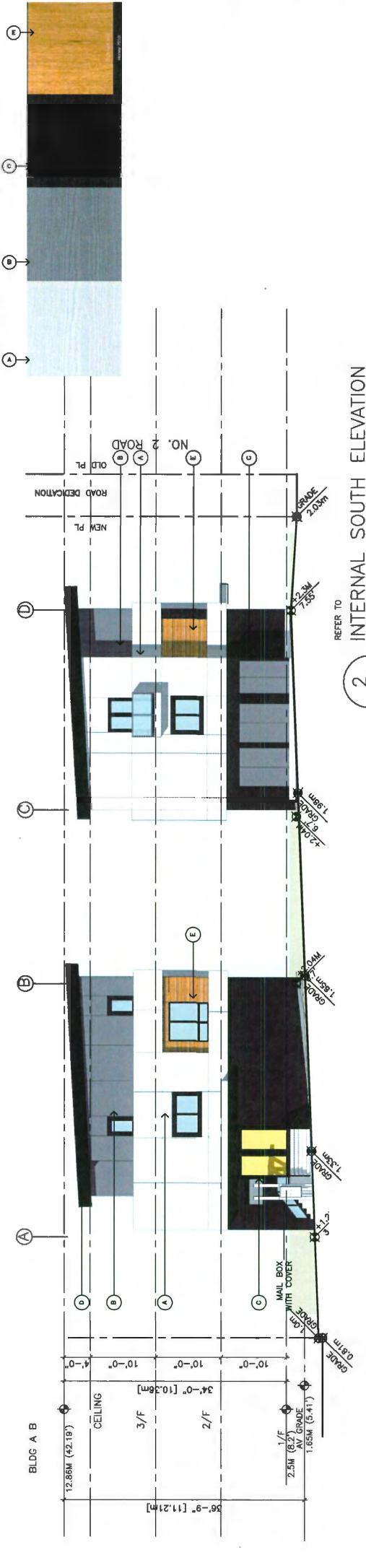
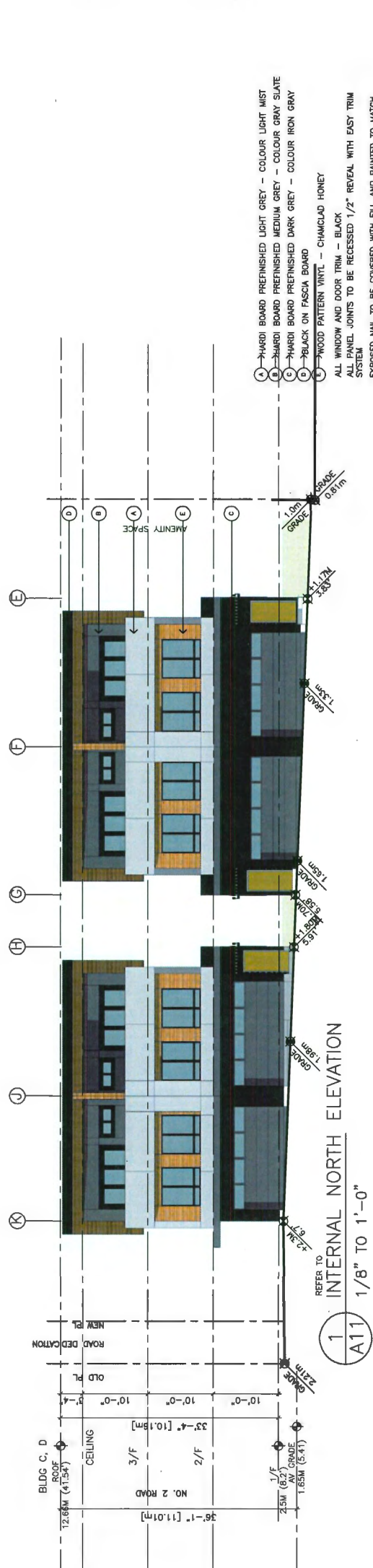
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NO.	DATE	DESCRIPTION
1.	2019.02.25	FOR DEVELOPMENT PERMIT APPLICATION
2.	2019.10.11	FOR CITY REVIEW
3.	2019.12.20	FOR CITY AMP REVIEW
4.	2020.03.17	FOR CITY REVIEW



- A → HARDI BOARD PREFINISHED LIGHT GREY - COLOUR LIGHT MIST
 - B → HARDI BOARD PREFINISHED MEDIUM GREY - COLOUR GRAY SLATE
 - C → HARDI BOARD PREFINISHED DARK GREY - COLOUR IRON GRAY
 - D → BLACK ON FASCIA BOARD
 - E → WOOD PATTERN VINYL - CHAMOLAD HONEY
- ALL WINDOW AND DOOR TRIM - BLACK
 ALL PANEL JOINTS TO BE RECESSED 1/2" REVEAL WITH EASY TRIM SYSTEM
 EXPOSED NAIL TO BE COVERED WITH FILL AND PAINTED TO MATCH PANEL COLOURS

PROPOSED TOWNHOUSE
9081 & 9111 NO. 2 RD
RICHMOND BC

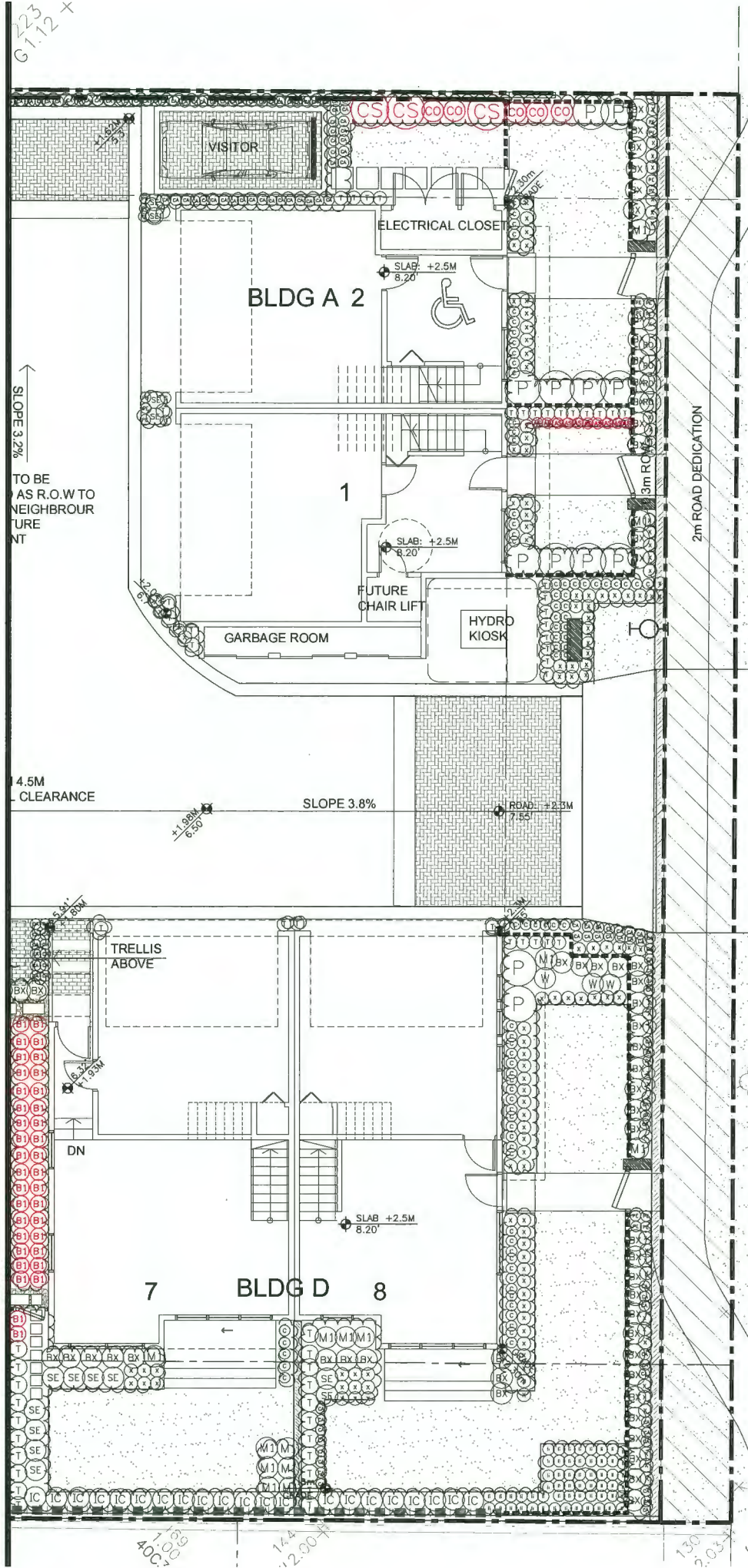
EXTERIOR COLOUR

PROJECT NUMBER:	18-04
ISSUED:	3/17/2020
DRAWN BY:	EL
CHECKED BY:	EL
FILENAME:	18-04_INTL_200317-DP.DWG

A17

DP19-853070 PLAN 14

DEVELOPMENT PERMIT



PLANT SCHEDULE

SHRUB KEY	SYMBOL	COMMON NAME	PLANTED SIZE / REMARKS
74	(Symbol)	SALEA SERRIFOLIA GREEN VELVET	#1 POT 80CM
75	(Symbol)	CHAMPAGNE VILIBRIS	#2 POT 80CM
76	(Symbol)	RED OSEI DOORWOOD	#2 POT 80CM
77	(Symbol)	JAPANESE HOLLY	#3 POT 80CM
78	(Symbol)	VALLEY FIRE PERS	#2 POT 80CM
79	(Symbol)	VALLEY FIRE PERS	#2 POT 80CM
80	(Symbol)	VALLEY FIRE PERS	#2 POT 80CM
81	(Symbol)	VALLEY FIRE PERS	#2 POT 80CM
82	(Symbol)	VALLEY FIRE PERS	#2 POT 80CM
83	(Symbol)	VALLEY FIRE PERS	#2 POT 80CM
84	(Symbol)	VALLEY FIRE PERS	#2 POT 80CM
85	(Symbol)	VALLEY FIRE PERS	#2 POT 80CM
86	(Symbol)	VALLEY FIRE PERS	#2 POT 80CM
87	(Symbol)	VALLEY FIRE PERS	#2 POT 80CM
88	(Symbol)	VALLEY FIRE PERS	#2 POT 80CM
89	(Symbol)	VALLEY FIRE PERS	#2 POT 80CM
90	(Symbol)	VALLEY FIRE PERS	#2 POT 80CM
91	(Symbol)	VALLEY FIRE PERS	#2 POT 80CM
92	(Symbol)	VALLEY FIRE PERS	#2 POT 80CM
93	(Symbol)	VALLEY FIRE PERS	#2 POT 80CM
94	(Symbol)	VALLEY FIRE PERS	#2 POT 80CM
95	(Symbol)	VALLEY FIRE PERS	#2 POT 80CM
96	(Symbol)	VALLEY FIRE PERS	#2 POT 80CM
97	(Symbol)	VALLEY FIRE PERS	#2 POT 80CM
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99	(Symbol)	VALLEY FIRE PERS	#2 POT 80CM
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117	(Symbol)	VALLEY FIRE PERS	#2 POT 80CM
118	(Symbol)	VALLEY FIRE PERS	#2 POT 80CM
119	(Symbol)	VALLEY FIRE PERS	#2 POT 80CM
120	(Symbol)	VALLEY FIRE PERS	#2 POT 80CM
121	(Symbol)	VALLEY FIRE PERS	#2 POT 80CM

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANADA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. ** REFER TO SPECIFICATIONS FOR DEFINED CONTAINER SIZE. SOURCE OF SUPPLY: AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT. AVAILABILITY: ALL LANDSCAPE MATERIALS AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL MATERIALS MUST BE PROVIDED FROM CERTIFIED SOURCE (TREE TRUST). ** SUBSTITUTIONS NOT PERMITTED UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

1888B-12.ZIP

DATE: 18.APR.10 SCALE: 3/16"=1'-0"

DRAWN: DESIGN: CHKD: PDM

DRAWING NUMBER: L2A OF 6

PROJECT: 8 UNIT TOWNHOUSE DEVELOPMENT 9091 NO. 2 ROAD RICHMOND, BC

CLIENT: 1151418 BC LTD.

PROJECT TITLE: SHRUB PLAN

DRAWING NUMBER: DP 19-853070 PLAN 16

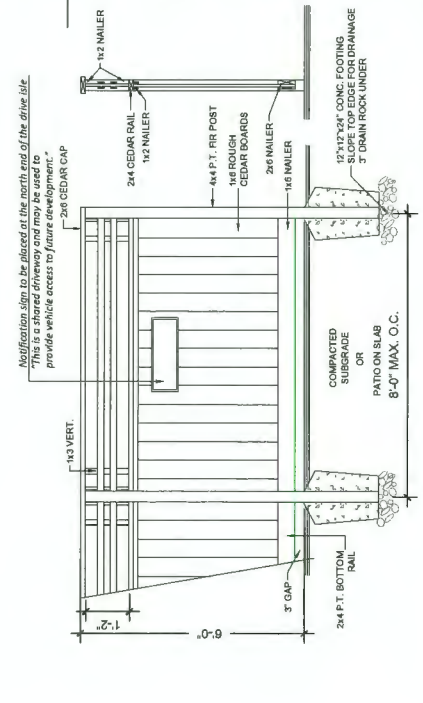
PMS PROJECT NUMBER: 18-038

NO.	DATE	REVISION DESCRIPTION	DK.
11	20.APR.10	REVISION AS PER CITY REQUEST	DK
10	20.APR.10	REVISION AS PER CITY REQUEST	DK
9	16.APR.10	REVISION AS PER CITY COMMENTS	DK
8	16.APR.10	REVISION AS PER CITY COMMENTS	DK
7	16.APR.10	NEW SITE PLAN	DK
6	16.APR.10	ALTA REPLUM LID AND REPORT	DK
5	15.FEB.10	NEW SITE PLAN CITY COMMENTS	DK
4	15.FEB.10	NEW SITE PLAN	DK
3	15.FEB.10	NEW SITE PLAN	DK
2	15.FEB.10	NEW SITE PLAN	DK
1	15.FEB.10	NEW SITE PLAN	DK

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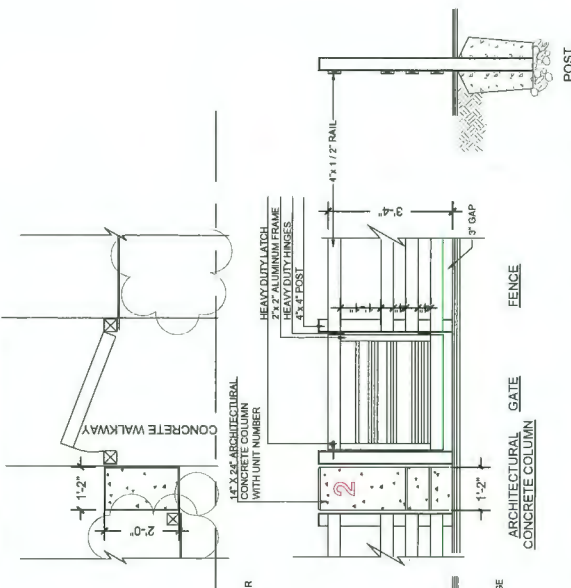


- NOTES:**
1. ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE.
 2. ALL OTHER MEMBERS TO BE CEDAR #2 (CONSTRUCTION) GRADE MINIMUM.
 3. ALL HARDWARE HOT DIPPED GALVANIZED.
 4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.
 5. ALL FENCES TO BE LEVEL. CHANGES IN GRADE TO BE IN 12"-16" STEPS (MAX). GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3/4".



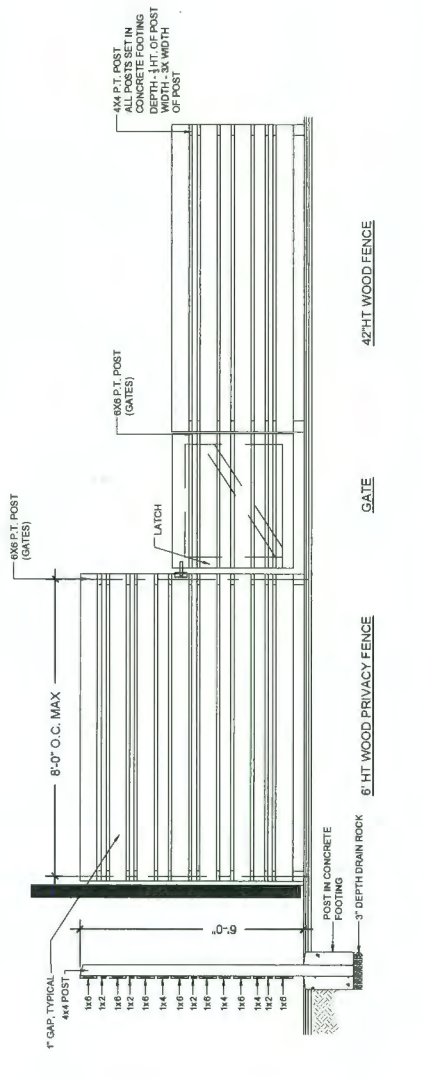
4-1'-0" / 6'-0" HT WOOD FENCE WITH LATTICE
scale 1/2"=1'-0"

- NOTES:**
1. METAL MATERIAL: ALUMINUM TO BE POWDER COATED BLACK, TWO COATS TREATED WITH PRESERVATIVE.
 2. ALL HARDWARE TO BE HOT DIPPED GALVANIZED, MEDIUM GAUGE.
 3. GATE HARDWARE TO BE CHOSEN BY OWNER. INSTALL PER MANUFACTURERS INSTRUCTIONS.

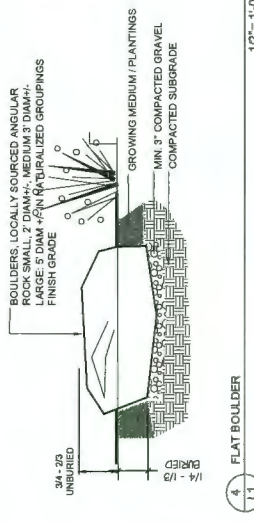


42" HT ALUMINUM FENCE WITH GATE
scale 1/2"=1'-0"

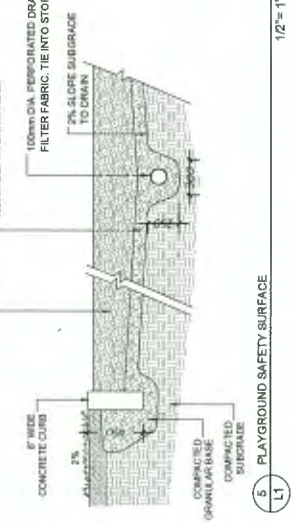
- NOTES:**
1. ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE.
 2. ALL OTHER MEMBERS TO BE CEDAR #2 (CONSTRUCTION) GRADE MINIMUM.
 3. ALL HARDWARE HOT DIPPED GALVANIZED.
 4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.
 5. ALL FENCES TO BE LEVEL. CHANGES IN GRADE TO BE IN 12"-16" STEPS (MAX). GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3/4".



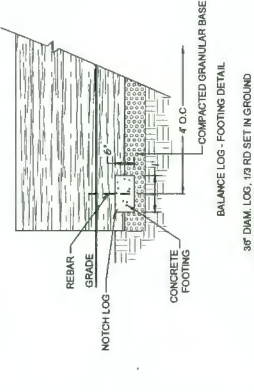
BACKYARD FENCE LAYOUT - PRIVACY WOOD FENCE WITH 36" HT BASKET WEAVE WOOD FENCE WITH GATE
scale 1/2"=1'-0"



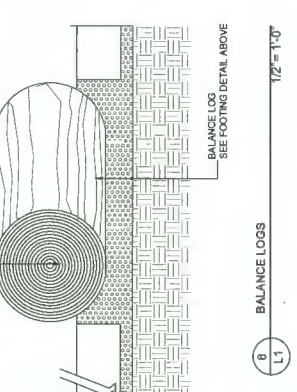
1-1' FLAT BOULDER
scale 1/2"=1'-0"



6-1' PLAYGROUND SAFETY SURFACE
scale 1/2"=1'-0"



2-1' BALANCE LOGS
scale 1/2"=1'-0"



6-1' DEVELOPMENT SIGNAGE
scale 1/2"=1'-0"

pmg
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CLIENT:
1151418 BC LTD.

PROJECT:
8 UNIT TOWNHOUSE DEVELOPMENT
9031 NO. 2 ROAD
RICHMOND, BC

DRAWING TITLE:
LANDSCAPE DETAILS

DATE: 18 APR 20
SCALE:
DRAWN:
DESIGN:
CHKD: POM
DRAWING NUMBER:
L4
PMG PROJECT NUMBER:
18-038

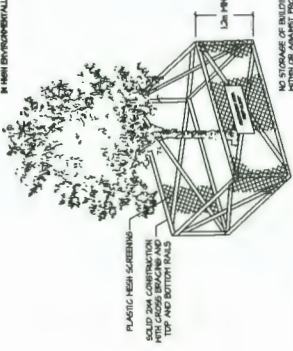
DP 19-853070 PLAN 18

OF 6



TABLE 1: TREE PROTECTION DIMENSION TABLE

TREE #	TREE SPECIES	DBH (cm)	SPREAD (m)
1	Cedar	48	2m
2	Diouglas Fir	43	3.5m
3	Cedar	43	2m
4	Cedar	36	2m
5	Cedar	42	2m
6	Apple	28	2m
7	Cedar	26	3.5m
8	Cedar	29	3m
9	Cedar	43	3m
10	Cedar	20	2.5m
11	Cedar	20	per survey
12	Cedar	22	per survey
13	Cedar	22	per survey
14	Cedar	22	per survey
15	Cedar	23	per survey
16	Cedar	23	3.5m
17	Cedar	19	3m
18	Cedar	29	3m
19	Cedar	35	3.5m
20	Birch	56	combined
21	Pine	51	5m
22	Cedar	65	5m
23	Cedar	63	5m
24	Cherry	55	per survey
25	Diouglas Fir	62	6m
26	Diouglas Fir	39	3.5m
27	Sweetgum	49	5m
28	Diouglas Fir	45	3.5m



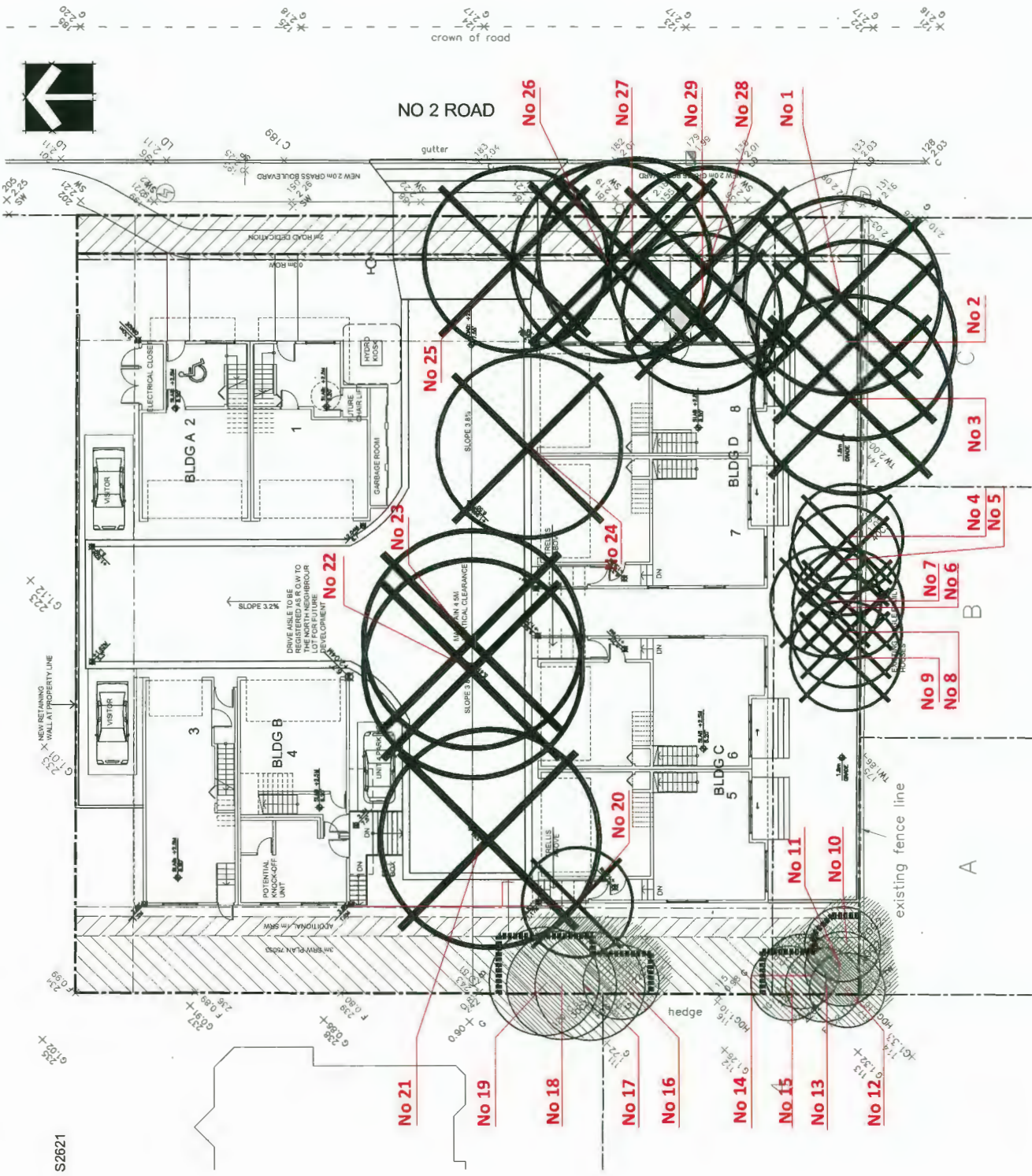
1A TREE PROTECTION BARRIER

TREE #	SPECIES	DBH (cm)	SPREAD (m)
29	Apple (Malus sp.)	31	combined

Suitable Replacement Tree Species

- Purple Fountain European Beech (*Fagus sylvatica* 'Purple Fountain')
- Japanese Tree Lilac 'Ivory Silk' (*Syringa reticulata* 'Ivory Silk')
- Japanese maple (*Acer palmatum* sp.)
- Stewartia (*Stewartia pseudocamellia*)
- Ginkgo 'Princeton Sentry' (*Ginkgo biloba* 'Princeton Sentry')
- DK's Weeping Cypress (*Chamaecyparis lawsoniana* 'DK's Weeping')
- Oriental Dogwood (*Cornus kousa*)
- Paperbark maple (*Acer griseum*)
- Threadleaf Cypress (*Chamaecyparis pisifera* 'Filifera')
- Sentinel Columnar pine (*Pinus nigra* 'Sentinel')
- Picea omarika (*Serbian spruce*)

TREE #	SPECIES	DBH (cm)	SPREAD (m)
1	Cedar	48	2m
2	Diouglas Fir	43	3.5m
3	Cedar	43	2m
4	Cedar	36	2m
5	Cedar	42	2m
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8	Cedar	29	3m
9	Cedar	43	3m
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12	Cedar	22	per survey
13	Cedar	22	per survey
14	Cedar	22	per survey
15	Cedar	23	per survey
16	Cedar	23	3.5m
17	Cedar	19	3m
18	Cedar	29	3m
19	Cedar	35	3.5m
20	Birch	56	combined
21	Pine	51	5m
22	Cedar	65	5m
23	Cedar	63	5m
24	Cherry	55	per survey
25	Diouglas Fir	62	6m
26	Diouglas Fir	39	3.5m
27	Sweetgum	49	5m
28	Diouglas Fir	45	3.5m



NO.	DATE	REVISION DESCRIPTION	DR.
1		NEW RETAINING WALL AT PROPERTY LINE	DR
2		REVISION AS PER CITY REQUEST	DR
3		REVISION AS PER CITY REQUEST	DR
4		REVISION AS PER CITY REQUEST	DR
5		REVISION AS PER CITY REQUEST	DR
6		REVISION AS PER CITY REQUEST	DR
7		REVISION AS PER CITY REQUEST	DR
8		REVISION AS PER CITY REQUEST	DR
9		REVISION AS PER CITY REQUEST	DR
10		REVISION AS PER CITY REQUEST	DR
11		REVISION AS PER CITY REQUEST	DR
12		REVISION AS PER CITY REQUEST	DR
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16		REVISION AS PER CITY REQUEST	DR
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19		REVISION AS PER CITY REQUEST	DR
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22		REVISION AS PER CITY REQUEST	DR
23		REVISION AS PER CITY REQUEST	DR
24		REVISION AS PER CITY REQUEST	DR
25		REVISION AS PER CITY REQUEST	DR
26		REVISION AS PER CITY REQUEST	DR
27		REVISION AS PER CITY REQUEST	DR
28		REVISION AS PER CITY REQUEST	DR

CLIENT: 1151418 BC LTD.

pmg
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PROJECT:
8 UNIT TOWNHOUSE DEVELOPMENT
9091 NO. 2 ROAD
RICHMOND, BC

DRAWING TITLE:
TREE MANAGEMENT PLAN

DP 19-853070 PLAN 19

DATE: 18 APR 10
SCALE: 1"=30' 0"
DRAWN: POM
DESIGN: POM
CHKD: POM
DRAWING NUMBER: L5
PMG PROJECT NUMBER: 18-038

OF 6
18-038



City of
Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: April 22, 2020

From: Wayne Craig
Director of Development

File: DV 19-869780

Re: **Application by Omicron Architecture Engineering Construction Ltd. for a
Development Variance Permit at 8011 Zylmans Way & 15111 Williams Road**

Staff Recommendation

That a Development Variance Permit be issued which would vary the provisions of Richmond Zoning Bylaw 8500 to increase the maximum height as measured from the finished foundation slab elevation for Building #1 from 13.0 m to 15.4 m to the top of the building parapet and 17.4 m to the top of the building rooftop equipment.

Wayne Craig
Director of Development

WC:sds
Att. 3

Staff Report

Origin

Omicron Architecture Engineering Construction Ltd., on behalf of Ecowaste Industries Ltd. for 8011 Zylmans Way & 15111 Williams Road (Schedule A), has applied to the City of Richmond for permission to increase the maximum height as measured from the finished foundation slab elevation for Building #1 from 13.0 m to 15.4 m to the top of the building parapet and 17.4 m to the top of the building rooftop equipment. Maximum elevation limits for the tallest point of the building will be regulated through the application of the Geological Survey of Canada (GSC) datum, as shown on the plan attached as “Schedule B”. This would permit the construction of an industrial building at 8011 Zylmans Way & 15111 Williams Road on a site zoned “Industrial (I)”.

A Development Permit (DP 11-566011) was issued by Council on January 23, 2017 for the construction of a 65.22 ha (161.14 acres) Industrial Logistics Park at the subject site, which includes potential development of up to 13 large warehouse and distribution buildings, a total of approximately 265,145 m² (2,854,000 ft²) of light industrial floor space, over a period of up to 20 years. The Development Permit included a variance to increase the maximum building height from 12.0 m to 13.0 m, that the building height be measured from the finished foundation slab, and to apply the GSC datum to establish maximum elevation limits. A subsequent General Compliance Ruling was approved on September 10, 2018, for minor revisions to the internal private road layout and associated landscape changes. The site was previously a landfill, but is being closed and capped and undergoing site preparation works for the overall industrial development.

The purpose of the subject Development Variance Permit application is to increase the height of Building #1 only, as shown on the plan attached as “Schedule B”, due to a request from a prospective tenant and a review of emerging trends in clear height requirements for warehouse-type industrial buildings. More information regarding these emerging trends is provided in the “Analysis” section of this report. The applicant has also provided a letter indicating the rationale for the requested height variance based on the operations of the tenant (Attachment 1).

A Building Permit (BA 17-769668) for Building #1 was previously issued in 2017. Site preparation works and the development of internal roads have occurred on-site, but the building has not been constructed. Should the Development Variance Permit be endorsed by the Development Permit Panel and issued by Council, the Building Permit will be modified by the applicant to accommodate the requested increase in height.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 2) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

- To the North: Across Blundell Road, a 54 ha (132.5 acre) “Agriculture (AG1)” zoned parcel owned by Ecowaste Industries Ltd. and operated as a landfill under the authority of the Ministry of Environment. Council endorsed a non-farm use application (AG 19-863866) for the continued use of the landfill on February 10, 2020, which is currently under review by the Agricultural Land Commission.
- To the East: Across the No. 7 Road Canal, industrial properties under federal jurisdiction (Port Metro Vancouver) zoned “Industrial (I)”.
- To the South: Across Williams Road, property zoned “Industrial (I)” owned by the Vancouver Airport Fuel Facilities Corporation (VAFFC). A Development Permit application (DP 16-741741) for a Marine Terminal Facility for receiving jet fuel was endorsed by the Development Permit Panel on February 28, 2018.
- To the West: Across the Savage Road allowance, properties zoned “Golf Course (GC)” and “Agriculture (AG1)”, designated “Agriculture (AGR)” in the OCP and located in the Agricultural Land Reserve (ALR).

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the staff comments identified as part of the review of the subject Development Variance Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the “Industrial (I)” zone except for the zoning variances noted below.

Zoning Compliance/Variiances (staff comments in ***bold italics***)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

Increase the maximum height as measured from the finished foundation slab elevation for Building #1 from 13.0 m to 15.4 m to the top of the building parapet and 17.4 m to the top of the building rooftop equipment.

- ***The height variance has been requested by Ecowaste Industries Ltd., due to a prospective tenant and in response to the demand within the warehouse and logistics industry, and industry in general, for higher internal building clearances of up to 12 m.***
- ***The requested internal building clearances will translate into higher external building heights. The original Development Permit issued for the site included a maximum height of 13.0 m to the highest point of the building. The proposed height variance would result in an additional 2.4 m to the top of the building parapet and 4.4 m to the top of the building rooftop and equipment features.***
- ***The proposed height variance is consistent with the market analysis and findings from staff’s preliminary review of the City’s Industrial Lands Intensification Initiative regarding preferred building heights in industry.***

- *The alternative approach to measuring height (from the finished foundation slab instead of the finished site grade) is consistent with the original Development Permit issued for the site. An absolute maximum to the height of the proposed building is regulated through the application of the GSC datum, as shown on the plan attached as “Schedule B”. This is also consistent with the original Development Permit issued.*
- *Rooftop equipment and features will be setback from the roof edge. The applicant has agreed to register a legal agreement on title to ensure rooftop equipment and features are not visible from the street.*
- *As a result of the requested variance, the applicant has proposed a sustainability response, including electric vehicle parking spaces, reductions in building energy use, and on-site renewable energy sources. More information is provided in the “Analysis” section of this report.*

Analysis

Previous Development Permit

A Development Permit (DP 11-566011) was issued by Council on January 23, 2017 for the overall development of the Industrial Logistics Park. The subject application is a request to vary the height for Building #1 only, as shown on the plan attached as “Schedule B”. Further requests for height variances for the other buildings would require a separate Development Variance Permit application.

The applicant has provided additional analysis by designated professionals to confirm the following information, based on the previously issued Development Permit and the requested height variance:

- No additional trip generation or traffic will result from the increased building height;
- Requirements for fire protection systems, resulting from increased rack heights, can be accommodated by minor changes to the building design (i.e. different sprinklers) and the existing service and utilities;
- Additional structural elements can be added to manage the additional building height and the existing soil capacity can support the added loads; and
- No changes are required to the legal agreements registered on Title through the original Development Permit.

Staff from applicable City departments reviewed the above-noted additional analysis and have no concerns.

Proposed Height Variance

The requested height variance of 15.4 m (50 ft.) from the finished foundation slab to the top of the building parapet and 17.4 m (57 ft.) to the top of the building rooftop equipment and features would allow for internal building clearances of up to 12 m (40 ft.) to accommodate changing operations in the warehouse industry (i.e. automation and technological innovations).

Traditionally, 7.3 m (24 ft.) to 9.1 m (30 ft.) of internal building clearances were the standard based on the constraints of forklift and racking technology. However, new racking technology can be designed to handle seismic requirements at higher heights and automated storage and

retrieval systems have improved efficiencies in operations. These innovations have led to the demand for higher internal building clearances. This is consistent with staff's preliminary analysis and consultation with the industry through the City's Industrial Land Intensification Initiative.

Ecowaste Industries Ltd. has a prospective tenant for Building #1 that is requesting up to 12 m (40 ft.) of internal building clearance (to the underside of the joist) to support their operations and accommodate automated storage and retrieval systems. These internal clearances will translate into external building heights of approximately 15.4 m (50 ft.) (incl. joist depth to meet structural and seismic design as per BC Building Code, insulation requirements and accommodate for roof slopes and parapet) as measured from the building's finished slab and 17.4 m (57 ft.) to the top of the building rooftop equipment and features.

The additional 2.0 m (7 ft.) for rooftop equipment and features will allow for standard rooftop equipment, large skylights and potentially solar panels in the future. The proposal includes placing building rooftop equipment and features out of sight from the public street, which will be secured through registration of a legal agreement prior to Council issuance of the Development Variance Permit. In addition, due to the location of Building #1 being on the highest point of the overall development, the rooftop equipment and features will not be visible from above by adjacent sites.

Sustainability Response

In response to the requested height variance and the City's Community Energy and Emission Plan (CEEP) 2020-2050 Directions endorsed by Council on January 27, 2020, the applicant is providing the following sustainability commitments for Building #1 as part of the Development Variance Permit proposal:

- Electric Vehicles (EV): a minimum 10% of the vehicle parking spaces provided will be equipped with EV charging equipment and an additional minimum 10% of the vehicle parking spaces provided will be equipped with conduit for future electrical vehicle outlets (pre-ducting).
- Building Energy Use: building energy consumption will be a minimum 12.5% less than current code (BC Building Code 2018) for semi-heated spaces (i.e. warehouse area) and a minimum 7.5% less for heated spaces (i.e. office area). Applicant will demonstrate compliance at Building Permit and Tenant Improvement stage through energy modelling.
- On-site Renewable Energy: a minimum 3.5% of building energy consumption will be derived from on-site renewable sources (i.e. air-source heat pumps). Applicant will demonstrate compliance at Building Permit stage through energy modelling.
- Energy Benchmarking: creation of an Energy Star Portfolio Manager profile of the building to monitor building energy use over time and support potential future City energy benchmarking policies.

The above-noted sustainability commitments will be secured through the registration of legal agreements prior to issuance of the Development Variance Permit by Council.

The previously approved Development Permit application for the subject site also included a sustainability response, including approximately five times the amount of landscaping compared to the Zoning Bylaw requirement and a privately-owned storm water outfall system resulting in approximately 20% reduction in storm water discharge from the City's system, along with Environmentally Sensitive Area (ESA) and Riparian Management Area (RMA) enhancements. No changes are proposed to these requirements through the subject application.

Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Variance Permit be endorsed, and issuance by Council be recommended.

The list of Development Variance Permit Considerations is included in Attachment 3, which has been agreed to by the applicant (signed concurrence on file).



Steven De Sousa
Planner 1

SDS:cas

Attachment 1: Letter from the Applicant regarding the Requested Height Variance

Attachment 2: Development Application Data Sheet

Attachment 3: Development Variance Permit Considerations



April 21, 2020

Planning Department
City of Richmond
6911 No. 3 Road
Richmond, BC V6Y 2C1

To Whom It May Concern,

**Re: Information on Prospective Tenant for 8011 Zylmans Way
Richmond Industrial Centre – DV 19-869780**

As part of the Development Variance permit, DV 19-869780, the City of Richmond Planning Department has requested information about the Prospective Tenant's business. As well as, rationale for the increased racking heights and how they will be beneficial for the Prospective Tenant.

The Prospective Tenant is a warehousing and food distribution supplier that currently operates in the Lower Mainland. They have five (5) facilities in the lower mainland that they are looking to consolidate to one large building in Richmond.

The increase racking height will allow for the Prospective Tenant to consolidate their current facilities into a single building with a smaller building footprint. This will significantly streamline operations, create efficiencies (ie. reducing double handling) and reducing their overall local carbon footprint.

Large warehousing sites able to accommodate a large footprint warehouse, similar to 8011 Zylmans Way at 500,000sqft, are rare in the lower mainland. Therefore, without the additional height it is unlikely that the Prospective Tenant would be able to find a larger site to accommodate the additional square footage required to consolidate all their operations.

We trust this letter provides sufficient information related to the Prospective Tenant for 8011 Zylmans Way of the Richmond Industrial Centre site. Please do not hesitate to contact us at any time should you have any questions.

Yours truly,

OMICRON ARCHITECTURE ENGINEERING CONSTRUCTION LTD.

A handwritten signature in blue ink, appearing to read "Alisa Bailey", is written over a light blue circular stamp.

Alisa Bailey, ASCT
Project Director – Richmond Industrial Centre

OMICRON
ARCHITECTURE ENGINEERING
CONSTRUCTION LTD.

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Principals

Kevin Hanvey Architect AIBC
Cameron J. Kemp P.Eng.
George R. Sawatzky ASCT
Bill Tucker P.Eng.
Doug Vincent P.Eng. C.P.
Pablo Yuste Architect AIBC



Platinum member



DV 19-869780

Attachment 2

Address: 8011 Zylmans Way & 15111 Williams Road

Applicant: Omicron Architecture Engineering Construction Ltd. Owner: Ecowaste Industries Ltd.

Planning Area(s): Fraser Lands

	Existing	Proposed
Site Area:	65.22 ha (161.14 ac)	No change
Land Uses:	Industrial	No change
OCP Designation:	Industrial	No change
Zoning:	Industrial (I)	No change

	Requirement	Proposed	Variance
Floor Area Ratio:	Max. 1.0	Max. 1.0	None permitted
Lot Coverage:	Max. 60%	Max. 60%	None
Setback – Front Yard:	Min. 3.0 m	Min. 3.0 m	None
Setback – Exterior Side Yard:	Min. 3.0 m	Min. 3.0 m	None
Setback – Interior Side Yard:	N/A	N/A	None
Setback – Rear Yard:	N/A	N/A	None
Height:	Max. 13.0 m (measured from finished foundation slab)	Building parapet: 15.4 m Rooftop equipment: 17.4 m (measured from finished foundation slab)	Variance requested for Building #1



Development Variance Permit Considerations

Development Applications Department
6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 8011 Zylmans Way & 15111 Williams Road (Building #1)

File No.: DV 19-869780

Prior to forwarding the application to Council for approval, the developer is required to complete the following:

1. Registration of an Electric Vehicle (EV) Charging Infrastructure covenant on Title, securing the commitment to install and maintain a minimum 10% of the vehicle parking spaces provided with an electric vehicle charging station, an additional minimum 10% of the vehicle parking spaces provided equipped with conduit for future 240-volt electrical outlets, and provide sufficient electrical service capacity to achieve this commitment.
2. Registration of a legal agreement on Title ensuring the building energy use will be a minimum 12.5% less than current code (BC Building Code 2018) if classified as semi-heated space or a minimum 7.5% less than current code if classified as heated space. Compliance will be confirmed at Building Permit and Tenant Improvement stage through energy modelling to the satisfaction of the Director of Building Approvals.
3. Registration of a legal agreement on Title ensuring a minimum 3.5% of building energy use will be derived from on-site renewable sources (i.e. air-source heat pumps). Compliance will be confirmed at Building Permit stage through energy modelling to the satisfaction of the Director of Building Approvals.
4. Registration of a legal agreement on Title ensuring prior to Building Permit final occupancy, the applicant has created an Energy Star Portfolio Manager portfolio of the building to monitor building energy use over time and allowed the City to have read-only access to support potential future City energy benchmarking policies.
5. Registration of a legal agreement on Title ensuring rooftop equipment and features will not be visible from the street as shown on the Sight Line Survey Plan attached as "Plan #3".

Prior to Building Permit* Issuance, the developer must complete the following requirements:

1. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
2. Incorporation of energy efficiency and sustainability measures in Building Permit (BP) plans as determined via the Development Permit process.
3. If applicable, payment of latecomer agreement charges, plus applicable interest associated with eligible latecomer works.
4. If applicable, obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

Initial: _____

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

Signed

Date



City of Richmond

Development Variance Permit

No. DV 19-869780

To the Holder: Ecowaste Industries Ltd.

Property Address: 8011 Zylmans Way & 15111 Williams Road

Address: c/o Alisa Bailey
 Omicron Architecture Engineering Construction Ltd.
 Three Bentall Centre PO Box 49369
 595 Burrard Street, Fifth Floor, Vancouver, BC V7X 1L4

1. This Development Variance Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied by this Permit.
2. This Development Variance Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A", specifically Building #1, as shown on the plan attached as Schedule "B".
3. The "Richmond Zoning Bylaw 8500" is hereby varied to increase the maximum height as measured from the finished foundation slab elevation for Building #1 from 13.0 m to 15.4 m to the top of the building parapet and 17.4 m to the top of the building rooftop equipment.
4. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and Plans #1 to #3 attached to this Permit which shall form a part hereof.
5. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF

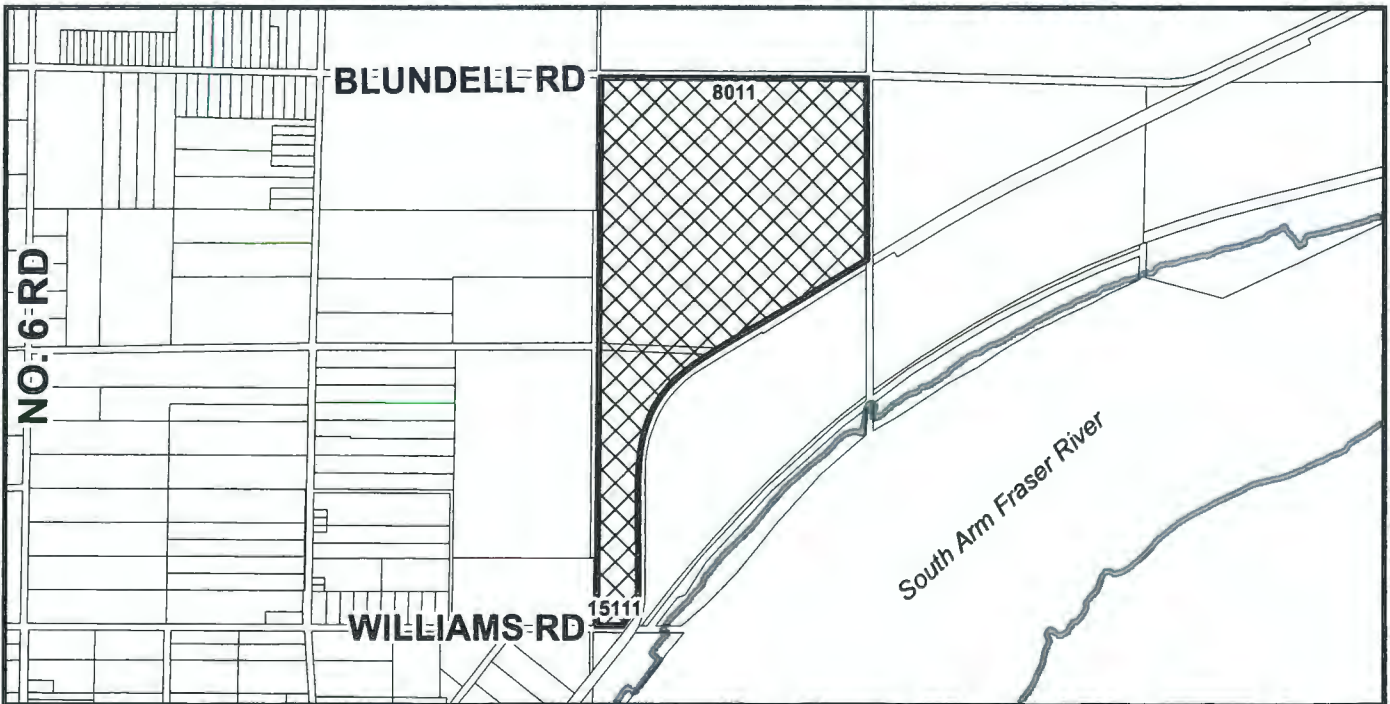
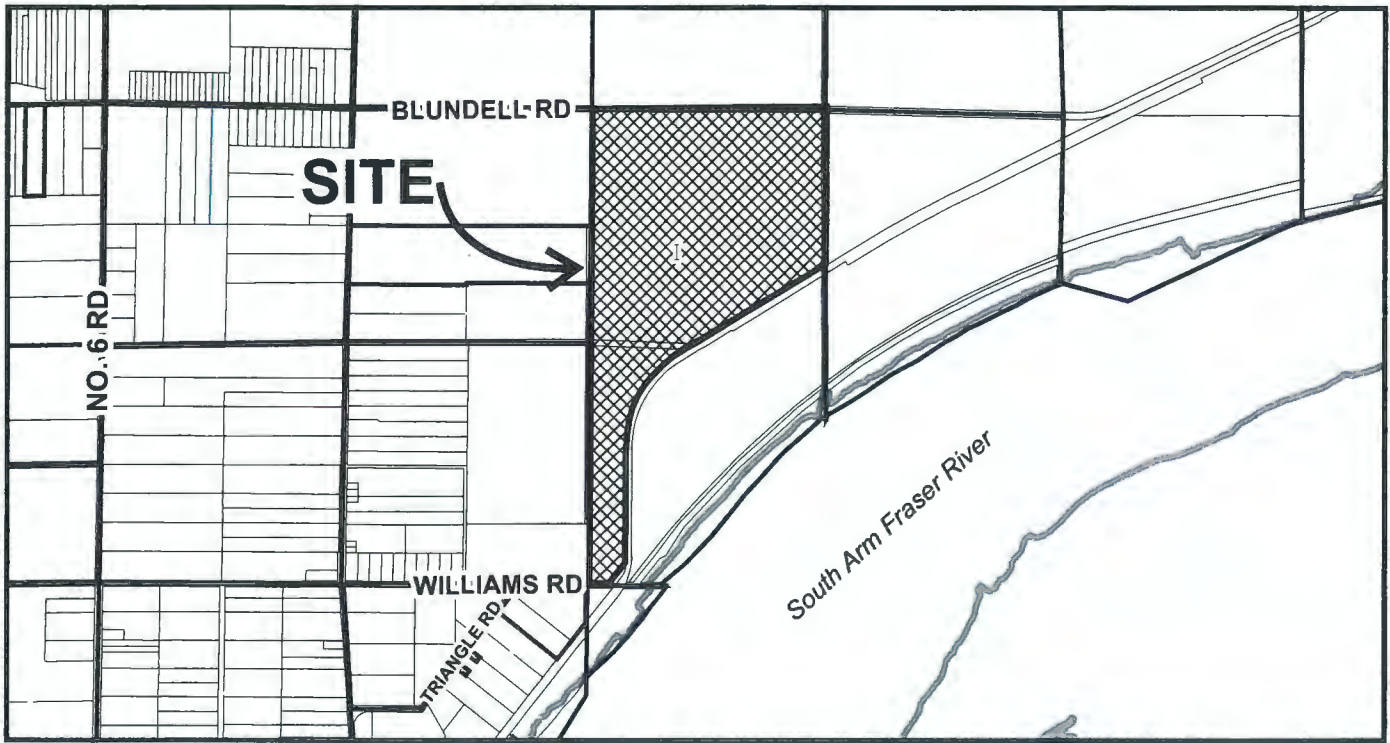
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

MAYOR



City of Richmond



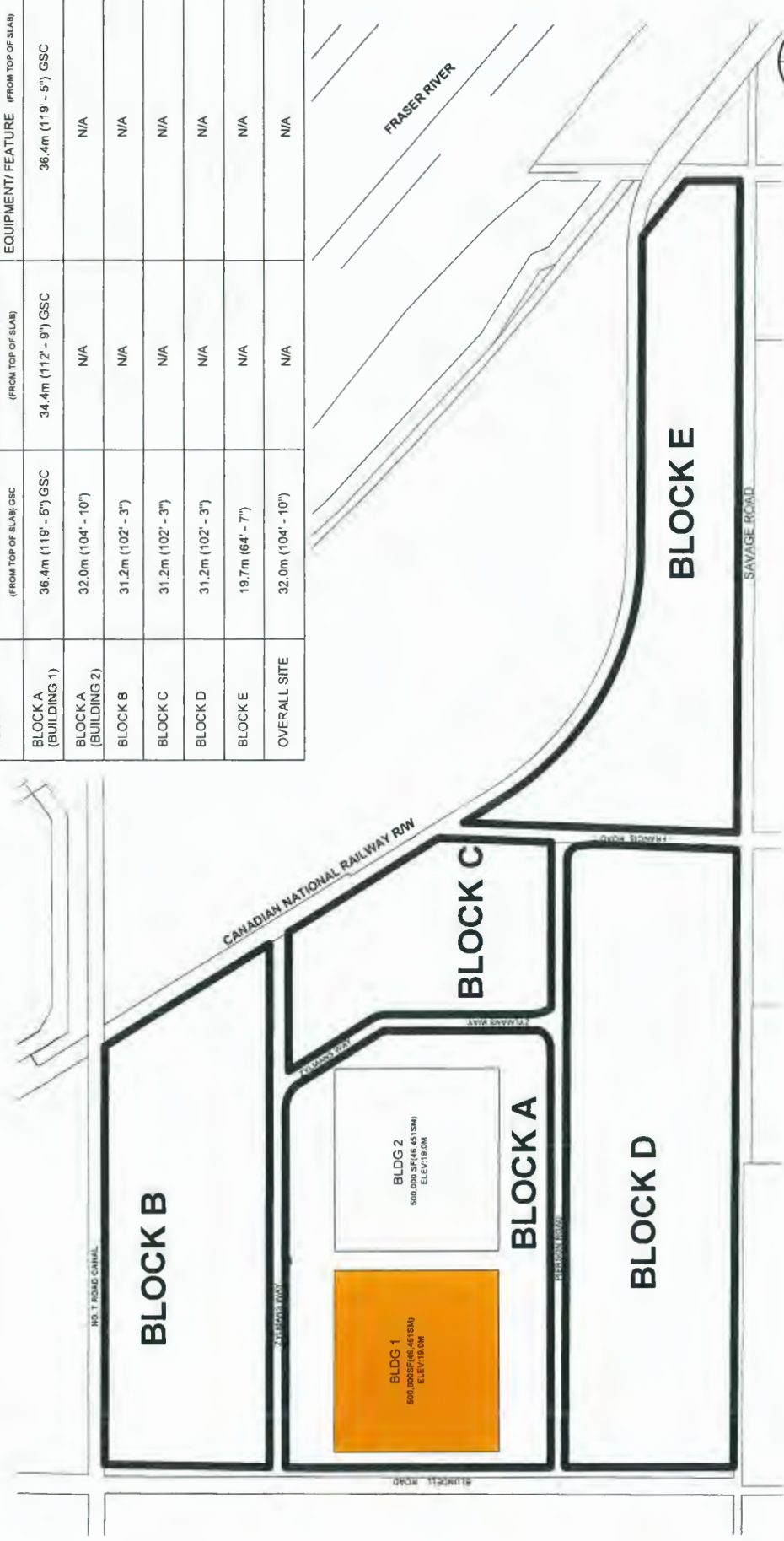
DV 19-869780
SCHEDULE "A"

Original Date: 09/09/19

Revision Date: 09/10/19

Note: Dimensions are in METRES

BLOCK #	MAXIMUM BUILDING HEIGHT (FROM TOP OF SLAB) GSC	MAXIMUM PARAPET HEIGHT (FROM TOP OF SLAB)	MAXIMUM HEIGHT TO TOP OF ROOF EQUIPMENT/ FEATURE (FROM TOP OF SLAB)
BLOCK A (BUILDING 1)	36.4m (119' - 5") GSC	34.4m (112' - 9") GSC	36.4m (119' - 5") GSC
BLOCK A (BUILDING 2)	32.0m (104' - 10")	N/A	N/A
BLOCK B	31.2m (102' - 3")	N/A	N/A
BLOCK C	31.2m (102' - 3")	N/A	N/A
BLOCK D	31.2m (102' - 3")	N/A	N/A
BLOCK E	19.7m (64' - 7")	N/A	N/A
OVERALL SITE	32.0m (104' - 10")	N/A	N/A



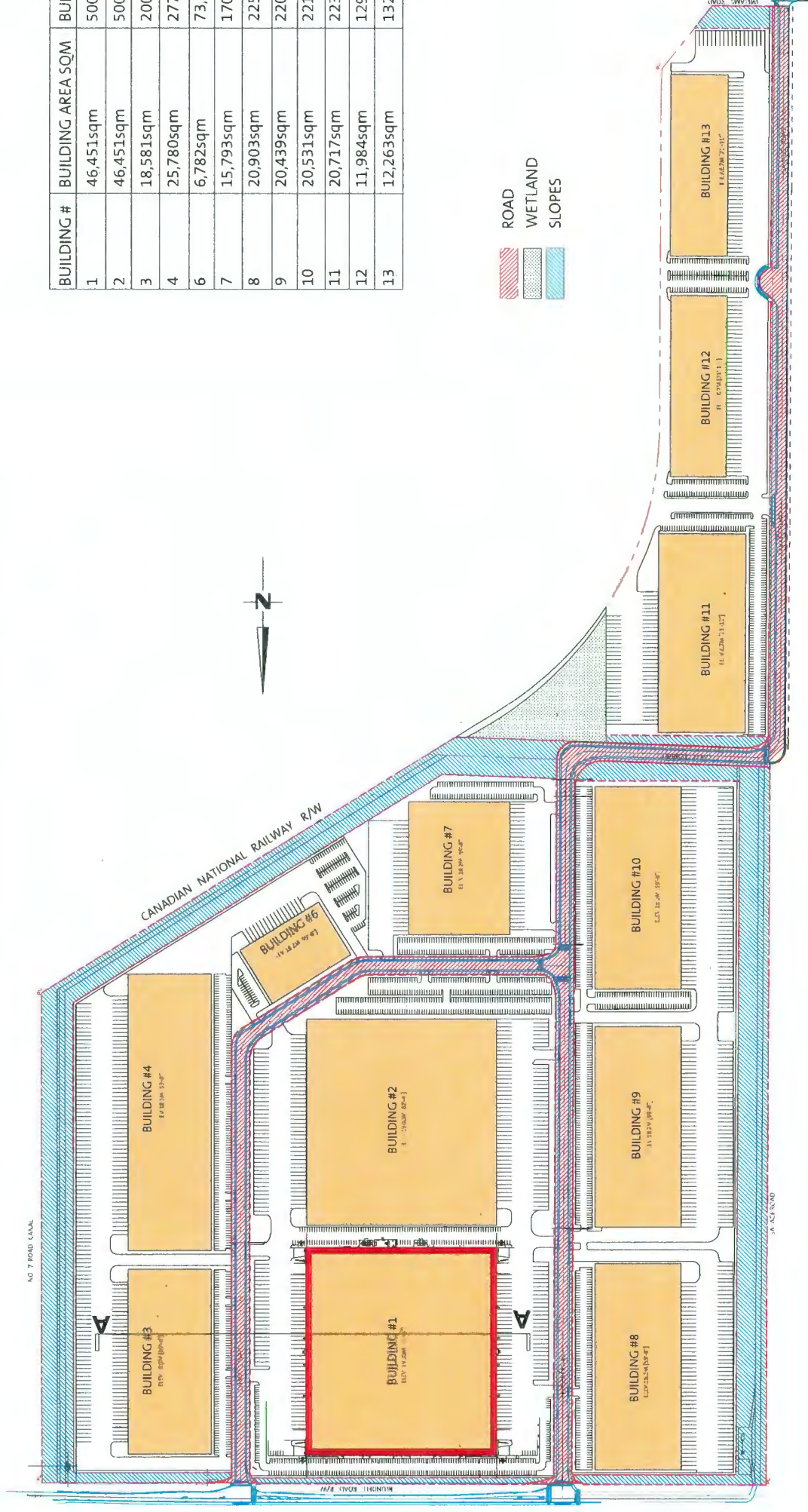
April 8, 2020 DV 19-869780



HEIGHT VARIANCE
BUILDING 1

REQUESTED BUILDING
HEIGHT
06.03.2020

Schedule B



BUILDING #	BUILDING AREA SQM	BUILDING AREA SF
1	46,451sqm	500,000sf
2	46,451sqm	500,000sf
3	18,581sqm	200,000sf
4	25,780sqm	277,500sf
6	6,782sqm	73,000sf
7	15,793sqm	170,000sf
8	20,903sqm	225,000sf
9	20,439sqm	220,000sf
10	20,531sqm	221,000sf
11	20,717sqm	223,000sf
12	11,984sqm	129,000sf
13	12,263sqm	132,000sf

MASTER SITE PLAN



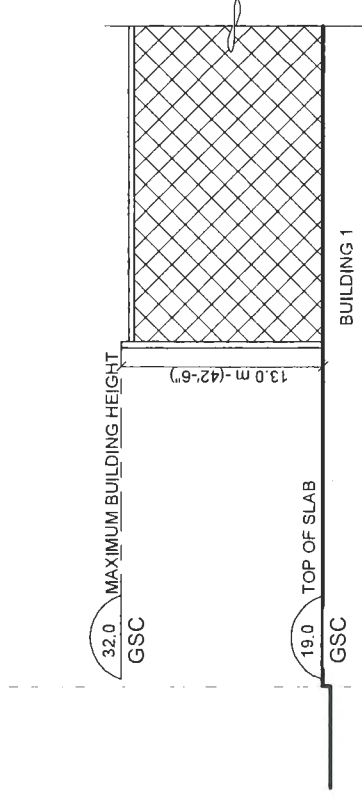
RICHMOND INDUSTRIAL CENTRE

15111 WILLIAMS ROAD, RICHMOND B6W-1G9

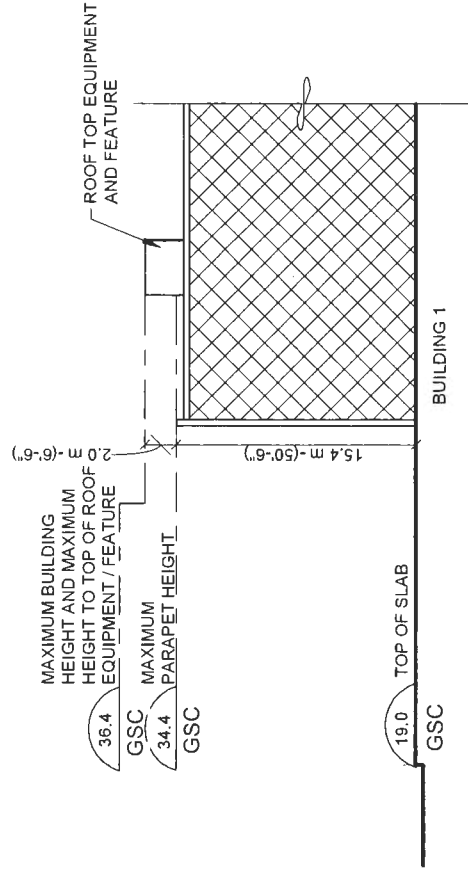
April 8, 2020 DV 19-869780

Drawing Title: MASTER SITE PLAN
 Drawing Scale: N/A
 Drawing Number: N/A
 Date: FEB. 24, 2020

Plan #1



CURRENT APPROVED BUILDING HEIGHT, EQUIPMENT AND FEATURE HEIGHT



PROPOSED BUILDING HEIGHT, EQUIPMENT AND FEATURE HEIGHT

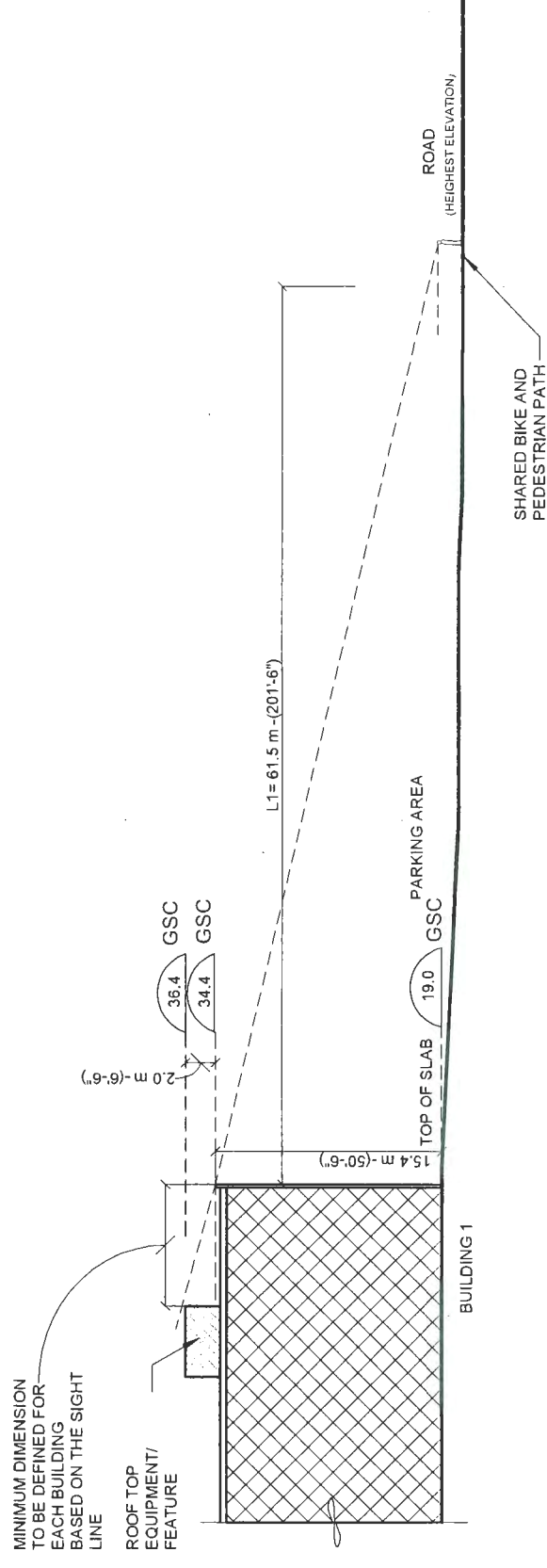
April 8, 2020 DV 19-869780



HEIGHT VARIANCE
BUILDING 1

BUILDING SECTIONS
06.03.2020

Plan #2



April 8, 2020 DV 19-869780

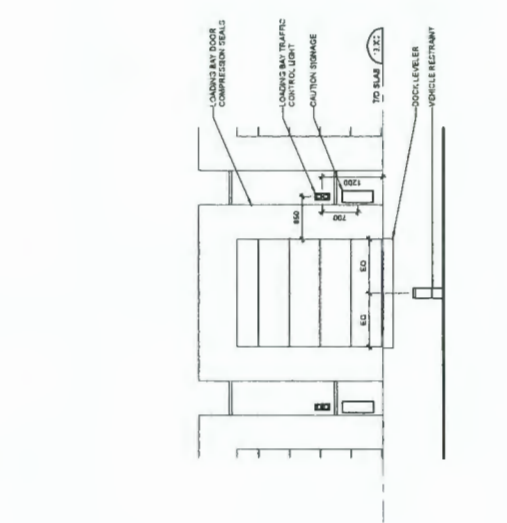
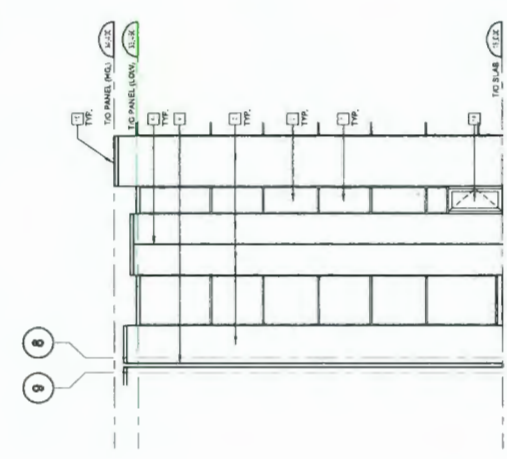
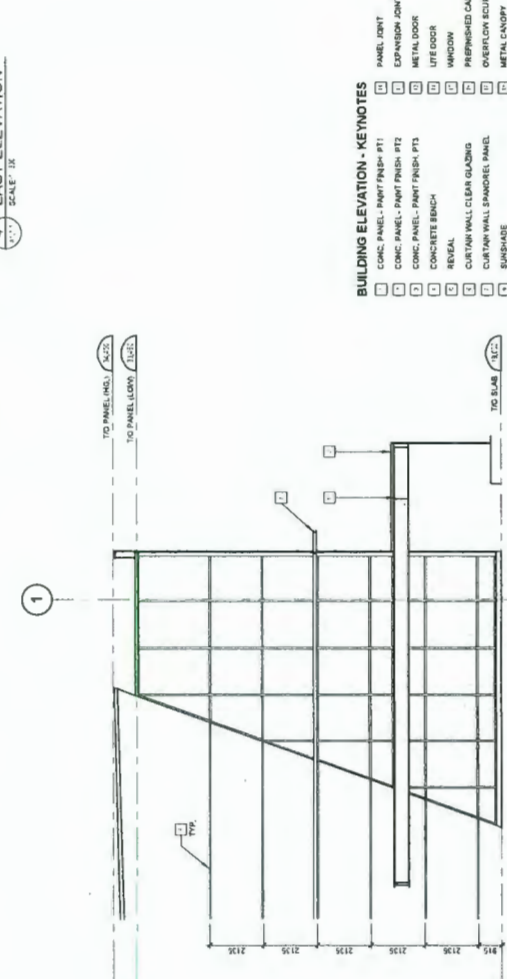
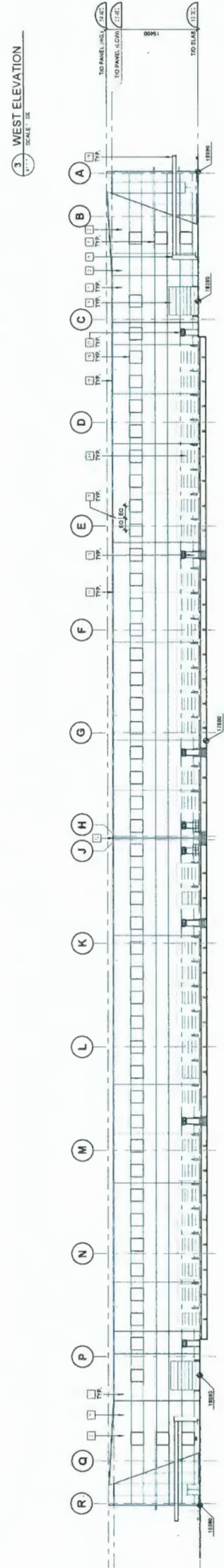
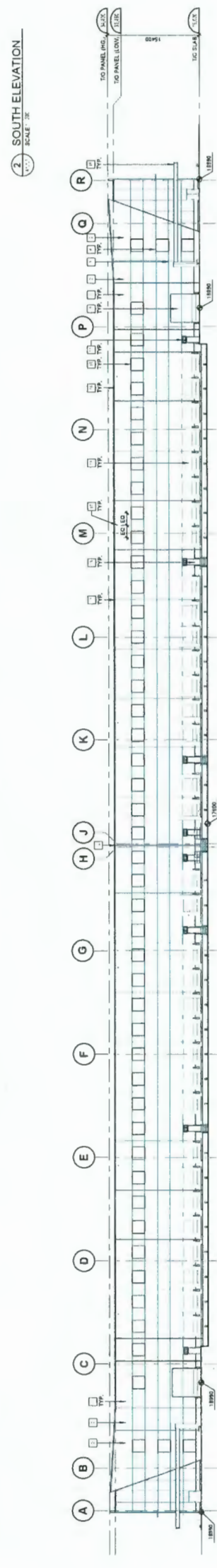
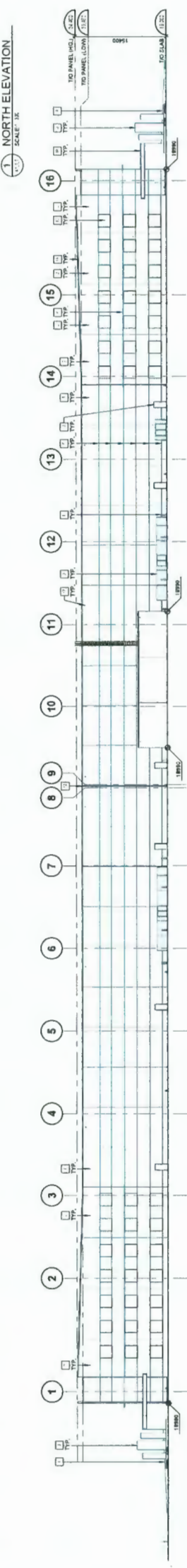
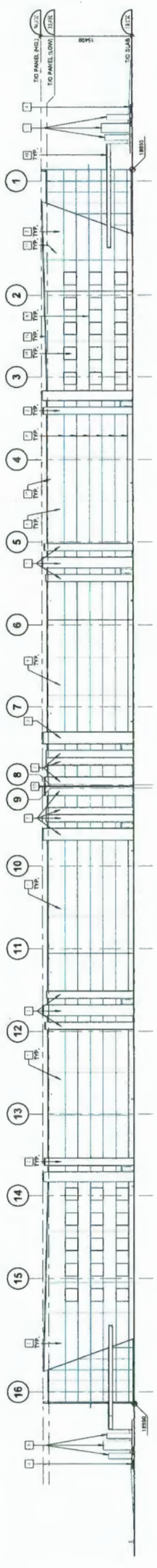


MASTER PLAN

SIGHT LINE SURVEY
24/02/2020

Plan #3





- BUILDING ELEVATION - KEYNOTES**
- CONIC PANEL - PAINT FINISH - P11
 - CONIC PANEL - PAINT FINISH - P12
 - CONIC PANEL - PAINT FINISH - P13
 - CONCRETE BENCH
 - REINFORCED CONCRETE
 - CUSTOM WALL CLEAR GLAZING
 - CUSTOM WALL BRANDED PANEL
 - BRUSHED ALUMINUM
 - CHAIN LINK FENCE
 - BOLLARDS
 - PANEL JOINT
 - EXPANDED JOINT
 - METAL DOOR
 - LIFT DOOR
 - WINDOW
 - PREFINISHED CAP FLASHING
 - OVERFLOW CUPPER
 - METAL CANTY
 - OVERHEAD DOOR
 - AWNING

NOT FOR CONSTRUCTION

April 8, 2020 DV 19-869780 BUILDING ELEVATIONS