

ARCHITECTURAL
DESIGN
GUIDELINES



HERON RIVER DEVELOPMENT, LLC
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INTRODUCTION



**HERON RIVER
MASTER PLAN**

Those of us who share the opportunity of bringing Heron River to life must also share the commitment to uphold a high standard of design, both in architecture and in landscape. We have worked to create a set of guidelines as a starting point for creativity and market awareness that each homebuilder team brings to Heron River. The character of the community is inspired in part by the history of its surroundings. The proximity to the Boise River, expansive natural open spaces, and distant foothill views add a sense of being in the natural environment and a feeling of informality to the designed community.

This manual is intended to provide design guidance for single-family detached residential development within Heron River, and is to be used during the preparation and review of plans for all privately developed areas. These guidelines are not intended to limit creativity or prohibit creative responses to unique site conditions. The goal is to encourage variety and uniqueness in the community by defining architectural styles and color palettes that reinforce the informal character of Heron River and reflect its rich heritage, enhancing the image and value for its future residents.

The design guidelines may be amended from time to time by the Architectural Design Committee. It is the responsibility of the builder, homeowner or their representatives to obtain the most current copy of the Architectural Design Guidelines.

THE DESIGN REVIEW PROCESS

ARCHITECTURAL DESIGN COMMITTEE

All architecture shall be subject to review by the Heron River Architectural Design Committee. The Architectural Design Committee shall consist of three members, one of which will be a representative from the developer. The Committee will meet as required.

The Architectural Design Committee will review architectural designs in the community for conformance with this document. The decision of the Architectural Design Committee can be in the form of an approval, a conditional approval or denial. A conditional approval shall set forth with particularity the conditions upon which the application is approved.

The specific design review process will vary by neighborhood. The Meadow Neighborhood 1 & 2, Creekside, and Waterview will operate under a batch submittal system in which builders will submit required items for all homes and lots proposed. This will include a color and material scheme package for all proposed lots. Upon approval of architecture, homes may be plotted as desired throughout the Neighborhood. Design approval for Rivershore and the Preserve will be provided on a lot by lot basis. Required submittal items will need to be submitted for each individual homesite.

Builders must make revisions to comply with suggested comments/changes from the Architectural Design Committee. They must receive Final Design Review approval before submitting to any applicable governing agency for plan check. Approval from the Architectural Design Committee does not guarantee approval or a permit from other local jurisdictions or entities, but is the first step in the process. Each individual builder is responsible for all applicable permits and approvals from Ada County, City of Star and any currently applicable agencies.

PRELIMINARY DESIGN REVIEW

The builder will submit two (2) 11 x 17 reduced sets of conceptual architectural plans and elevations prior to beginning construction drawings. The Architectural Design Committee will notify the builder in writing of the final review results within ten (10) business days after receipt of all required submittal materials.

The following items are required for the Preliminary submittal to the Architectural Design Committee. A submittal will not be deemed complete until all items are included.

1. Conceptual Architectural Drawings (Schematic Design Level) – Floor plans, roof plan, all elevations, and key details prepared at a minimum scale of 1/8"=1'-0".

THE DESIGN REVIEW PROCESS

FINAL DESIGN REVIEW

The builder will submit two (2) 11 x 17 reduced sets of final construction documents and one (1) set of final colors and materials boards prior to plan check submittal to the applicable agencies. The Architectural Design Committee will notify the builder in writing of the final review results within ten (10) business days after receipt of all required submittal materials.

The following items are required for the Final submittal to the Architectural Design Committee. A submittal will not be deemed complete until all items are included.

1. Dimensioned Site Plan showing plotted building footprint, dimensioned building set backs (minimum and typical) and all property lines at a minimum scale of 1"=20'. All proposed fences, garden walls, driveways and detached storage facilities shall also be clearly defined and dimensioned as required. For the Meadow, Creekside and Waterview neighborhoods, this requirement may be fulfilled with a plotting plan instead.
2. Architectural Construction Drawings – Floor plans, roof plan, all elevations, building sections, and key details prepared at a minimum scale of 1/8"=1'-0".
3. Architectural colors, roofing and materials board.
4. Final Landscape Plan identifying planting and material.
5. A lot specific Geotechnical Report verifying site readiness for construction may be provided at the option of the Builder.

If a plan deviates from the pre-approved drawings any time after Final Design Approval, drawings must be re-submitted to the Architectural Design Committee for approval.



ARCHITECTURE

Achieving diversity in and among the neighborhoods is a key architectural objective. For inspiration, Heron River has selected five (5) distinct, yet compatible, architectural styles. Each style has historical precedence that is capable of contemporary interpretation and variation in a modern merchant built home. The following pages contain characteristics and examples of each architectural style and a brief description of its primary elements. The intent is to avoid “stage-front” architecture and to encourage the application of detail and materials authentic to the spirit and character of each style. Porches will be encouraged when appropriate to promote the casual atmosphere and walkable characteristics of the Heron River community.

GENERAL REQUIREMENTS

The goal is to create a community expressing variety and diversity in style, form, color and materials, while maintaining the informal connection to nature that makes Heron River so special. In order to achieve this and maintain a high standard of quality, the following general requirements shall apply to all residential architecture:

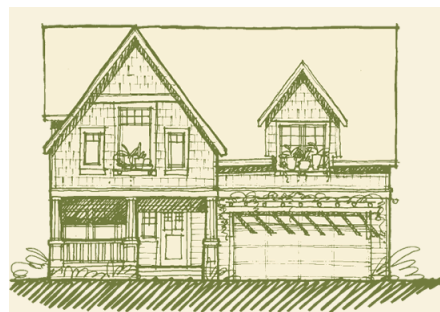
1. Floor plans should be developed with selected architectural styles in mind. All plans shall reflect the massing, roof pitches and architectural elements appropriate to the selected style.
2. Exterior materials shall be wood (natural or treated with semi-transparent stains), cementitious board, stucco, and/or local stone and brick veneers. Masonite siding, cottage lap siding and vinyl siding will not be permitted.
3. Exterior material changes should be made at an inside corner, or other logical termination point, to prevent a tacked-on, low quality, thin veneer appearance. Veneer treatments should “wrap” corners with logical terminations that are a part of the design intent.
4. Roofing material shall be concrete tile or dimensional composition shingle as is appropriate for the selected architectural style. Roof materials shall be Class A fire rated and non-reflective. Metal roof materials may be approved by the Architectural Design Committee if their use is an integral element of the design of the building. Wood shake roofing is not permitted.
5. Shutters shall have a minimum thickness of 1 ½ inches at exposed edges and the shutter width shall be proportionate to the window opening in both height and width.
6. A minimum 1 ½ inch thick fascia material and/or articulated gutters are required at all eave conditions, unless otherwise approved by the Architectural Design Committee. The minimum fascia width shall be dependant upon the selected architectural style.
7. Window heights, widths and depths shall be in keeping with the architectural style selected. The proportion of window areas is a key focus of the Architectural Design Committee.

Please refer to the individual Neighborhood Design sections for more specific information and requirements.

PACIFIC NORTHWEST



Simple gable forms with heavy wood detailing at gables



Steep-pitched roof with simple porch



Broad overhangs with exposed rafter tails



Detailing at gable ends and informal massing



Combination of materials and stone veneer used to accent key building element

OVERVIEW

With its lush forests, rugged landscape, and snow-covered mountains, the Pacific Northwest has spawned a style that is informal, organic, and above all eclectic. Indicative of the casual homes of the Northwestern United States, this style is characterized by the rustic texture of the building materials. Spanning from Northern Utah and Wyoming, through Montana and Idaho, and into Oregon and Washington this style has many regional interpretations. Heavily influenced by its connection to the land and nature, it is defined by informal massing, combined materials and attention to surface detail. While the regions vary, sensitivity to the environment and a desire to accentuate the natural beauty of the region lie at the heart of this style.

FORM

The Pacific Northwest style is typically comprised of one and two story box like massing with a gable roof. Large front-facing opposing gable elements are typical. Porches are often present and defined by simple wood columns and railings. Roof planes can be low, not lower than 6:12, but are often higher in pitch, typically 8:12 to 12:12, due to the snowfall experienced in this region.

ELEMENTS

The use of local stone is indicative of the Pacific Northwest style, especially to accent key building elements or chimneys. Broad overhangs with exposed rafter tails at the eaves are typical of this style. Characteristic of this style is also the extensive use of heavy ornamental wood detailing at gables, exposed beams, and brackets. A limited amount of metal may even be used as a building accent or roofing material.

MATERIALS AND COLORS

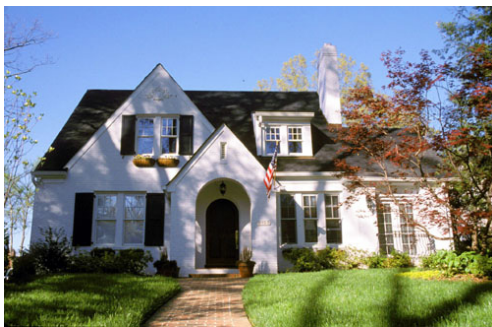
Characteristic materials for the Pacific Northwest include horizontal wood siding, shingles, and/or board and batten and stone veneer. These materials may be used alone or combined for the façade. Roof tile in shades of gray, black, and natural wood tones should be used for this style.

The influence of nature is seen in the range of organic colors appropriate for the Pacific Northwest style. Stained wood siding and accents is a prevalent feature of these homes. Painted siding and trim are comprised of earth tones ranging from warm greens and browns to tans. Accent colors are rich, earthy shades of green, red and brown.

AMERICAN TRADITIONAL



Combination of materials and decorative bay



Asymmetrical, casual cottage elevation



Wrap-around porch with steep pitched roof



Dormer windows and predominant porch



AMERICAN TRADITIONAL

OVERVIEW

This style includes the rural Mid-western Farmhouse and the more rustic Western Ranch. An informal connection to the land is prevalent as indicated in the simplified detailing. The porch is a key element of this style and the lifestyle it suggests.

FORM

The American Traditional style typically exhibits one and two story boxed or interlocking massing with a gabled or hip roof and small opposing gable accents. An asymmetrical, casual cottage look is indicative of this style. Shed roofs tend to occur at first story roof lines associated with porch elements. Porches are primary elements, typically covering simple framed entry doors. They may run the length of the front elevation or wrap around from front to side. Roof pitches tend to be steeper than some other styles, typically not lower than 6:12.

Although certain elements are common to one or more regions, they should not be treated as an eclectic mix, but executed as authentically as possible to each individual style.

ELEMENTS

Vertical, multi-paned windows with shutters or frame detail are typical. Dormer windows and decorative bays are often included. Wood columns and porch railings with vertical pickets, cupolas, weathervanes, and window boxes are all common elements.

MATERIALS AND COLORS

A variety of materials including board and batten, lapped siding, shingle and brick and stone veneer may be used singularly or in combinations. Composition shingle and flat concrete tile should be used for this style group. Roofing is typically found in shades of gray, black, and natural wood tones, depending on the specific architectural style.

A traditional approach to color, using a wide range of hues that are simply applied, forms the basis of the American Traditional palette. Doors and shutters are emphasized using darker, richer hues of blue, red, green and even some dark gray to near black.

CRAFTSMAN



Predominant gable elements with heavy ornamental detailing at gables and a full porch



Typical Craftsman light fixture and rusticated masonry



Battered columns resting on masonry piers at porch



Typical Craftsman Bungalow elevation



Combined materials with broad overhangs and exposed rafter tails

OVERVIEW

Developed in the Western United States, the Craftsman style is characterized by the rustic texture of the building materials. This style spans from the Arts & Crafts movement popularized by the Greene Brothers to the quaint bungalow. Calling for craftsman quality in all aspects of the home, it is defined by informal massing, combined materials and attention to surface detail.

FORM

The Craftsman style is typically comprised of one and two story box like massing with a gable roof and predominantly horizontal appearance. Large front-facing opposing gable elements are typical variations. The front has a full or partial width porch with decorative columns. Column variations include solid porch balustrades, battered columns, or decorative wood upper sections resting on massive appearing lower piers. Roof planes are typically low in pitch, not exceeding 6:12, although certain bungalow variations may reach a 12:12 roof pitch.

ELEMENTS

Broad overhangs with exposed and ornamental rafter tails at the eaves are typical of this style. Characteristic of this style is also the extensive use of heavy ornamental wood detailing at gables, beams, brackets, railings, and occasionally wood shutters.

MATERIALS AND COLORS

Characteristic materials for the Craftsman style include horizontal wood siding, shingles, or stucco, alone or combined, with stone or brick accents for the façade. Roof tile in shades of gray, black, and natural wood tones should be used for this style.

The influence of nature is seen in the range of organic colors appropriate for the Craftsman style. Siding, stucco and trim are comprised of earth tones ranging from warm greens and browns to tans and ochre yellows. Accent colors are rich, earthy shades of green, red and brown.

EUROPEAN COTTAGE



Well articulated entry tower



Recessed doors and windows with shutters and arched heads



Lowered roof plate at second floor and masonry accents



Wood trim at gable end



Asymmetrical massing with steep pitched roof and articulated chimney



Combination of materials and dormer windows

OVERVIEW

This style group evolved from and includes English Country and French Country architecture. Its charm is expressed in the use of informal, asymmetrical massing, natural, rustic materials and romantic character elements and details.

FORM

Cottage massing is typified by one and two story asymmetric forms often with a lowered roof plate on the second story. Building form usually consists of interlocking simple or stepped forms, accented by feature gables and the occasional use of tower or front facing cross gable elements. Entries are typically covered in an alcove or tower, or deeply recessed in a front facing gable element. The roof pitches of these homes are typically steeper than other styles, and are composed of tight raked gables, hips and half-hip forms. The overhangs are often minimal, with either tight fascias/eaves, or short exposed rafter tails.

ELEMENTS

Well articulated chimneys, bay windows, shutters and dormer windows are widely used. Tall, narrow, multi-paned windows in multiple groupings are typical, with occasional use of flat arch top windows and shutters. All openings at front elevations without trim or shutters shall have a minimum two inch (2") recess. Character details include window boxes and accent elements and/or trim in gable ends.

MATERIALS AND COLORS

The primary exterior material is stucco. Stone and brick are used along with wood as accents on key elements. Masonry should have a rusticated appearance. Combining materials is characteristic of this style. Roof tile in shades of gray, blue, green, beige and plum emulate the natural slate roofs of Europe.

The Cottage style is characterized by soft, muted colors that are reminiscent of those found in the rural architecture of France and England. Stucco colors are soft, mid-value hues of beige, tan, yellow, grey and green. Trim areas are sometimes defined with soft, tinted whites, which are in subtle contrast to the body color. Fascia and garage doors may be in the same soft white, or they can be a darker, contrasting color for a more dramatic effect. Accents of muted blue, green and red are used for entry doors and shutters.

TUSCAN



Asymmetrical massing with a focal tower element



Roofing in a subtle terra cotta blend



Rustic stone articulation



Rustic architecture with classical details and courtyard entry



Asymmetrical and irregular massing



Balcony with wrought iron railing and exposed rafter tails

OVERVIEW

This style is inspired by the villas and farmhouses found in the sunflower covered valleys and hillsides of the Tuscany region of Italy. The Tuscan style exhibits the rustic character of its natural hillside settings.

FORM

The Tuscan style is typically asymmetrical and irregular in its massing. Forms exhibit simple one and two story massing with low pitched roofs, typically not exceeding 4:12. Hipped roofs are the most common, although gable and shed roofs are also prevalent. The roof is often asymmetrically broken into elements of different heights with the frequent use of a squared, focal tower element. Expressed in more rustic materials, this style is known for incorporating courtyards, colonnades, archways and balconies in its design.

ELEMENTS

Although primarily rustic in appearance, classical details are common in Tuscan architecture, including door surrounds, columns, lintels at window heads, and rusticated base and belt courses. Windows typically include a feature front window, with others being tall and narrow. They may be enhanced by simple balconies with wrought iron railings and/or arched tops. All openings at front elevations without trim or shutters shall have a minimum two inch (2") recess.

MATERIALS AND COLORS

The primary field material is stucco, with the use of stone veneers to accent certain massings. Rustic appearing brick is sometimes used as an accent material. Roof tiles in earthy browns and subtle terra-cotta blends is appropriate for this style group. Traditional clay or concrete, barrel tile roofing is encouraged.

The warm colors of the Tuscan style are inspired by the villas and farmhouses of the Tuscan countryside in Northern Italy. Rich, saturated hues of yellow, tan, salmon and melon comprise the range of stucco colors. Deeply tinted whites are used for window and door trims. Garage door and fascia colors may be the same color as the trim, or the darker, secondary trim palette may be used for a more traditional Tuscan appearance. Entry doors and shutters are emphasized with bolder, jewel tones, as well as rich earth tones. Wrought iron accents can be deep, dark shades of brown, red and green. Stark white stucco homes with red tile roofs are not in keeping with the Tuscan style or the natural aesthetic of Heron River and shall not be allowed.



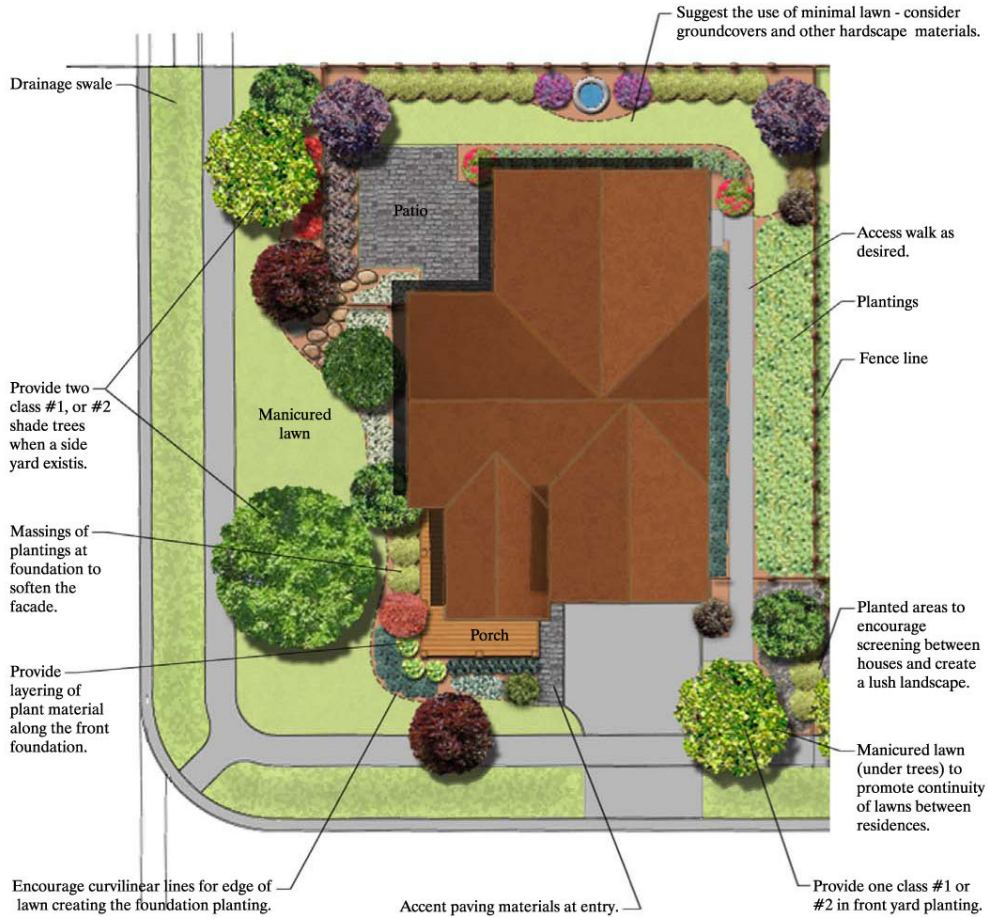
The colors and materials used at Heron River should reflect a general theme of environmental harmony with the surrounding community, topography and elements. The palette of architectural styles will contribute to this goal since their historic predecessors share a common sense approach to the use of materials and colors indigenous to the architecture selected and to the local environment. The use of elements such as terracotta roof tile, stucco, painted siding and wrought iron will provide variety and contrast. New interpretations of these classic combinations of materials and inherent colors are encouraged as they relate to a general feeling of environmental unity.

A variety of natural materials and earth based colors will provide the diversity needed for visual interest while unifying the buildings with their settings and creating a timeless appeal. The primary purpose of the palette selection is to avoid monotony, avoid the frequent use of light colors and promote visual diversity. To further this goal of diversity, the following criteria must be met:

1. Individual color schemes must be appropriate to the individual architectural style with harmonious selections of masonry and roofing material forms and colors.
2. Homes located across from or adjacent to one another shall use different color schemes.
3. Home elevations used multiple times shall have a minimum of three color schemes.

Proposed color palettes must be submitted as part of the Design Review process. They will be approved provided they are appropriate to the architectural style and meet the above criteria.

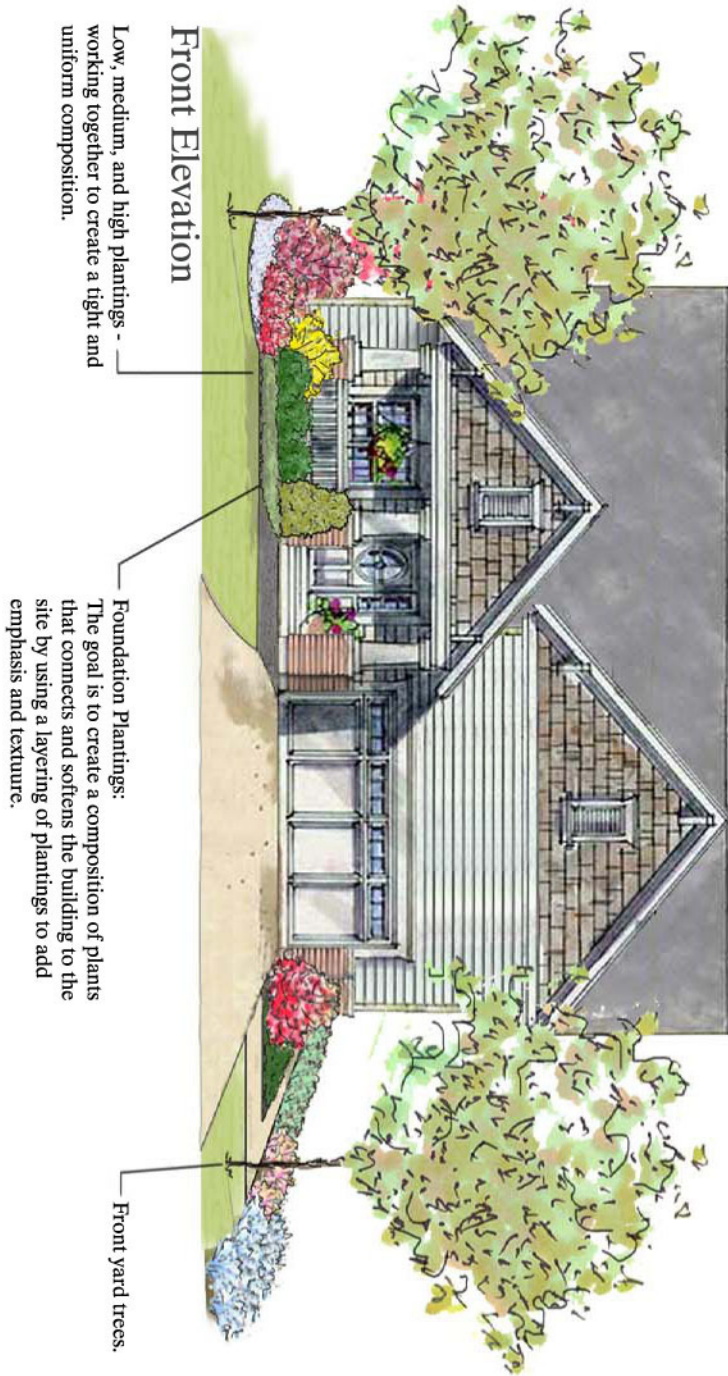
LANDSCAPING



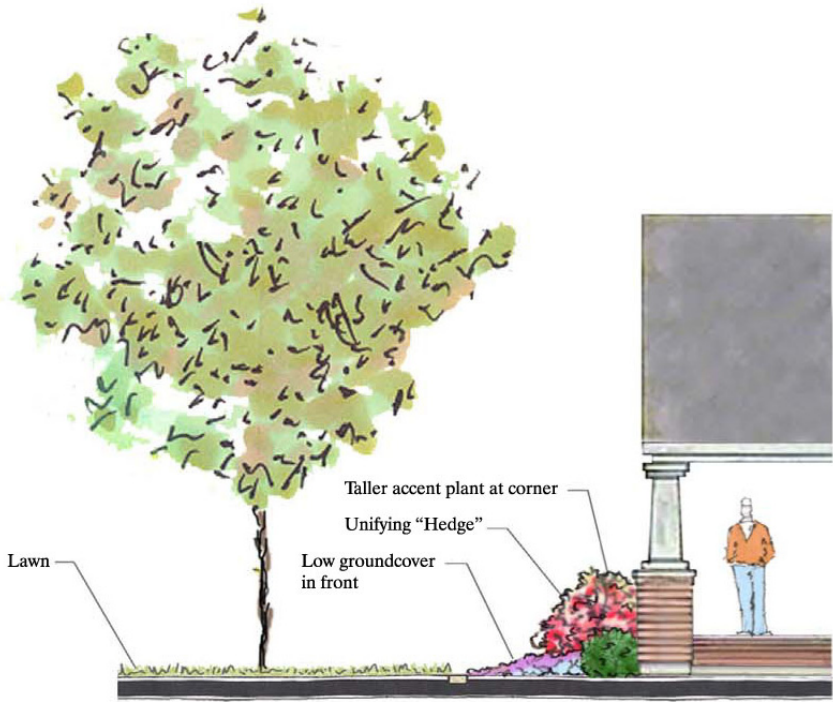
Landscaping should emphasize native, long lived species, well adapted to the Heron River location and/or reflective of the Treasure Valley's heritage. Plant material shall be water-conserving and drought resistant. Please refer to Appendix A for a comprehensive list of approved plant materials for the community. The Architectural Design Committee will consider plants not included on the list provided they are compatible with the overall aesthetic objectives of Heron River. To maintain the high level of design and quality, the following general requirements shall apply to all landscaping throughout the community:

1. Landscape plantings should consist of a few different varieties and types in order to create a more unified landscape. New trees and shrub plantings are to be a mix of sizes that will blend naturally into the surrounding site.
2. Plants which require little maintenance should be favored over those which require constant spray or pruning.
3. The use of larger specimen trees is preferred in areas close to the house to help blend buildings with the site, accentuate entry areas, provide for climate control, or define patio or outdoor areas.
4. Climate influences shall be considered in planting design in order to get maximum gain out of plant materials. Evergreen plants should be planted along the north and west sides of buildings to diffuse winter winds. Deciduous plants should be planted along the south and west sides of buildings to provide summer shade while allowing winter sun to enter the building.
5. The front yard area on each homesite shall be landscaped with approved plant materials which augment the adjacent street landscape. A minimum of sixty percent (60%) of the front yard is encouraged to be planted in grass unless otherwise approved by the Design Review Committee. Gravel, lava rock, or extensive paved surfaces (excluding normal driveway access and entry pathways) will not be permitted.
6. A minimum of one tree (2" caliper as measured 6" from the ground for deciduous species and/or 8' height for evergreen species) for every 20 feet of street frontage shall be planted along the street facing side of the home. Corner lots shall use the longer of their two street frontages to calculate the number of trees required.
7. A minimum of one five gallon shrub shall be installed per four lineal feet (4') of the home's foundation, and one one gallon groundcover shall be installed per two lineal feet (2') of the home's foundation. These calculations shall exclude the driveway portion of the garage.
8. All planter beds shall have two inches (2") of Cascade Compost, or equal, applied to the surface to fill in between plantings. A 1/2" rounded Perma Bark, such as "Oregon Trail Mix", with commercial grade weed control fabric underlayment may be substituted. Other types of rock materials shall not be permitted in front or side yards visible from the street.
9. The Architectural Design Committee may require a slight swale at the property line between adjacent homesites to prevent drainage from one homesite to another.

LANDSCAPING



Builders are responsible for installation of front yard landscapes and individual automatic sprinkler systems. All front yard landscapes shall be irrigated by an underground automatic irrigation system installed by the builder and connected to the homeowner's water service. The automatic irrigation system shall be designed and installed as to prevent any overspray beyond the borders of the lot, particularly preventing overspray onto sidewalks and road areas. The minimum front yard landscaping set forth must be installed within 45 days of substantial completion of the home, weather permitting. Rear yard landscaping abutting community open space shall be installed within 60 days of substantial completion of the home, weather permitting.



Section Through Porch



PRIMARY RESIDENTIAL CONCEPTS

MASSING

In general, homes shall have a maximum lot coverage area of sixty percent (60%) and a maximum height of thirty-five feet (35'). To the greatest possible extent, single story elements are encouraged for a sense of scale and variety on the street scene. Front elevations shall be designed to emphasize entries, porches, or other resident use areas, and to de-emphasize garages. All garages shall be set back from the front living space of the house whenever possible, unless otherwise approved by the Architectural Design Committee. Corner homes shall provide a significant single-story element on both the main street elevation side, and the secondary street elevation side when possible. This may take the form of a wrapping porch, if style appropriate, or can be living space. Plans and elevations shall be mixed to avoid the repetition of identical facades and rooflines.

ARTICULATION

The same architectural trim treatments, such as eave trim and window trim, are to be provided on all elevations, achieving four-sided architecture. Window trim and grids shall be style specific and shall not vary from front to side to rear. Stucco homes are required to have stucco on all four sides, not just the front elevation. On corner lots and all lots abutting parks or other amenities, the details and character elements of the front elevation shall continue around the corner onto the side elevation. Rear elevations that face on collectors or pedestrian paths, and especially those facing the river or other water features, shall reflect the same level of detail of the front elevation style.

PORCHES

Porches are encouraged to provide for lifestyle opportunities, massing variation, street-scene articulation and for historical accuracy on applicable styles. Porches shall have a minimum depth of five feet, although greater usable depth is encouraged. Porch styles, including fenestration, railing, roof pitch, supports, overhang and columns, will be consistent with the architectural style of the home. A mix and match of columns and railings will not be approved. Homes plotted on corner lots are encouraged to have porches that wrap around both front and side facades. For architectural styles without porches, a clearly articulated entry shall be provided. Where the front door is not visible from the main street frontage, as in a courtyard entry, a gateway structure, portal, entry tower, or other architectural element, shall be provided to clarify the entrance location.

GARAGES AND DRIVEWAYS

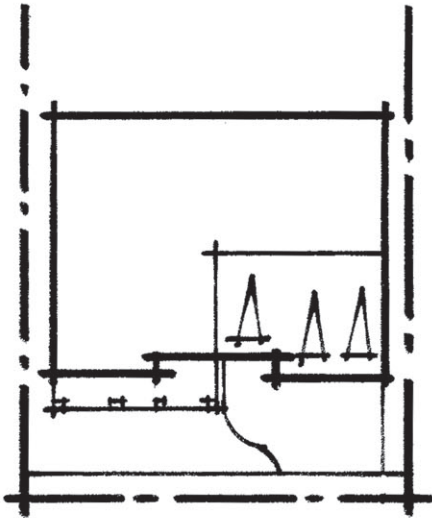
Houses and yards, rather than garages, should be the primary emphasis of street elevations. House designs shall place entries, windows, front porches and living areas directly adjacent to the street on most plan variations, while recessing the garages. Front load garages are encouraged to have decorative “carriage-style” garage doors that match the architecture of the home. The three car garage configuration requires careful consideration to de-emphasize its impact on the street. The standard front facing three car garage configuration is heavily discouraged but may be mitigated by breaking the massing plane at the garages. Please refer to the following garage layouts for encouraged alternatives.

Driveways shall be constructed of scored concrete. Asphalt driveways will not be permitted. Although not required, the use of dark-toned colored or stamped concrete or interlocking pavers is encouraged. Driveway approaches are required to be a stamped and colored concrete as further outlined in the Neighborhood Design section.

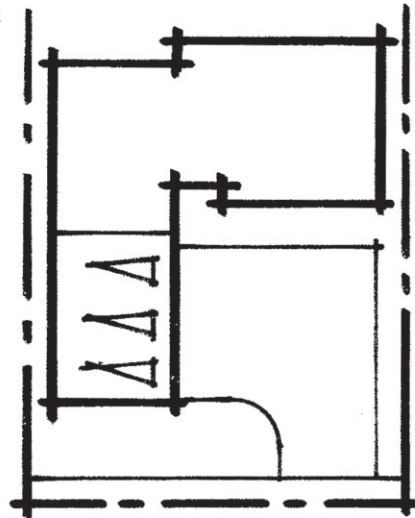
Bioswales will be used in Heron River for storm water retention and management. Driveway locations and maximum widths, as outlined in the Neighborhood Design section, shall be designated by the developer to conform with Ada County Highway District requirements. The damage of bioswales by builders and their subcontractors is expressly forbidden and shall be addressed seriously.

PRIMARY RESIDENTIAL CONCEPTS

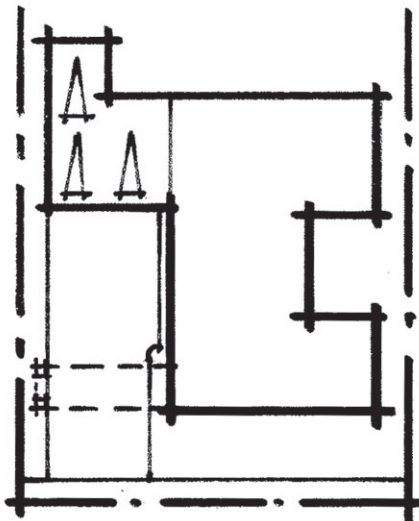
TYPICAL GARAGE LAYOUTS



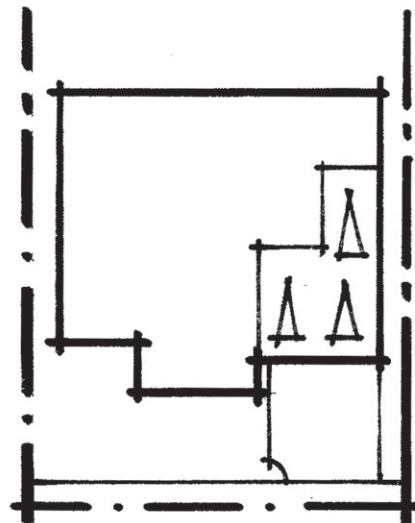
Standard Front Facing
3-Car Garage
(Doors offset a min. of 2'-0")



Swing-in 3-Car Garage
(60' wide homesite min.)



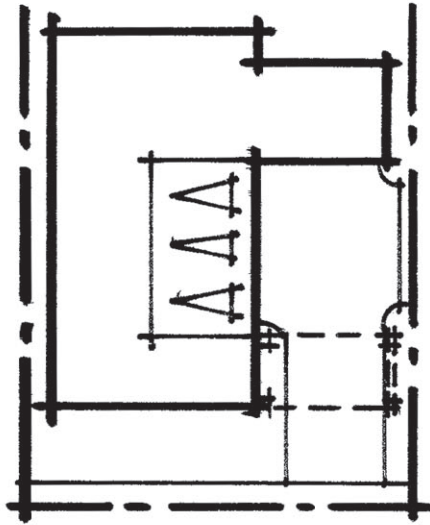
Deep Recessed Tandem
3-Car Garage



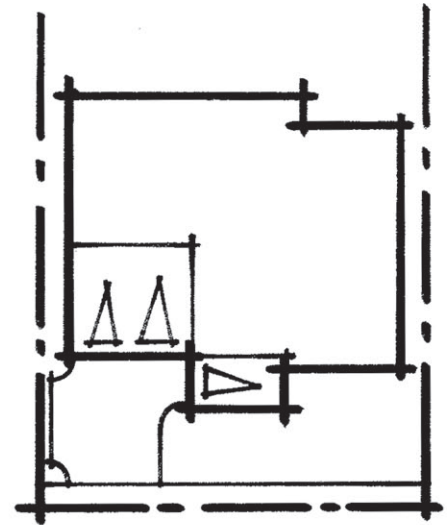
Tandem 3-Car Garage

PRIMARY RESIDENTIAL CONCEPTS

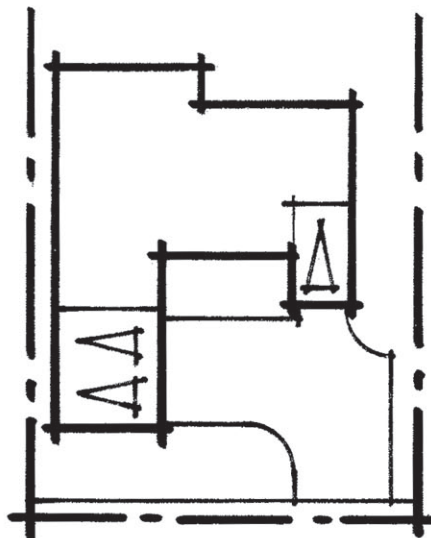
TYPICAL GARAGE LAYOUTS



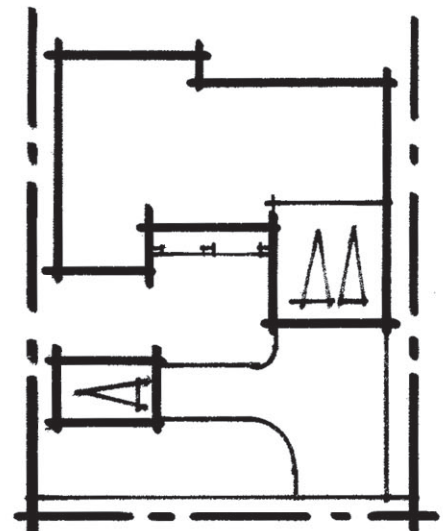
Swing-in 3-Car Garage
(70' wide homesite min.)



Split 3-Car Garage
(65' wide homesite min.)



Split 3-Car Garage
(60' wide homesite min.)



Split Detached 3-Car Garage
(60' wide homesite min.)

SECONDARY RESIDENTIAL CONCEPTS

EXTERIOR LIGHTING

Exterior lighting design is integral to a home's evening appearance. The use of exterior wall wash and landscape lighting is encouraged in the exterior lighting design. All front yard exterior and access lighting shall be installed with a photosensitive switch that only allows the lights to be activated from dusk to dawn. Translucent light shades shall be encouraged so as to prevent any direct lighting impact on neighbors. Other approved exterior lighting shall include normal front door entry, garage and other entries to the home providing they do not exceed 100 watts each and do not otherwise illuminate neighboring properties. Selection of light fixtures for highly visible locations (i.e. entry areas, corner lots) shall minimize off-site glare.

GUTTERS AND DOWNSPOUTS

Gutters and downspouts are highly encouraged for all residential structures. Exposed gutters and downspouts shall be painted to match the surfaces to which they are attached. The use of decorative copper gutters and downspouts is encouraged when style appropriate.

FENCES

Fencing shall be in keeping with the fencing designed throughout the common areas of the community. Trex "Seclusions" composite fencing in "Saddle" color and wrought iron fencing are permitted and shall be reviewed by the Architectural Design Committee as part of the Final Design Review. Fence alignment should relate to the building forms. Six foot (6') privacy fence may begin four feet (4') behind the main façade of the home. Wrought iron fencing color shall match the existing community fencing.

MAILBOXES & HOUSE ADDRESS NUMBERS

The Developer shall provide community designated mailboxes and stands in the Meadows, Creekside and Waterview neighborhoods. The Developer shall designate the design of mailboxes and stands in the Rivershore and Preserve neighborhoods. Mailboxes shall be installed in conformance with Postal Service requirements. House address numbers shall be designated for each neighborhood by the Developer.

DATA/INTERNET WIRING

The Developer shall provide each home site with a fiber optic connection. It is the responsibility of the Builder to install compatible wiring throughout the home as outlined in Appendix B and to coordinate the connection of the home to the street. Please refer to Appendix B for minimum wiring requirements as well as proper installation practices.

SECONDARY RESIDENTIAL CONCEPTS

METERS AND UTILITIES

Both gas and electrical meters and cable panels shall be screened from view from the street as much as possible. All utility connections to the house shall be underground. No outside antennae or aerials are permitted. Satellite dishes are to be placed in consideration of neighbors and neighboring views. It is preferred by the Architectural Design Committee that satellite dishes be placed on the far back corner of the dwelling. Satellite dishes are subject to Architectural Design Committee approval.

CHIMNEYS AND ROOF PROJECTIONS

All roof projections, including chimneys, flues and vents shall be compatible in scale, height, and material with the structure from which they project. All chimneys and related safety features (such as spark arrestors) must comply with applicable local ordinances. Chimney hardware must be screened within an architectural feature such as a decorative chimney cap in keeping with the architectural style of the home.

ROOF FLASHING AND VENTS

All flashing and vents shall be colored to match the material to which it is attached. Roof vents are encouraged to be placed on the rear side of the front ridgeline when possible to reduce their visibility from the street. Roof vents shall be painted to match the color of the roof or continuous ridge vents must be used.

SIGNAGE

Only “Heron River” designated signage shall be utilized before, during and after construction. No builder, subcontractor, or other signage advertising the property shall be permitted. Streamers, flags and other similar advertising or attention attracting devices are expressly prohibited. For rent or lease signs shall not be permitted.

ACCESSORY BUILDINGS

The community CC&R’s restrict and regulate the installation of accessory buildings such as storage sheds and out buildings but empower the Architectural Design Committee to further regulate the installation of such structures. Detached garages, storage sheds and out buildings are required to be of similar material, siding, roofing and color as the primary dwelling. Out-buildings and sheds shall not be more than 150 sq. ft. in size and no higher than 8 ft. in height, unless approved by the Architectural Design Committee. The design and location of such structures are subject to the approval of the Architectural Design Committee. Detached garages built after the initial construction of the home must conform to the Heron River Architectural Design Guidelines and shall be submitted to the Architectural Design Committee for review.

< to STAR HIGHWAY 44 to EAGLE >



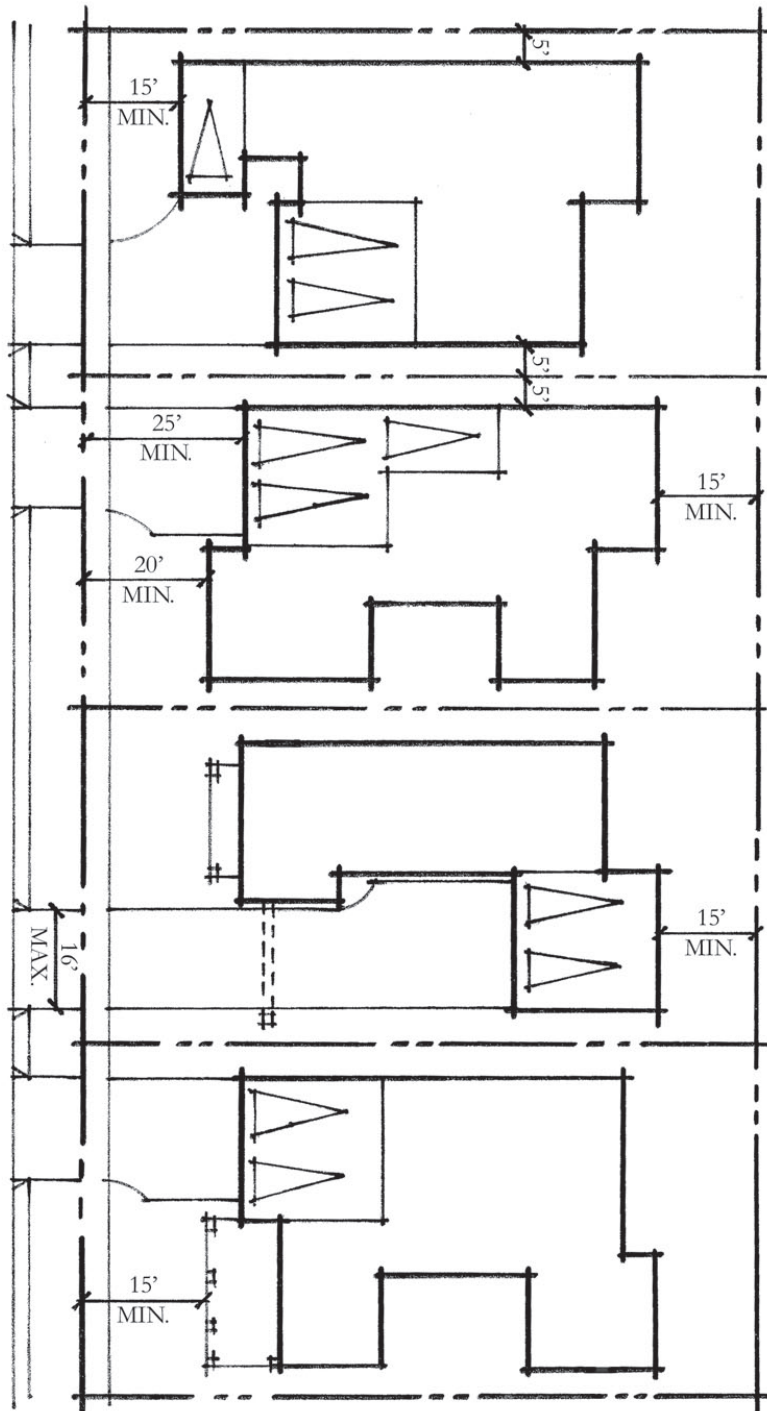
NEIGHBORHOOD MAP



NEIGHBORHOOD DESIGN

Heron River neighborhoods are designed as pedestrian-friendly places with an emphasis on the natural landscape of the surrounding area. Variety in architectural form and style, varied setbacks for living spaces, upper and lower stories, and garages all contribute to achieving a lively and interesting street scene.

The following section describes the specific design criteria for each neighborhood in Heron River. The criteria are designed to achieve the desired variation and pedestrian scale interest mentioned above, while allowing each neighborhood to have its own distinct identity in keeping with the size of the home sites included within. Setbacks shown are a minimum although some dimensions are preferred where stated.



ARCHITECTURE

The neighborhoods of Heron River are intended to provide a variety of style and massing in their architecture to prevent monotony throughout the community. The selected community architectural styles will create a cohesive look throughout the neighborhoods while allowing for variety in massing and detailing.

BUILDING REQUIREMENTS

No home in The Meadow Neighborhood 1 shall be constructed with less than 1,700 square feet. If the home is more than one story, the minimum square footage of living area at grade shall be 900 square feet. The square footage of living area shall be based on the interior living space, excluding porches, patios and garages. A minimum of 30 year asphalt shingle roofing is required. Driveway approaches are required to be a stamped and colored concrete. The stamp pattern shall be “Seamless Course Sandstone” by Proline Concrete Tools, or equal, and the color shall be “Dusty Rose” by Brickform, or equal. Variations may be acceptable but must be approved by the Architectural Design Committee prior to installation.

SETBACK REQUIREMENTS

Front

Living Area	20'-0" min.
Front-in Garage	25'-0" min.
Swing-in Garage	15'-0" min.
Porch	15'-0" min.

Side

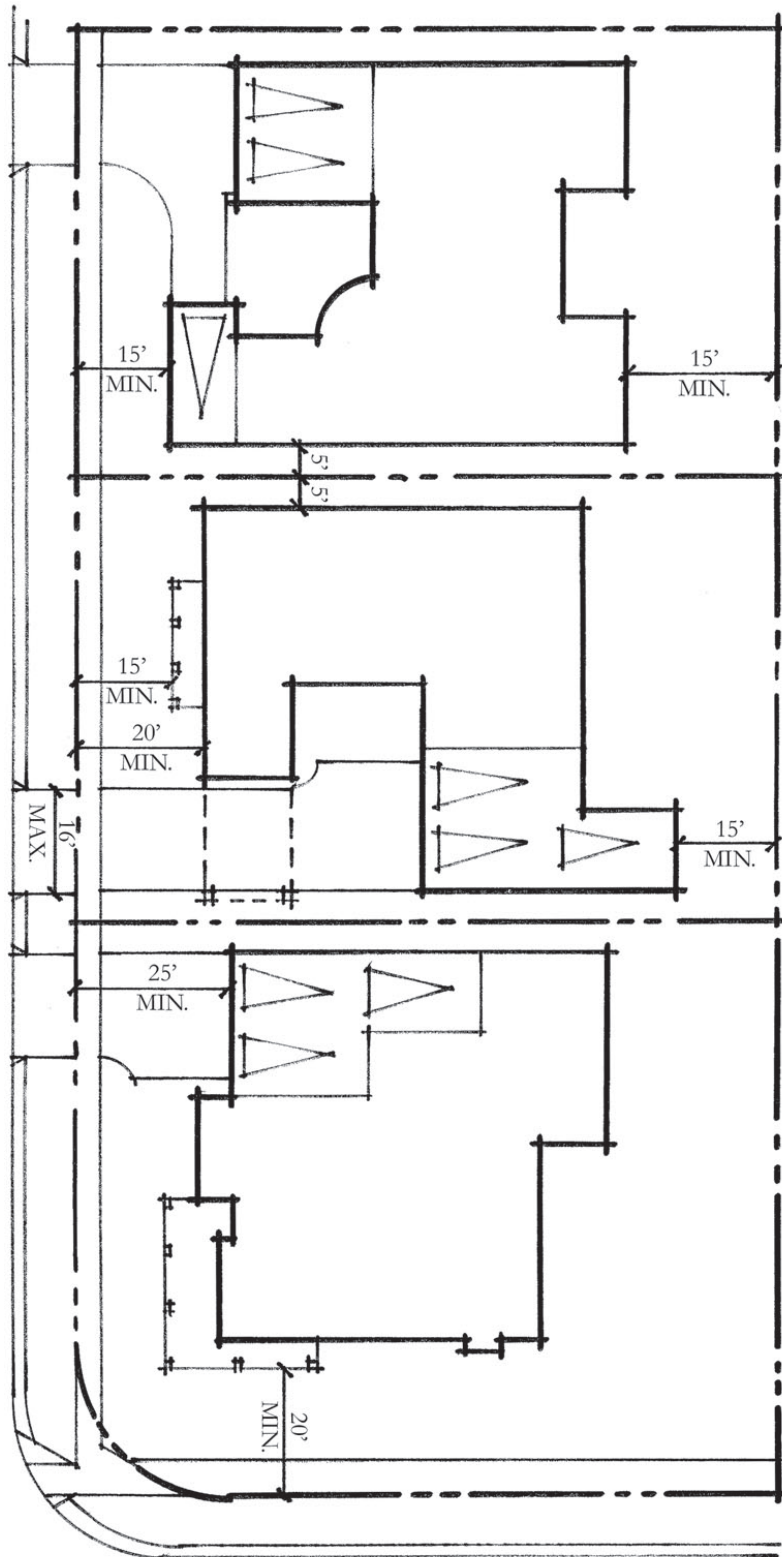
Living Area	5'-0" min.
Living Area at Corner	20'-0" min.

Rear

Living Area	15'-0" min.
Garage	15'-0" min.

Architectural features like fireplaces, wing walls, and first story bay windows and media niches.

Front	18'-0" min.
Side	See City of Star requirements
Rear	See City of Star requirements



ARCHITECTURE

The neighborhoods of Heron River are intended to provide a variety of style and massing in their architecture to prevent monotony throughout the community. The selected community architectural styles will create a cohesive look throughout the neighborhoods while allowing for variety in massing and detailing.

BUILDING REQUIREMENTS

No home in The Meadow Neighborhood 2 shall be constructed with less than 2,000 square feet. If the home is more than one story, the minimum square footage of living area at grade shall be 900 square feet. The square footage of living area shall be based on the interior living space, excluding porches, patios and garages. A minimum of 30 year asphalt shingle roofing is required. Driveway approaches are required to be a stamped and colored concrete. The stamp pattern shall be “Seamless Course Sandstone” by Proline Concrete Tools, or equal, and the color shall be “Dusty Rose” by Brickform, or equal. Variations may be acceptable but must be approved by the Architectural Design Committee prior to installation.

SETBACK REQUIREMENTS

Front

Living Area	20'-0" min.
Front-in Garage	25'-0" min.
Swing-in Garage	15'-0" min.
Porch	15'-0" min.

Side

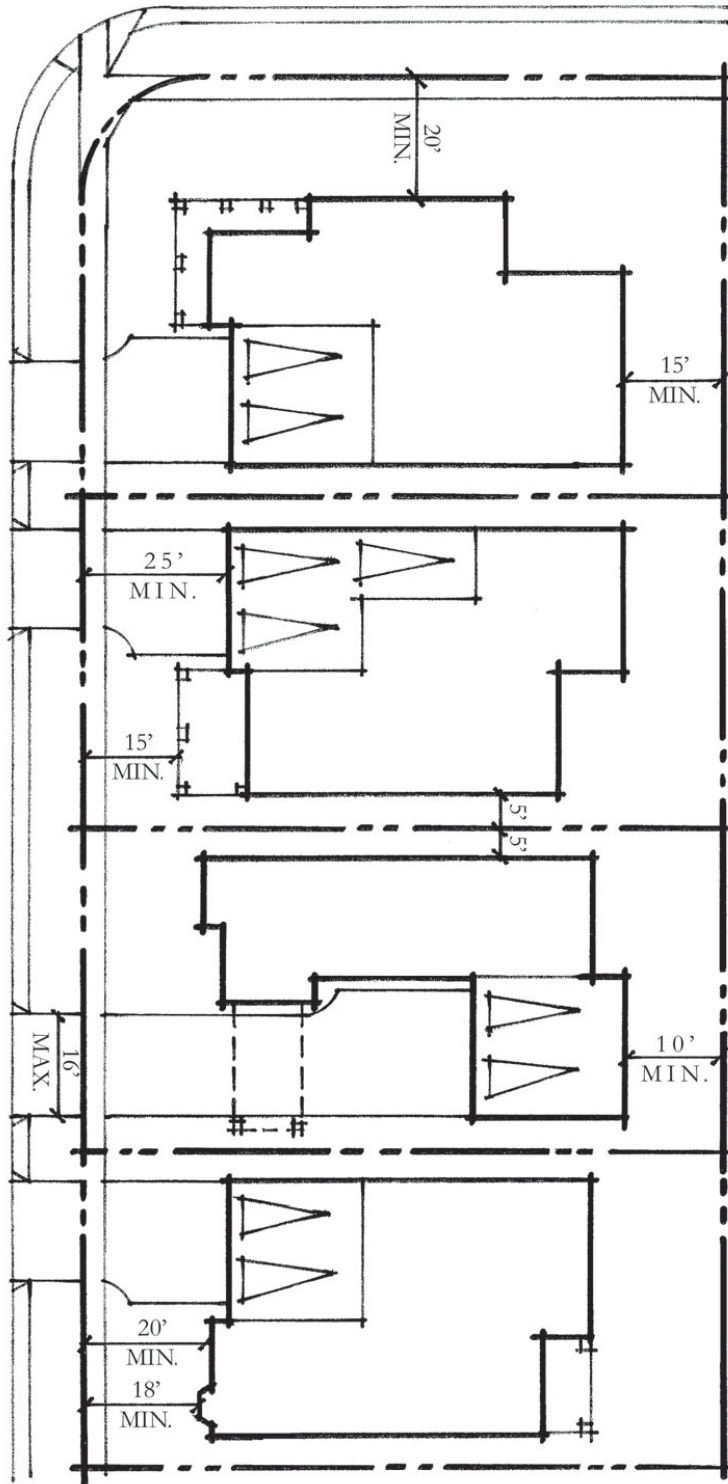
Living Area	5'-0" min.
Living Area at Corner	20'-0" min.

Rear

Living Area	15'-0" min.
Garage	15'-0" min.

Architectural features like fireplaces, wing walls, and first story bay windows and media niches.

Front	18'-0" min.
Side	See City of Star requirements
Rear	See City of Star requirements



ARCHITECTURE

The neighborhoods of Heron River are intended to provide a variety of style and massing in their architecture to prevent monotony throughout the community. The selected community architectural styles will create a cohesive look throughout the neighborhoods while allowing for variety in massing and detailing.

BUILDING REQUIREMENTS

No home in the Creekside neighborhood shall be constructed with less than 1,400 square feet. If the home is more than one story, the minimum square footage of living area at grade shall be 900 square feet. The square footage of living area shall be based on the interior living space, excluding porches, patios and garages. A minimum of 30 year asphalt shingle roofing is required. Driveway approaches are required to be a stamped and colored concrete. The stamp pattern shall be “Seamless Course Sandstone” by Proline Concrete Tools, or equal, and the color shall be “Dusty Rose” by Brickform, or equal. Variations may be acceptable but must be approved by the Architectural Design Committee prior to installation.

SETBACK REQUIREMENTS

Front

Living Area	20'-0" min.
Front-in Garage	25'-0" min.
Swing-in Garage	15'-0" min.
Porch	15'-0" min.

Side

Living Area	5'-0" min.
Living Area at Corner	20'-0" min.

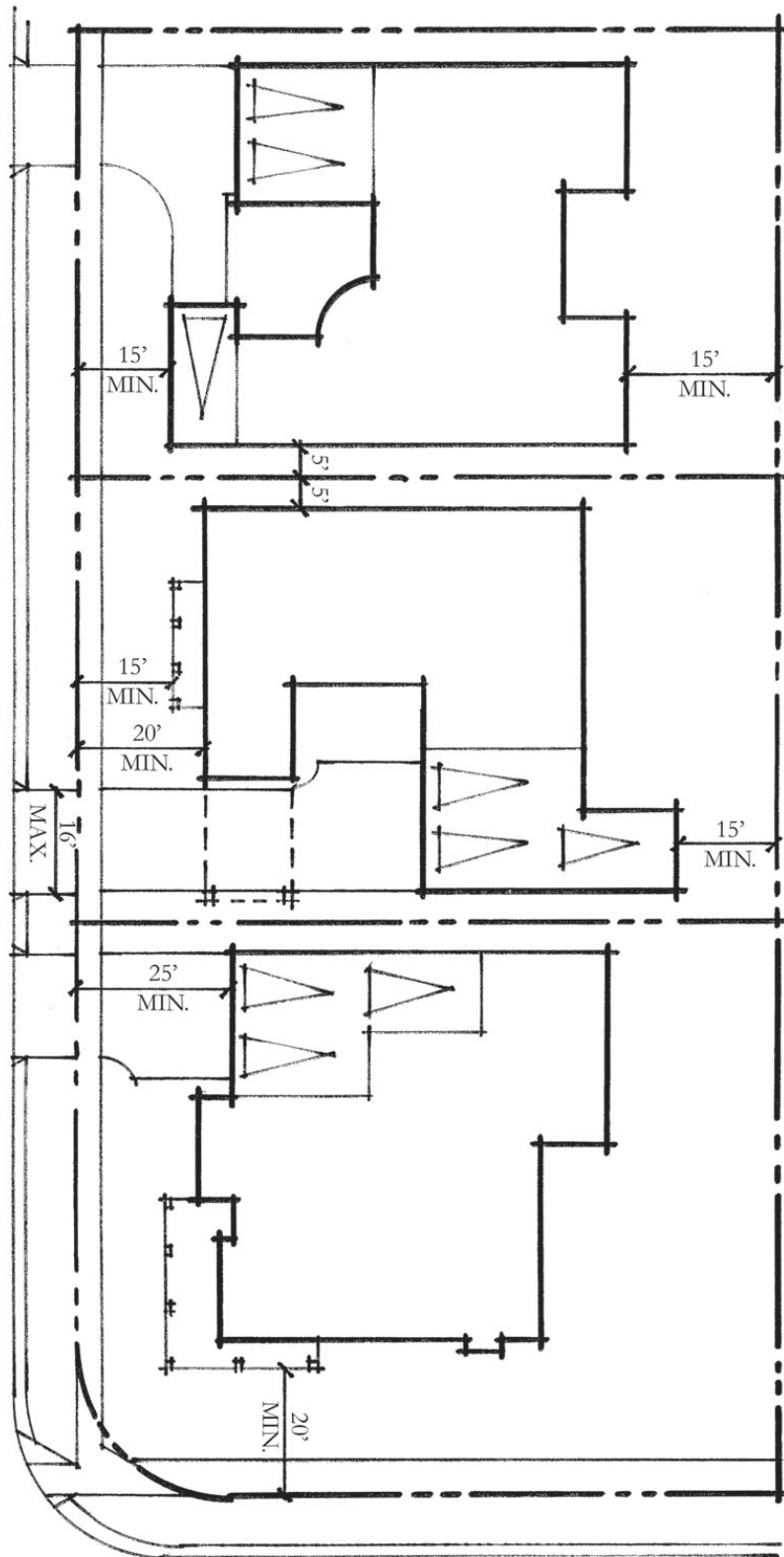
Rear

Living Area	15'-0" min.
Garage	10'-0" min.

Architectural features like fireplaces, wing walls, and first story bay windows and media niches.

Front	18'-0" min.
Side	See City of Star requirements
Rear	See City of Star requirements

WATERVIEW



ARCHITECTURE

The neighborhoods of Heron River are intended to provide a variety of style and massing in their architecture to prevent monotony throughout the community. The selected community architectural styles will create a cohesive look throughout the neighborhoods while allowing for variety in massing and detailing.

BUILDING REQUIREMENTS

No home in the Waterview neighborhood shall be constructed with less than 2,200 square feet. If the home is more than one story, the minimum square footage of living area at grade shall be 1,000 square feet. The square footage of living area shall be based on the interior living space, excluding porches, patios and garages. A minimum of 30 year asphalt shingle roofing is required. Driveway approaches are required to be a stamped and colored concrete. The stamp pattern shall be “Seamless Course Sandstone” by Proline Concrete Tools, or equal, and the color shall be “Dusty Rose” by Brickform, or equal. Variations may be acceptable but must be approved by the Architectural Design Committee prior to installation.

SETBACK REQUIREMENTS

Front

Living Area	20'-0" min.
Front-in Garage	25'-0" min.
Swing-in Garage	15'-0" min.
Porch	15'-0" min.

Side

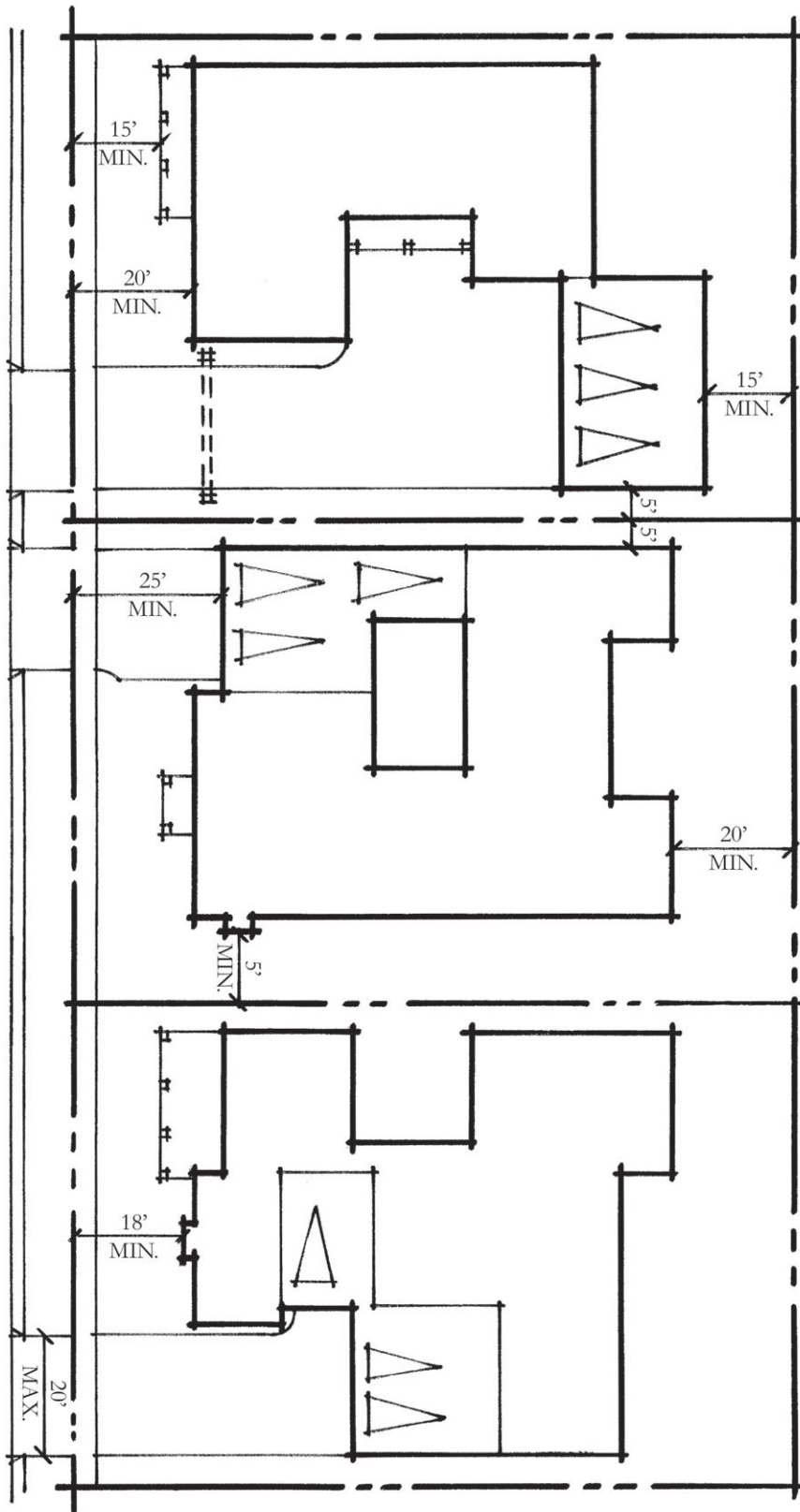
Living Area	5'-0" min.
Living Area at Corner	20'-0" min.

Rear

Living Area	15'-0" min.
Garage	15'-0" min.

Architectural features like fireplaces, wing walls, and first story bay windows and media niches.

Front	18'-0" min.
Side	See City of Star requirements
Rear	See City of Star requirements



ARCHITECTURE

With larger homesites and river adjacency, the Rivershore neighborhood shall express more diversity and uniqueness in its homes. The intent is to invoke an historical neighborhood feeling, similar to that of Harrison Boulevard and Warm Springs Avenue, while still maintaining the informal connection to nature unique to Heron River.

BUILDING REQUIREMENTS

No home in the Rivershore neighborhood shall be constructed with less than 2,800 square feet. If the home is more than one story, the minimum square footage of living area at grade shall be 1,400 square feet. The square footage of living area shall be based on the interior living space, excluding porches, patios and garages. A minimum of 40 year asphalt shingle roofing or concrete tile is required. Driveway approaches are required to be a stamped and colored concrete. Finish and color shall be approved by the Architectural Design Committee prior to installation.

SETBACK REQUIREMENTS

Front

Living Area	20'-0" min.
Front-in Garage	25'-0" min.
Swing-in Garage	15'-0" min.
Porch	15'-0" min.

Side

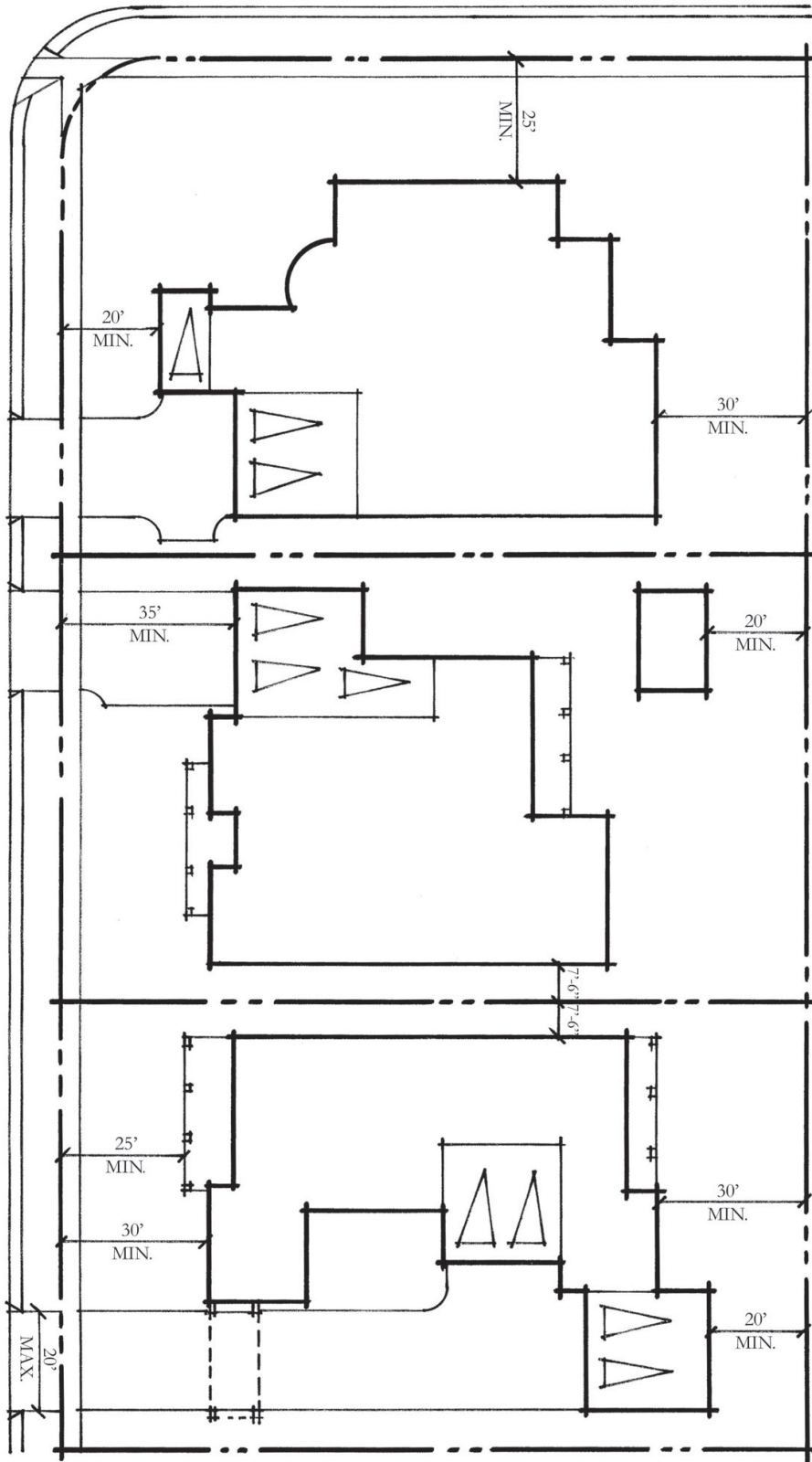
Living Area	5'-0" min.
Living Area at Corner	20'-0" min.

Rear

Living Area	20'-0" min.
Garage	15'-0" min.

Architectural features like fireplaces, wing walls, and first story bay windows and media niches to grade with maximum width of 12'-0"

Front	18'-0" min.
Side	5'-0" min.
Rear	18'-0" min.



ARCHITECTURE

Representing the largest home sites in Heron River, The Preserve is intended to express the most diversity and uniqueness in its homes, with an emphasis towards more formalized detailing. This distinction will provide for a neighborhood in keeping with the Heron River community, while maintaining a higher level of design.

BUILDING REQUIREMENTS

No home in the Preserve neighborhood shall be constructed with less than 3,000 square feet. If the home is more than one story, the minimum square footage of living area at grade shall be 2,000 square feet. The square footage of living area shall be based on the interior living space, excluding porches, patios and garages. A minimum of 50 year asphalt shingle roofing or concrete tile is required. Driveway approaches are required to be a stamped and colored concrete. Finish and color shall be approved by the Architectural Design Committee prior to installation.

SETBACK REQUIREMENTS

Front

Living Area	30'-0" min.
Front-in Garage	35'-0" min.
Swing-in Garage	20'-0" min.
Porch	25'-0" min.

Side

Living Area	7'-6" min.
Living Area at Corner	25'-0" min.

Rear

Primary Living Area	30'-0" min.
Garage	20'-0" min.
Casita	20'-0" min.

Architectural features like fireplaces, wing walls, and first story bay windows and media niches to grade with maximum width of 12'-0"

Front	25'-0" min.
Side	7'-6" min.
Rear	20'-0" min.



APPENDIX A - PLANT LIST

APPENDIX B - DATA/INTERNET WIRING

APPENDIX A - PLANT LIST

GRASSES

COMMON NAME

Bulbous Oat Grass
Clump Blue Fescue
Dwarf Fountain Grass
Dwarf Maiden Grass
Elijah Blue Fescue
Fox Red Curly Sedge
Ice Dance Sedge
Japanese Silver Grass
Karl Foerster Feather Reed Grass
Little Bunny Dwarf Fountain Grass
Overdam feather reed grass
Porcupine grass
Variegated Japanese Sedge
Variegated Silver Grass
Yaka Jima Dwarf Maiden Grass
Zebra Grass

BOTANICAL NAME

Arrhenatherum elatius bulbosum 'variegatum'
Festuca ovina 'Glauca'
Pennisetum alopecuroides 'Hameln'
Miscanthus sinensis 'Yakushina'
Festuca glauca 'Elijah Blue'
Carex buchananii
Carex morrowii "Ice Dance"
Miscanthus sinensis
Calamagrostis acutiflora 'Karl Foerster'
Pennisetum alopecuroides 'Little Bunny'
Calamagrostis x acutiflora 'Overdam'
Miscanthus sinensis 'Strictus'
Carex morrowii expallida 'Aurea-variegata'
Miscanthus sinensis Variegatus
Miscanthus sinensis 'Yaka Jima'
Miscanthus sinensis 'Zebrinus'

GROUND COVER

COMMON NAME

Blue Chip Juniper
Bearberry Cotoneaster
Baltica English Ivy
Burgundy Glow Ajuga
Bar Harbor Juniper
Cauticola
Chocolate Ajuga
Catlin's Giant Ajuga
Creeping Mahonia
Creeping Phlox
Corsican Sandwort
Candytuft
Creeping Thyme
Flower Carpet
Georgia Blue Veronica
Glacier English Ivy

BOTANICAL NAME

Juniperus horizontalis 'Blue Chip'
Cotoneaster dammeri 'Bearberry'
Hedera helix 'Baltica'
Ajuga reptans 'Burgundy Glow'
Juniperus horizontalis 'Bar Harbor'
Sedum 'Cauticola'
Ajuga 'Chocolate'
Ajuga reptans 'Catlin's Giant'
Mahonia repens
Phlox stolonifera
Arenaria balearica
Iberis sempervirens 'Snow Beauty'
Thymus praecox
Saxifraga
Veronica sp.
Hedera helix 'Glacier'

APPENDIX A - PLANT LIST

GROUND COVER CONT.

<u>COMMON NAME</u>	<u>BOTANICAL NAME</u>
Green Sedum	Sedum spurium
Grace Ward Lithodora	Lithodora diffusa 'Grace Ward'
Harlequin Euonymus	Euonymus 'Harlequin'
Japanese Spurge	Pachysandra terminalis
Lemon Thyme	Thymus citriodorus
Massachusetts Kinnikinnick	Arctostaphylos uva-ursi 'Massachusetts'
Mountain Lover	Paxistima canbyi
Montana Sandwort	Arenaria montana
Mother of Thyme	Thymus Serphyllum 'Aleus'
Purity Candytuft	Iberis Sempervirens
Pink Chintz Thyme	Thymus praecox 'Pink Chintz'
Pixie English Ivy	Hedera helix 'Pixie'
Partridge Feather	Tanacetum densum x ssp. Amani
Prince of Wales Juniper	Juniperus horizontalis 'Prince of Wales'
Roy Davidson Lungwort	Pulmonaria longiflora 'Roy Davidson'
Russian Stonecrop	Sedum
Spring Charm Rockcress	Arabis caucasica "Spring Charm"
Snow-in-Summer	Cerastium caryophyllaceae
Snowcap Rockcress	Arabis caucasica 'Snowcap'
Sweet Woodruff	Galium odoratum
Turkish Veronica	Veronica Liwanensis
Variegated Ajuga	Ajuga reptans 'Variegated'
Variegated Sedum	Sedum "Variegata"
Variegated Snowcap Rockcress	Arabis 'Variegata'
Variegated White English Ivy	Hedera helix
Wood's Compact Kinnickinick	Arctostaphylos uva-ursi 'Woods Compacta'
Wholly Thyme	Thymus pseudolanuginosus

APPENDIX A - PLANT LIST

PERENNIALS

<u>COMMON NAME</u>	<u>BOTANICAL NAME</u>
Albomarginata Hosta	Hosta fortunei 'Albomarginata'
Ben Nevis Sun Rose	Helianthemum 'Ben Nevis'
Coral Bells 'Crimson Curls'	Heuchera 'Crimson Curls'
Coral Bells 'Lime Ricky'	Heuchera 'Lime Ricky'
Coral Bells 'Marmalade'	Heuchera 'Marmalade'
Day Lilly	Hemerocallis
Heartleaf Bergenia	Bergenia cordifolia
Husker Red Beardtongue	Penstemon digitalis 'Husker Red'
Jubilee Sun Rose	Helianthemum 'Jubilee'
Limerock Ruby Coreopsis	Coreopsis 'Limerock Ruby'
Little Titch Catmint	Nepeta racemosa 'Little Titch'
Moonbeam Coreopsis	Coreopsis verticillata 'Moonbeam'
May Night Meadow Sage	Salvia nemerosa
Thyme	Thymus serphillum
Moonshine Yarrow	Achillea filipendulina 'Moonshine'
Mums	Chrysanthemums
Plumbago	Ceratostigma plumbaginoides
Pink Thrift	Armeria setacea
Russian Sage	Perovskia atriplicifolia
Sweet Dreams Coreopsis	Coreopsis 'Sweet Dreams'
Stella d Oro Day Lilly	Hemerocallis hybrid 'Stella d Oro'
Silver Sage	Artemisia 'Powis Castle'
Variegated Hosta	H. fluctans 'Variegated'
Variegated Undulata Hosta	Hosta Undulata 'Variegata'

SHRUBS

<u>COMMON NAME</u>	<u>BOTANICAL NAME</u>
Alpine Currant	Ribes alpinum 'Alpine Currant'
Austrian Copper Rose	Rosa foetida bicolor
Appleblossom Flower Carpet Rose	Rosa x noamel
Armstrong Juniper	Juniperus chinensis 'Armstrongii'
Aconitifolium	Acer japonicum 'Aconitifolium'
Anah Kruschke Rhododendron	Rhododendron 'Anah Kruschke'
Alba Lavender	Lavandula x intermedia 'Alba'
Apricot Whisper Potentilla	Potentilla fruticosa 'Apricot Whisper'
Abbottswood Potentilla	Potentilla fruticosa 'Abbottswood'
Butterfly Bush	Buddleia davidii

APPENDIX A - PLANT LIST

SHRUBS CONT.

<u>COMMON NAME</u>	<u>BOTANICAL NAME</u>
Blue Boy Holly	Ilex x meserveae
Baden Baden Rhododendron	Rhododendron 'Baden Baden'
Box-leaf Euonymus	Euonymus japonica 'Microphylla'
Bronxensis Forsythia	Forsythia viridissima 'Bronxensis'
Blue Girl Holly	Ilex x meserveae
Bluebird Hydrangea	Hydrangea macrophylla 'Bluebird'
Buffalo Juniper	Juniperus sabina 'Buffalo'
Bodnantense Viburnum	Viburnum bodnantense
Blue Pacific Shore Juniper	Juniperus conferta 'Blue Pacific'
Blue Shag Dwarf White Pine	Pinus strobus 'Blue Shag'
Blue Star Juniper	Juniperus squamata 'Blue Star'
Burkwood Viburnum	Viburnum x burkwoodii
Bridal Wreath Spiraea	Spiraea 'Arguta'
Coral Beauty Cotoneaster	Cotoneaster dammeri 'Coral Beauty'
Cranberry Cotoneaster	Cotoneaster apiculatus 'Cranberry'
Contorted Filbert	Corylus avellana 'Contorta'
Corumba Flower Carpet Rose	Rosa 'Corumba'
Cameo Japanese Flowering Quince	Chaenomeles japonica 'Cameo'
Carol Mackie Daphne	Daphne burkwoodii 'Carol Mackie'
Chateau Merlot Flower Carpet Rose	Rosa x noatraum
Compact Oregon Grape	Mahonia aquifolium 'compactum'
Cistena Plum	Prunus cistena
Crimson Pygmy Dwarf Japanese Barberry	Berberis thunbergii 'Crimson Pygmy'
Climbing Rose (large-flowered climbers)	Rosa
Crackling Fire Miniature Rose	Rosa 'Crackling Fire'
Climbing Rose (ramblers)	Rosa
Dwarf Arctic Willow	Salix purpurea 'Nana'
Dwarf Balsam Fir	Abies balsamea 'Nana'
Dwarf Burning Bush Euonymus	Euonymus alata 'Compacta'
Dwarf Broxensis Forsythia	Forsythia viridissima 'Dwarf Broxensis'
Dwarf Cranberry Bush	Viburnum trilobum
Dwarf Dart's Gold Ninebark	Physocarpus opulifolius 'Dart's Gold'
Dwarf European Cranberry Bush Viburnum	Viburnum opulus 'Nanum'
Dwarf English Spreading Yew	Taxus baccata 'Repandens'
Dwarf Eastern White Pine	Pinus strobus 'Nana'
Dwarf Flowering Almond	Prunus glandulosa
Dwarf Globe Arborvitae	Thuja occidentalis 'Dwarf Globe'
Dark Green Spreading Yew	Taxus media 'Dark Green'
Dwarf Heavenly Bamboo	Nandina domestica 'Compacta'
Dwarf Hinoki False Cypress	Chamaecyparis obtusa 'Nana Gracilis'

APPENDIX A - PLANT LIST

SHRUBS CONT.

<u>COMMON NAME</u>	<u>BOTANICAL NAME</u>
Dark Horse Weigela	Weigela florida 'Dark Horse'
Diablo Ninebark	Physocarpus opulifolius 'Monlo'
Daphne Spiraea	Spiraea japonica 'Alpina'
Dwarf Scotch Pine	Pinus sylvestris 'Glauca Nana'
Doublefile Viburnum	Viburnum plicatum 'Tomentosum'
Dwarf Variegated Boxwood	Buxus 'Variegated 'Nana'
Dwarf Variegated Boxleaf Euonymus	Euonymus japonica 'Microphylla Variegata'
Dwarf Variegated Weigela	Weigela florida 'Variegata'
Dappled Willow	Salix integra 'Hakura Nishiki'
Exbury Azalea	Azalea exbury
Emerald Green Arborvitae	Thuja occidentalis 'Emerald Green'
Emerald Gaiety Euonymus	Euonymus fortunei 'Emerald Gaiety'
Emerald 'n Gold Euonymus	Euonymus fortunei 'Emerald 'n Gold'
English Rose	Rosa
Ever Red Laceleaf Japanese Maple	Acer palmatum 'Ever Red'
Evergreen Azalea	Azalea 'Holland'
Forest Flame Pieris	Pieris floribunda 'Forest Flame'
Frosty Potentilla	Potentilla fruticosa 'Frosty'
Floribunda Rose	Rosa
French Lilac	Syringa vulgaris
Fraser's Red Tip Photinia	Photinia fraseri
Globe Blue Spruce	Picea pungens 'Glauca Globoba'
Gold Coast Juniper	Juniperus chinensis 'Gold Coast, Aurea'
Golden Euonymus	Euonymus japonica 'Aureo-marginata'
Goldflame Spiraea	Spiraea 'japonica'
Golden Japanese Barberry	Berberis thunbergii 'Aurea'
Grosso Lavender	Lavandula x intermedia 'Grosso'
Garnet Laceleaf Japanese Maple	Acer palmatum 'Garnet'
Gro-Low Sumac	Rhus aromatica
Gold Mound Spiraea	Spiraea japonica 'Gold Mound'
Golden Nugget Dwarf Japanese Barberry	Berberis thunbergii 'Golden Nugget 'Monlers'
Grandiflora Rose	Rosa
Goldstar Potentilla	Potentilla fruticosa 'Gold Star'
Gold Thread Cypress	Chamaecyparis pisifera 'Filifera aurea nana'
Gold Thread Cypress Mops	Cupressus pisifera 'Mops'
Golden Vicary Privet	Ligustrum x vicaryi
Heavenly Bamboo	Nandra domestica
Hinoki Cypress	Chamaecyparis obtusa 'Gracilis'
Hino Crimson Azalea	Rhododendron 'Hino Crimson'
Hillside Creeper Pine	Pinus sylvestris 'Hillside Creeper'
Hidcote English Lavender	Lavandula angustifolia 'Hidcote'

APPENDIX A - PLANT LIST

SHRUBS CONT.

<u>COMMON NAME</u>	<u>BOTANICAL NAME</u>
Hollywood Juniper	Juniperus chinensis 'Torulosa'
Hornibrookiana Pine	Pinus nigra 'Hornibrookiana'
Hybrid Tea Rose	Rosa
Hicksi Yew	Taxus x media 'Hickssi'
Hydrangea	Hydrangea
Icee Blue Juniper	Juniperus horizontalis 'Icee Blue, Monber'
Ivory Halo Dogwood	Cornus alba 'Bailhalo'
Isanti Red-osier Dogwood	Cornus stolonifera 'Isanti'
Jean Davis Lavender	Lavandula x 'Jean Davis'
Japanese Flowering Quince	Chaenomeles japonica
Japanese Garden Juniper	Juniperus procumbens 'Nana'
Java Red Weigela	Weigela 'Java Red'
Kelseyi Dogwood	Cornus stolonifera 'Kelseyi'
Kobold Japanese Barberry	Berberis thunbergii 'Kobold'
Korean Lilac	Syringa patula
Korean Spice Viburnum	Viburnum carlesii 'Korean Spice'
Little Giant Dwarf Arborvitae	Thuja occidentalis 'Little Giant'
Little Gem Norway Spruce	Picea abies 'Little Gem'
Low Grow Red Pine	Pinus densiflora 'Low Grow'
Limemound Spiraea	Spiraea bumalda 'Monhub'
Lodense Privet	Ligustrum vulgare 'Lodense'
Little Rascal Holly	Ilex mondo hybrid 'Little Rascal'
Low Spreading Hinoki Cypress	Cupressis "Hinoki"
Moor-Dense Juniper	Juniperus sabina 'Moor Dense, Monard'
Manhattan Euonymus	Euonymus kiautschovicus 'Manhattan'
Munstead English Lavender	Lavandula angustifolia 'Munstead'
Mountain Fire Andromeda	Pieris japonica 'Mountain Fire'
Merlot Flower Carpet Rose	Rosa x noatraum
Mediterranean Heather	Erica x darleyensis 'Mediterranean Pink'
Mint Julep Juniper	Juniperus
Miss Kim Lilac	Syringa patula 'Miss Kim'
Moonlight Broom	Cytisus scoparius 'Moonlight'
Mother Lode Juniper	Juniperus horizontalis 'Mother Lode'
Mock Orange	Philadelphus x virginialis
Minnetonka Rhododendron	Rhododendron 'Minnetonka'
Moyers Red Bamboo	Nandina domestica 'Moyers Red'
Minuet Weigela	Weigela florida 'Minuet'
Neon Flash Spiraea	Spiraea japonica "Neon Flash"
Northern Lights Azalea	Azalea exbury hybrids
Nest Spruce	Picea abies 'Nidiformis'
Oregon Boxwood	Paxistima myrsinites

APPENDIX A - PLANT LIST

SHRUBS CONT.

<u>COMMON NAME</u>	<u>BOTANICAL NAME</u>
Orange Dream Rose	Rosa x twoaebi
Old Gold Juniper	Juniperus x media 'Old Gold'
Otto Luyken English Laurel	Prunus laurocerasus 'Otto Luyken'
Peking Cotoneaster	Cotoneaster acutifolius 'Peking'
Pink Dream Rose	Rosa x twojoan
Pink dawn Viburnum	Viburnum x bodnantense "Pink Dawn"
Peony	Paeonia
Pink Flower Carpet Rose	Rosa x noatraum
pjm Rhododendron	Rhododendron 'pjm'
Pumilio Mugo Pine	Pinus mugo 'pumilio'
Prelude Pieris	Pieris taiwanensis 'Prelude'
Purple-leaf Winter Creeper Euonymus	Euonymus fortunei 'Colorata'
Rheingold Arborvitae	Thuja occidentalis 'Rheingold'
Red Ace Potentilla	Potentilla fruticosa 'Red Ace'
Red Dragon Laceleaf Japanese Maple	Acer palmatum 'Red Dragon'
Red Dream Rose	Rosa x twopaul
Red Flower Carpet Rose	Rosa x noare
Rose Glow Japanese Barberry	Berberis thunbergii 'Rose Glow'
Ruby Glow Rock Daphne	Daphne cneorum 'Ruby Glow'
Ramapo Rhododendron	Rhododendron 'Ramapo'
Redtwig Dogwood	Cornus stolonifera 'Redtwig'
Sunsation Barberry	Berberis thunbergii 'Monry'
Snow Ball Bush	Viburnum macrocephalum
Shoe Button Spiraea	Spiraea prunifolia 'Plena'
Smoke Bush	Cotinus coggygia
Spring Bouquet Viburnum	Viburnum tinus 'Spring Bouquet'
Silver Frost Lavender	Lavandula x 'Silver Frost'
Spring Glory Forsythia	Forsythia x intermedia 'Spring Glory'
Sea Green Juniper	Juniperus
Silver King Euonymus	Euonymus japonica 'Silver King'
Slowmound Mugo Pine	Pinus mugo 'slowmound'
Slowmound Spiraea	Spiraea 'nipponica tosaensis'
Silver Princess Euonymus	Euonymus japonicus 'Moness'
Sun Rose	Rosa
Sunset Potentilla	Potentilla fruticosa 'Sunset'
Star Magnolia	Magnolia stellata
Summer Wine Ninebark	Physocarpus opulifolius 'Seward'
Tall Hedge Buckthorn	Rhamnus frangula 'Tall Hedge'
Thunderhead Pine	Pinus thunbergii 'Thunderhead'
Texas Scarlet Japanese Flowering Quince	Chaenomeles japonica 'Texas Scarlet'
Variegated Box-leaf Euonymus	Euonymus japonica 'Microphylla Variegatus'

APPENDIX A - PLANT LIST

SHRUBS CONT.

COMMON NAME

Variegated Dogwood
Viridis Lace-leaf Japanese Maple
Variegated Privet
Vulcan Rhododendron
Variegated Redtwig Dogwood
Weeping Alaska Cedar
Wichita Blue Juniper
Wood's Dwarf Heavenly Bamboo
White Flower Carpet Rose
Winter Gem Boxwood
Woods Rose
Yellow Dream Rose
Yellowtwig Dogwood

BOTANICAL NAME

Cornus alba 'Argenteo-marginata'
Acer palmatum 'Viridis'
Ligustrum sinense 'Variegatum'
Rhododendron 'Vulcan'
Cornus stolonifera 'Redtwig'
Chamaecyparis nootkatensis 'pendula'
Juniperus scopulorum 'Wichita Blue'
Nandina domestica 'Wood's Dwarf'
Rosa x noaschnee
Buxus microphylla 'Winter Gem'
Rosa woodsii
Rosa x twoyel
Cornus stolonifera 'Flaviramea'

TREES

COMMON NAME

Autumn Blaze Maple
Arizona Fir
Akebono Flowering Cherry
Aristocrat Pear
Autumn Purple Ash
Austrian Pine
Blue Atlas Cedar
Banksiana Pine
Boulevard Cypress
Bristlecone Pine
Bloodgood Japanese Maple
Bloodgood Sycamore
Bakeri Spruce
Capital Pear
Coralburst Crabapple
Colorado Blue Spruce
Cottonless Cottonwoods
Cherokee Chief Flowering Dogwood
Columnar English Oak
Concolor Fir
Crusader Hawthorn
Chanticleer Pear

BOTANICAL NAME

Acer x freemanii
Abies lasiocarpa
Prunus yedoensis 'Akebono'
Pyrus calleryana 'Aristocrat'
Fraxinus americana 'Junginger'
Pinus nigra
Cedrus atlantica 'Glauca'
Pinus banksiana
Chamaecyparis pisifera 'Boulevard'
Pinus aristata
Acer palmatum 'Bloodgood'
Platanus acerifolia
Picea pungens 'Bakeri'
Pyrus calleryana 'Capital'
Malus 'Coralburst'
Picea pungens 'Glauca'
Populus canadensis siouxland
Cornus florida 'Cherokee Chief'
Quercus robur 'fastigata'
Abies Concolor
Crataegus crusgalli 'Crusader'
Pyrus calleryana 'Chanticleer'

APPENDIX A - PLANT LIST

TREES CONT.

<u>COMMON NAME</u>	<u>BOTANICAL NAME</u>
Chinese Kousa Dogwood	<i>Cornus kousa chinensis</i>
Crimson King Norway Maple	<i>Acer plantanoides</i> 'Crimson King'
Cedar of Lebanon	<i>Cedrus libani</i>
Cherokee Princess Flowering Dogwood	<i>Cornus florida</i> 'Cherokee Princess'
Clump River Birch	<i>Betula nigra</i> 'Clump'
Canada Red Cherry	<i>Prunus virginiana</i> 'Canada Red'
Crimson Sentry Maple	<i>Acer plantanoides</i> 'Crimson Sentry'
Columnar Scotch Pine	<i>Pinus sylvestris</i> 'Fastigiata'
Deborah Norway Maple	<i>Acer plantanoides</i> 'Deborah'
Emerald Falls Cedar	<i>Cedrus</i> 'Emerald Falls'
Emerald Lustre Norway Maple	<i>Acer plantanoides</i> 'Emerald Lustre'
Elizabeth Magnolia	<i>Magnolia</i> x 'Elizabeth'
Emerald Queen Norway Maple	<i>Acer plantanoides</i> 'Emerald Queen'
Eastern Redbud	<i>Cercis canadensis</i>
Fernleaf Buckthorn	<i>Rhamnus frangula</i>
Forest Pansy Redbud	<i>Cercis canadensis</i> 'Forest Pansy'
Golden Deodara Cedar	<i>Cedrus deodara</i> 'Aurea'
Greenspire Linden	<i>Tilia cordata</i> 'Greenspire'
Ginnala Maple	<i>Acer ginnala</i>
Hoop's Blue Spruce	<i>Picea pungens</i> 'Hoopsii'
Japanese Maple	<i>Acer palmatum</i>
Japanese White Pine	<i>Pinus parviflora</i>
Lavalle Hawthorn	<i>Crataegus</i> x <i>lavellei</i>
Lion's Head Japanese Maple	<i>Acer palmatum</i> 'Lion's Head'
Lace Leaf Japanese Maple 'Virdis'	<i>Acer palmatum</i> 'Virdis'
Leonard Messel Magnolia	<i>Magnolia</i> x <i>loebneri</i> 'Leonard Messel'
Newport Flowering Plum	<i>Prunus cerasifera</i> 'Newport'
Norway Spruce	<i>Picea abies</i>
October Glory Maple	<i>Acer rubrum</i> 'October Glory'
Patmore Ash	<i>Fraxinus pennsylvanica</i> 'Patmore'
Paper Birch	<i>Betula papyrifera</i>
Pagoda Dogwood	<i>Cornus alternifolia</i>
Prairifire Flowering Crabapple	<i>Malus ioensis</i> 'Prairifire'
Persian Ironwood	<i>Parrotia persica</i>
Parkway Maple	<i>Acer plantanoides</i> 'Columnbroad'
Pin Oak	<i>Quercus palustris</i>
Ponderosa Pine	<i>Pinus ponderosa</i>
Pom Pom Pine	<i>Pinus sylvestris</i> pom pom
Purple-leaf Weeping European Beech	<i>Fagus sylvatica</i> 'Purpurea Pendula'
Quaking Aspen	<i>Populus tremuloides</i>
River Birch	<i>Betula nigra</i>

APPENDIX A - PLANT LIST

TREES CONT.

<u>COMMON NAME</u>	<u>BOTANICAL NAME</u>
Royalty Burgundy Cherry	<i>Prunus serrulata</i> 'Royal Burgundy'
Royalty Flowering Crabapple	<i>Malus</i> 'Royalty'
Robusta Green Juniper	<i>Juniperus chinensis</i> 'Robusta Green'
Rocky Mountain Juniper	<i>Juniperus scopulorum</i>
Red Oak	<i>Quercus rubra</i>
Russian Olive	<i>Elaeagnus angustifolia</i>
Royal Red Norway Maple	<i>Acer plantanoides</i> 'Royal Red'
Red Sunset Red Maple	<i>Acer rubrum</i> 'Red Sunset'
Sitka Alder	<i>Alnus rubra</i>
Saucer Magnolia	<i>Magnolia x soulangiana</i>
Sunburst Honeylocust	<i>Gleditsia triacanthos</i> 'Sunburst'
Sensation Maple	<i>Acer negundo</i> 'Sensation'
Sequoia	<i>Sequoia</i>
Sweet Gum	<i>Liquidamber styraciflua</i>
Sherwood Flame Japanese Maple	<i>Acer palmatum</i> 'Sherwood Flame'
Spartan Juniper	<i>Juniperus chinensis</i> 'Spartan'
Seiryu Japanese Maple	<i>Acer palmatum</i> 'Seiryu'
Sugar Maple	<i>Acer saccharum</i>
Shademaster Honeylocust	<i>Gleditsia triacanthos</i> 'Shademaster'
Scarlet Oak	<i>Quercus coccinea</i>
Scotch Pine	<i>Pinus sylvestris</i>
Serbian Spruce	<i>Picea omorika</i>
Spring Snow Flowering Crabapple	<i>Malus</i> 'Springsnow'
Susan Magnolia	<i>Magnolia</i>
Thompson Blue Spruce	<i>Pinus flexilis</i>
Tricolor European Beech	<i>Fagus sylvatica</i> 'Tricolor'
Thunder Cloud Plum	<i>Prunus cerasifera</i> 'Thunderhead'
Tulip Tree	<i>Liriodendron tulipifera</i>
Vanderwolf Pine	<i>Pinus flexilis</i> 'Vanderwolf'
Weeping Blue Atlas Cedar	<i>Cedrus atlantica</i> 'Glauca Pendula'
Washington Hawthorn	<i>Crataegus phaenopyrum</i> 'Washington'
Weeping Larch	<i>Larix decidua pendula</i>
Weeping Limber Pine	<i>Picea pungens</i> 'thompson'
Weeping Norway Spruce	<i>Picea abies</i> 'Pendula'
Weeping Sequoia	<i>Sequoiadendron giganteum</i> 'Pendulum'
Weeping White Pine	<i>Pinus strobus</i> 'pendula'
Weeping White Spruce	<i>Picea glauca</i> 'Pendula'

APPENDIX B - DATA/INTERNET WIRING

CABLING REQUIREMENTS

- 1) Provide Phone (RJ-25) and Data (RJ-45) drops in every room except bathrooms.
- 2) All data cables must be rated Cat5e or better. All jacks, modules, patch panels, and patch cords used must be rated Cat5e or better.
- 3) Place one Low Voltage Junction Box 18" or larger inside the garage wall near the Electrical Panel. This box is referred to as the "Network Cabinet".
- 4) Place one Low Voltage Junction Box, 18" or larger inside the home to serve as a home run location for all internal cabling. This box is referred to as the "Media Center".
- 5) Place one standard-duplex electrical outlet inside both Low Voltage Junction Boxes.
- 6) Phone and Data Cat5e cabling will be of different color.
- 7) Run three Cat5e cables (two for data and one for phone) and one co-axial cable (without terminations) from the Network Cabinet to the Media Center. Terminate all Category 5e (data) cables EIA/TIA-568A wiring schemes as discussed below.

Inside the Network Cabinet:

- i The Category 5e (**data**) cable will be terminated with an RJ-45 connector (male). Leave two feet of cable for slack.
- ii Terminate the Category 5e (**phone**) cable with RJ11 connector (Use Blue Pair).
- iii The third Category 5e cable will be coiled inside the box. No termination necessary.
- iv The co-axial cable will be coiled inside the box. No termination necessary.

Inside the Media Center:

- i **ALL** Category 5e (**data**) cable will be terminated with RJ-45 connectors (male) following the EIA/TIA-568A wiring scheme. Leave two feet of cable for slack.
 - ii The Category 5e (**phone**) cable will be punched down into either a 66 or 110 phone block.
 - iii A 4 port 10/100 network switch will be placed in the "Media Center".
- 9) Run one Category 5e cable from the Media Center into the Attic. Leave 75 feet coiled and hung near the Attic's access point so the insulation does not cover it.
 - 10) The curb-to-home conduit must be connected to the Low Voltage Junction Box located in the garage. The curb-to-home conduit must be cut so that it does not extend longer than 1' above ground level. Any visible conduit must then be concealed with 1" gray PVC conduit, and must extend no less than 4" below the ground. The 1" PVC must be fastened to the outside wall using a rigid 2-hole conduit strap, and will terminate into an LB-style access box. The LB access box will penetrate the garage wall, and must be cemented to a 1"-3/4" PVC reducer inside the garage wall. 3/4" Electrical Non-metallic Tubing (Smurf Tube) must be run from the PVC reducer and terminate inside the Low Voltage Junction Box.

APPENDIX B - DATA/INTERNET WIRING

EIA/TIA-568-2A wiring schemes which are as follows:

Pin 1 wire color:	white/green
Pin 2 wire color:	green
Pin 3 wire color:	white/orange
Pin 4 wire color:	blue
Pin 5 wire color:	white/blue
Pin 6 wire color:	orange
Pin 7 wire color:	white/brown
Pin 8 wire color:	brown

PROPER INSTALLATION PRACTICES

The following installation practices shall be followed to ensure this performance:

- 1) Maximum cable length shall be 90 m (295 ft)
- 2) Maintain a bend radius of no less than four (4) times the diameter of the cable.
- 3) Maintain the twist of each pair as closely to the point of termination as possible.
- 4) Maintain the jacket no more than ½ inches away from the termination point.
- 5) Maximum pulling tension should not exceed 25 lbf for Category 5e cable.
- 6) Cables must be supported every 52 inches.
- 7) Cable supports should be a minimum of ¼ inches in diameter.
- 8) Cable supports should NOT deform the jacket of the supported cable.
- 9) Communications cables must NOT run parallel to any power cable for distances greater than three feet (3').
- 10) Communications cables must always cross power cables perpendicularly and maintain as much separation as possible.